



**Draft Facilities
Master Plan
August 26, 2008**

Since a District Master Plan is a continually evolving process, the Master Plan documents contained herein will be reviewed and updated regularly to reflect changes in trends, policies, Board actions, community actions and other significant occurrences.



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HAWTHORNE MASTER PLAN

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Introduction



Beverly Hills Unified School District...Setting the Standard.

It's an exciting time at BHUSD. With the opening of two new buildings in September 2007, the restroom and auditorium upgrades nearly complete at our K-8 facilities and the closure of Measure K, we are moving ahead with developing our facilities to support the function of educating the children of our community. The future is even more exciting.

This document will be the road map for the future of our facilities. This document has been developed with a focus on setting the standard for facilities that truly enhance the education of our students by providing our teachers and administrators with cutting edge facilities and equipment.

Most of our buildings were built many years ago.....most from the 1920's to the 1930's. A history of our facilities is included in this document. Obviously, so many things have changed over the last 70-80 years and our buildings need to be adapted, strengthened, upgraded and improved to reflect those changes while we preserve the beauty and history that our buildings possess.

Our District's main focus is on educating our students in a safe, secure and motivational environment. Setting the standard for education, ambition, realized potential and focused direction creates excellence. Our facilities provide our students and our community with the environment necessary to achieve this standard.

Please review this document, provide comments and ask questions. We invite you to be part of the process as we move forward toward.....Setting the Standard.

Kari McVeigh
Superintendent of Schools



Overview of Master Plan Process and Development

Over the past 2 years the BHUSD Facilities Department has been developing a comprehensive 5 year Master Plan. This plan includes a review of the past and present development of the District's facilities while looking at the needs for the next 5 years and into the future. The plan analyzes the trends in curriculum and the needs of the Beverly Hills community as a whole. **It should be noted that this plan will need to be reviewed and updated regularly to reflect changes in trends, policy and other significant occurrences.**

The premise for the Master Plan document is the architectural principle of "Form Follows Function". Since the District's first and foremost charge is the education of K-12 students, the facilities should be developed and/or upgraded to support this function.

In order to develop this plan, staff has been working with a large group of consultants, architects, teachers, administrators and community members. A list of the committee members appears in this document. Surveys were provided to parents, teachers and to the general community via our website and through the school mail system. The current conditions have been assessed for adequacy in the areas of curricular support, safety, security, technology, infrastructure, structural integrity, ADA compliance and general esthetics.

As the consultants and committees complete their work, the needs analysis is submitted to an estimator to develop a cost for the improvements. Once the costs are applied, the improvements will be placed in a recommended priority order by the committee. This document will then be circulated to the City and the community through study sessions and Board meetings. Finally, the document will be submitted to the Board for review and approval.

The final phase of the Master Plan document is the Implementation Plan. This plan is the road map for the plan to take place. This document outlines the schedule for the improvements to occur and the funding sources available to complete the planned improvements.



FORM FOLLOWS FUNCTION

Form follows function is a principle associated with Modern architecture and industrial design in the 20th Century, which states that the shape of a building or object should be predicated on its intended purpose.

In the context of design professions "form follows function" seems like good sense but on closer examination it becomes problematic and open to interpretation. Linking the relationship between the 'form' of an object and its intended purpose is a good idea for designers and architects, but it is not always by itself a complete design solution. Defining the precise meaning(s) of the phrase 'form follows function' opens a discussion of design integrity that remains an important, live debate.

In architecture

The origin of the phrase is traced back to the American sculptor Horatio Greenough, but it was American architectural giant Louis Henri Sullivan who adopted it and made it famous. Sullivan actually said 'form ever follows function', but the simpler (and less emphatic) phrase is the one usually remembered. For Sullivan this was distilled wisdom, an aesthetic credo, the single "rule that shall permit of no exception".

Sullivan developed the shape of the tall steel skyscraper in 1900's Chicago at the very moment when technology, taste and economic forces converged violently and made it necessary to drop the established styles of the past. If the shape of the building wasn't going to be chosen out of the old pattern book something had to determine form, and according to Sullivan it was going to be the purpose of the building. It was 'form follows function', as opposed to 'form follows precedent'. Sullivan's assistant Frank Lloyd Wright adopted and professed the same principle in slightly different form – perhaps because shaking off the old styles gave them more freedom and latitude.

In 1908 the Austrian architect Adolf Loos famously proclaimed that architectural ornament was a crime, and his essay on that topic would become foundational to Modernism and eventually trigger the careers of Le Corbusier, Walter Gropius, Alvar Aalto, Mies van der Rohe and Gerrit Rietveld. The Modernists adopted both of these equations – form follows function, ornament is a crime – as moral principles, and they celebrated industrial artifacts like steel water towers as brilliant and beautiful examples of plain, simple, design integrity. Between 1945 and 1984 Modernism stood as the only respected architectural form in the mainstream of the profession. Everything else was illegitimate.



These two principles – form follows function, ornament is crime – are often invoked on the same occasions for the same reasons, but they do not mean the same thing. If you're willing to admit that ornament on a building may have social usefulness like aiding wayfinding, announcing the identity of the building, signaling scale, or attracting new customers inside, then ornament can be seen as functional, which puts those two articles of dogma at odds with each other. Conversely the argument 'ornament is crime', doesn't say anything about functions. It's just an aesthetic preference for the machine age. In an epoch where the machine does all the work the ornament is a relic that we can surpass. Therefore, another stylistic 'non-functional' features rest untouched (e.g. the feeling of space, the composition of the volumes) as we can see in the subsequent abstracted and non-ornamented styles. Much of the confusion between these two concepts comes from the fact that ornament derives traditionally from a function then becoming a stylistic character (e.g. the Gargoyle from the gothic cathedrals).

Modernism in architecture began as a disciplined effort to return to first principles, and allow the shape and logic of the building to be determined only by functional requirements, not by a traditional style or a random aesthetic choice. It presupposes that somebody has done his or her homework and developed those functional requirements. The resulting structures tended to be shockingly simpler, flatter, and lighter than their older neighbors; their functionality and refreshing nakedness looked as honest and inevitable as an airplane. A recognizable Modern vocabulary began to develop.

Today a small number of well-known architects, notably James Stewart Polshek, argue for some measure of architectural design integrity and responsibility to users. But as a whole the profession continues to be dominated by the view that architecture is a matter of aesthetics, and that form only follows form.



MASTER PLAN ASSUMPTIONS (as revised 7.1.08/ for Board review 7.9.08)

"Snapshot in Time"

1. Master Plan will be based on priorities established by the Board
2. Master Plan will develop based on the Board established maximum enrollment: 2250-2300 students at the HS; 700-750 at K-8 schools.
 - a. **Planning to be based on smaller sizes defined above**
3. Moreno HS, independent Ed and Adult Ed should be located off the HS campus. Moreno HS will need 2 full size classrooms and one counseling area. Adult Ed a minimum of one art room, one PE space and 2 full size classrooms. (Staff will investigate using City recreation facilities for addition teaching space)
4. Grade configuration at each site will remain as is (4 K-8 sites and 1 9-12 HS)
 - a. **May change based on Board goals. Plan on total K-12 numbers defined in assumption 1.**
5. Program offerings will remain as is with the addition of programs at the K-8 schools based on the Arts for All recommendations and possible accommodation for locker rooms at the K-8 schools for increased PE program.
 - a. **May change based on Board goals. Plan on total K-12 numbers defined in assumption 1.**
6. All buildings will be structurally upgraded to current seismic standards
7. No new land will be added to the District's site inventory; analyze the possibility that the Veneco lease for the oil well site will not be renewed in 2018
8. The closeout items from the previous modernization plans for El Rodeo, Hawthorne and Horace Mann will be incorporated into a new plan
9. The technology plan for the District will be incorporated into the facility master plan



MASTER PLAN PRIORITY-RANKINGS
For Board Review 7.9.08

1. Safety: security ;mandatory ADA upgrades; fire-life safety; air quality
2. Infrastructure (electrical, plumbing, sewer/water); seismic upgrades;
3. Technology- STC prototype
4. Program issues—items that effect the way we teach: For example improved science labs, appropriate music rooms (remove risers?), better utilization of space
5. Green items/solar/environmental
6. Aesthetic issues—paint, landscape, etc.



FACILITIES PLANNING COMMITTEES ROSTER			
School/Dept	First	Last	Position
Beverly Vista	Bill	Bradbury	Teacher
Beverly Vista	Nadine	Neiman	Parent
Beverly Vista	Todd	Radonsky	Teacher
Beverly Vista	Erik	Warren	Principal
District	Jim	Fahey	M&O Director
District	Amy	Lambert	Pupil Services Director
District	Kari	McVeigh	Superintendent
District	Cheryl	Plotkin	Asst. Sup. Business Services
District	Nora	Roque	HR Coordinator
District	Hene	Straus	Asst. Sup. Educational Services
District	Melody	Voyles	Senior Payroll Specialist
El Rodeo	Will	Aandappel	Teacher
El Rodeo	Pal	Escalante	Principal
El Rodeo	Andie	Kay	Teacher
El Rodeo	Jonathan	Prince	Parent
El Rodeo	Franny	Rennie	Parent
Facilities	Karen	Christiansen	Director
Facilities	Jane	Jumnongsilp	Technical Assistant
Facilities	Christine	Plotkin	Research Analyst
Hawthorne	Robin	Berlin	Parent
Hawthorne	Alex	Chechiss	Principal
Hawthorne	Craig	Davis	Teacher
Hawthorne	Jeny	Melamed	Parent
Hawthorne	Pat	Thomas	Teacher
High School	Deb	Joseph	Teacher
High School	Rick	Barclay	Assistant Principal
High School	Joseph	Guidetti	Principal
High School	Joel	Pressman	Teacher
Horace Mann	Martine	Calincis	Assistant Principal
Horace Mann	Brian	Goldberg	Parent
Horace Mann	Jacob	Manaster	Parent
Horace Mann	Dawnalyn	Murakawa Leopard	Principal
Horace Mann	Amy	Phillips	PTA President/Parent
Horace Mann	Colleen	Stemshorn	Parent
Horace Mann	Jodi	Ticknor	Parent
Horace Mann	Susan	Trachtenberg	Teacher

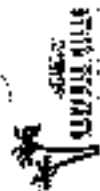


CITY OF BEVERLY HILLS DEMOGRAPHIC INFORMATION

Surrounded by the City of Los Angeles, Beverly Hills is a small city with a total area of 5.7 square miles. According to the 2000 Census, the population of Beverly Hills is 33,784 with just 7,427 residents under the age of 19. Families represent 55% (8,263 households) of the total households, giving Beverly Hills a lower than average concentration of families. Of those households, only 3,663 have children under the age of 18. The racial makeup of the city is primarily Caucasian (85.06%), with current estimates that Iranian Americans make up one-fifth of the Beverly Hill's total population. The remaining population makeup is 1.77% Black, 0.13% Amerindian, 7.05% Asian, 0.03% Pacific Islander, 1.50% from other races, and 4.46% from mixed two, or more, races. 4.63% of the population is Hispanic or Latino of any race. Beverly Hills has a larger percentage of foreign-born persons than the national average, but the majority of residents are born in the United States.

Beverly Hills Unified School District is comprised of four K-8 schools and one high school. Yearly enrollment in the district remains stable around 5,200 students. The ten year enrollment history illustrates the relatively consistent levels with small fluctuations in either direction. Due to the below average concentration of families attending public school within the city limits, the district supplements the remaining spaces with permit students. Depending on the number of students enrolled from within the city limits, the number of permits issued adjusts each year allowing the district to maintain reasonably steady enrollment throughout the schools.

The City of Beverly Hills is currently undergoing unprecedented levels of major development within the city limits over the next few years. Though largely commercial, many of the developments incorporate luxury condominium residential components. These projects may have small impacts on the number of students attending Beverly Hills Unified School District, however, overall enrollment rates should remain steady due to the adjustable permit levels and should have little impact on classroom size and the need for facility expansion. The location of the development projects in relationship to nearby schools leads to other environmental impacts discussed in the project Environmental Impact Reports and is outlined on the City of Beverly Hills Development Project worksheet. The facilities department has been working closely with the developers of each project to ensure the District is not adversely affected by future development.



City of Beverly Hills Development Projects

Site	Address	Property Owner	Architect	Community	Project Description	Status	Timeline/Notes	Estimated Costs
Beverly Hills Beverly Hills California	200-211 N Canon Dr. 200-211 N Beverly Beverly Hills, CA	City of Beverly Hills Planning Dept	City of Beverly Hills Planning Dept	City of Beverly Hills Planning Dept	62,000 sq ft expansion of the existing building to include a new wing for the project. Construction has begun.	75% complete and scheduled for completion in early 2009. The project is currently in the final stages of construction.	Approximately 1,100,000 to 1,200,000 for the expansion and 500,000 for the new wing.	
Westwood Beverly Hills California	1000 Westwood Blvd. Beverly Hills, CA	Project Andrew & Associates LP Architect: OJA Architecture Development: Westwood Project Group	Project Andrew & Associates LP Architect: OJA Architecture Development: Westwood Project Group	Project Andrew & Associates LP Architect: OJA Architecture Development: Westwood Project Group	Project Andrew & Associates LP is currently in the final stages of construction. The project is currently in the final stages of construction.	Approximately 1,100,000 for the expansion and 500,000 for the new wing.		
Beverly Hills Beverly Hills California	8775 Wilshire Blvd Beverly Hills, CA	Adaptive Construction LLC	Adaptive Construction LLC	Adaptive Construction LLC	Adaptive Construction LLC is currently in the final stages of construction. The project is currently in the final stages of construction.	Approximately 1,100,000 for the expansion and 500,000 for the new wing.		
Beverly Hills Beverly Hills California	1000 Wilshire Blvd. 1200 Wilshire Blvd. Beverly Hills, CA	Adaptive Construction LLC	Adaptive Construction LLC	Adaptive Construction LLC	Adaptive Construction LLC is currently in the final stages of construction. The project is currently in the final stages of construction.	Approximately 1,100,000 for the expansion and 500,000 for the new wing.		



Brief History of Our School Facilities

The original **Beverly Hills High School** was built in 1927 by the Los Angeles High School District. The design was considered state of the art for the time. In 1936-1937, the main school building went through earthquake renovation due to the 1933 Long Beach earthquake. The Swim-Gym was built in 1939-1940. It was designed by Stiles O. Clement. This design was quite progressive and is still considered to be an architectural icon. The High School facility and the Swim-Gym have been featured in many movies, such as the classic "It's a Wonderful Life". Due to rising enrollments, major additions occurred from 1967-1970 (North Wing to the Main Building, 5 story building with classrooms and two level parking garage). These additions were designed by Rowland H. Crawford. In 2005 the new state of the art Science and Technology Center designed by LPA, architects was begun. This building was completed in 2007.

Beverly Vista Elementary School was built in 1924 and designed by Francis J. Catton. From 1925-1928, a series of five buildings, including the original Auditorium, were completed. These buildings were designed by Gable & Wyant. The structures were renovated after the 1933 earthquake. The Auditorium was rebuilt at this time. In the 1960's, due to overcrowding, extensive alterations and additions were approved. New Library, Classroom, Physical Education and Kindergarten buildings were designed by Albert C. Martin & Associates and completed in 1968. In 1994, the school was damaged by the Northridge earthquake. In 1995, three buildings were vacated. The first building was reconstructed in 2002 and designed by Osborne Architects. The next phase of reconstruction, Building B, was designed by Dougherty & Dougherty and was completed in 2007. This building included the auditorium and several classrooms.

El Rodeo de Las Aguas Elementary School was built in 1927 and designed by Austin, Ashley & Hudson. During the earthquake renovations in 1934, W.A. Hudson was again the architect of record. With rising enrollment, a two story addition was completed in 1963, which included a Gymnasium, a new Shop and Music rooms. These were designed by William Shinderman. In the latter 1960's, there were a series of additions designed by Maurice H. Fleishman which included a three story structure and additional classrooms.

Hawthorne Elementary School, according to records, is the oldest of the current school structures. The original building had been standing for eight years when the Auditorium, designed by T. Beverley Reim, Jr. was completed in 1921. Several structures were added between 1922 and 1928. In 1929, the old Main building was demolished to make way for a new one, designed by Ralph C.



Flewelling. After the 1933 earthquake, Flewelling also designed new Kindergarten, Cafeteria and Manual Training Buildings. In 1948, Allison & Rible designed a North Wing and a new Kindergarten Building. These additions were delayed to 1953 due to the Korean War's restrictions of building materials. John Kewell designed the 140-141 building, which was completed in 1961. During the late 1960's to early 1970's, Daniel, Mann, Johnson & Mendenhall designed a new Library Wing, modernization of a portion of the Main building, an enlargement of the North Playground and a two story Primary Learning Center. The old Kindergarten building was demolished to make way for the Primary Learning Center.

Horace Mann Elementary School was built in 1929. It was originally designed by Price, Taylor & Taylor. During earthquake renovation, a Primary Kindergarten building was added in 1934. Taylor & Taylor were the architects for this project. They also designed the Auditorium built in 1937. The school was substantially enlarged during the late 1960's to early 1970's. The three story tower was designed by Balch, Hutchason & Perkins and completed in 1968. It was considered a classic architectural style at that time. In 1973, a Classroom facility adding 10 classrooms was designed by Sidney Eisenshtat. In 1976, a 25,500 square foot Playground was added and designed by Thomas Sabol.

The **District Office** was built in 1955 and designed by Pereira & Luckman. The Instructional Center was designed by Maurice H. Fleishman and completed in 1963. Aside from minor alterations, the buildings remain structurally unchanged.



Beverly Hills Unified School District
 10 year History of Enrollment

	06-07	05-06	04-05	03-04	02-03	01-02	00-01	99-00	98-99	97-98	Capacity
Beverly Vista											
K	54	55	37	39	39	59	80	46	44	36	60
1	59	46	51	57	59	57	52	45	59	49	60
2	59	54	80	56	57	52	55	65	69	73	60
3	52	57	58	74	55	58	71	72	75	71	60
4	78	68	79	56	79	75	80	77	77	63	87
5	77	83	76	85	79	78	80	77	63	84	87
6	109	107	112	107	109	105	99	87	102	103	118
7	106	110	109	115	110	98	93	110	109	109	118
8	113	118	113	111	105	101	104	99	109	106	118
SP ED.	35	30	27	27	27	26	29	31	31	36	*
TOTAL	740	726	722	720	722	710	723	710	735	750	752
El Rodeo											
K	56	53	49	40	60	59	72	66	70	70	60
1	54	59	54	59	57	72	71	74	77	74	60
2	59	51	61	71	75	72	77	73	81	82	60
3	58	75	72	78	76	75	69	55	90	94	80
4	76	76	79	85	87	80	98	98	102	80	87
5	77	86	85	82	84	102	106	104	80	85	87
6	107	107	110	107	110	111	111	98	104	83	118
7	107	113	115	109	110	107	68	102	95	106	118
8	116	115	111	111	109	102	106	100	109	101	118
SP ED.	28	29	29	26	29	30	28	25	27	33	*
TOTAL	737	771	755	766	792	810	838	824	835	818	782
Hawthorne											
K	54	50	44	58	35	52	71	68	67	62	60
1	48	52	57	57	72	64	72	65	81	86	60
2	56	55	61	68	72	68	71	85	92	88	60
3	69	68	74	72	74	69	92	82	91	91	80
4	69	74	77	80	77	81	105	94	98	73	87
5	80	82	78	74	107	105	105	100	95	94	87
6	96	79	81	106	108	104	103	100	82	101	87
7	80	81	110	108	104	99	104	99	86	110	87
8	89	111	112	109	104	102	96	94	114	111	87
SP ED.	62	60	51	55	63	60	51	50	54	46	*
TOTAL	684	713	745	784	813	812	870	848	880	862	695
Honore Mann											
K	50	56	53	58	50	58	58	65	70	89	60
1	55	56	51	56	80	57	82	72	72	75	60
2	58	58	60	59	57	63	86	74	70	77	60
3	58	64	82	58	73	76	72	79	78	80	60
4	70	72	72	83	80	83	78	82	83	78	87
5	81	84	85	80	84	82	78	89	79	80	87
6	84	82	87	83	86	81	87	84	82	86	87
7	103	111	105	108	98	101	97	97	91	102	118
8	113	116	109	111	105	110	105	108	111	116	118
SP ED.	31	26	37	33	27	28	21	14	8	13	*
TOTAL	701	723	717	728	721	730	714	750	744	775	733
High School											
9	588	604	612	506	555	549	613	531	542	526	2300 (for entire school)
10	609	627	499	548	548	605	596	549	501	518	
11	612	502	541	515	495	529	504	488	508	502	
12	479	504	490	453	491	465	445	470	456	479	
SP ED.	65	62	49	48	49	65	49	54	49	43	
CONT.		30	24	26	22	33	35	31	37	38	
TOTAL	2312	2328	2215	2096	2157	2151	2102	2103	2093	2099	

Total Enroll. 6194 6262 6164 6094 6205 6202 6247 6245 6287 6316

*students included in grade level capacity



BHUSD COMPLETED PROJECTS 2001-2008

SITE	PROJECT	Date
Beverly Vista	Building B - Replacement and Renovation	Complete Sept 2007
Beverly Vista	Playground Restoration - New turf field, Fencing, Ball Wall & Related Facilities	Complete 1/5/2006
Beverly Vista	Measure S Closeout	Complete 11/5/2004
Beverly Vista	Building B - Repair valley flashing & Replace broken roofing tiles	Complete 1/16/2002
Beverly Vista	Measure S - New Buildings & Reconstruction	Complete 2007
El Rodeo	Auditorium and Restroom Upgrades	2007-2008
El Rodeo	Waterproofing & Repairs to outdoor decks, Planters and Roofing	Complete 5/3/2006
El Rodeo	Playground Restoration - Asphalt paving, Concrete work, Play equipment and Surfacing, Artificial turf field installation	2004-2005
El Rodeo	Fence Project	Complete 3/7/2003
El Rodeo	Modernization Project	Complete 2001
Hawthorne	Auditorium and Restroom Upgrades	2007-2008
Hawthorne	Asphalt Paving on Playground	Complete 9/27/2005
Hawthorne	Construction of Ball Wall on Playground	Complete 9/27/2005
Hawthorne	Playground Restoration - Asphalt paving, Concrete work, Play equipment and Surfacing, Artificial turf field installation	Complete 5/25/2004
Hawthorne	Exploratory Demolition	Complete 8/31/2004
Hawthorne	Modernization Project	Complete 2001
High School	Swim Gym and Walkway Roofing Project - Deferred Maintenance Facility Hardship	Complete Summer 2008
High School	Demolition of Buildings C & D	Complete Feb 2008
High School	New Science and Technology Center	Complete Sept 2007
High School	Refurbish Track Surface	Complete 11/24/2006
High School	Artificial Turf	Complete 10/15/2006
High School	Site Work for Turf Installation	Complete 9/15/2006
High School	Installation of new gym floor in east gym/finish floor in west gym	Complete 6/3/2006
High School	Demolition & Remediation of East Gym	Complete 5/20/2006
High School	New Central Plant	Complete Feb 2006
High School	Make Ready Classrooms	Complete 3/15/2005
High School	Auditorium Sound System	Complete 12/2/2004
High School	Duct Cleaning	Complete 11/16/2004
High School	Waterproofing Walkways	Complete 4/20/2004
High School	Modernization Project	Complete 10/29/2001
Horace Mann	Auditorium and Restroom Upgrades	2007-2008
Horace Mann	Remove & Replace built-up roofing, tile roofing	Complete 3/26/2004
Horace Mann	Charleville fence; Demolish wrought iron fence & install chain-link	Complete 3/26/2004
Horace Mann	Playground Restoration - Asphalt paving, Concrete work, Play equipment and Surfacing, Artificial turf field installation	Complete 8/25/2003
Horace Mann	Modernization Project	Complete 2001

Master Plan
Findings



Overview of the Master Plan Findings and preliminary conceptual project scopes

The following information summarizes the findings generated from the master plan process. The following lists of projects and costs are based on the Board's number one priority of safety and security. We have included items considered fire, life safety as well as seismic concerns. As of July 8, 2008 a new Board goal was set making technology a priority so the following costs also reflect this dollar value. The Master Plan document contains all the supporting reports, assessments and conceptual plans for improvements. These plans were also generated using information obtained from committee meetings. The committees were composed of various site staff, administration, parents and community members. The membership list is also contained in the master plan document. At the high school and DO administration sites, meetings were held with each department to gain input from the end users. Additionally, a series of study sessions were held with the Board of Education to review the progress and receive direction.

The following conceptual project list and the master plan findings were used to generate the extensive project list that appears in the District's resolution for Measure E. This listing and the resolution language are not "promises" to complete all items listed. These lists are used a preliminary guidelines from which a final and BOARD APPROVED project list, budgets and schedules can be developed.

These are PRELIMINARY project lists and are based on the site assessments developed over the past 2 years, during the master planning process. Conceptual solutions for items discovered were developed with site committees and preliminary conceptual plans were presented to the Board in a series of study sessions. These plans will appear in the draft master plan document. These plans will be refined and revised as Board direction is given. **All final project lists, project budgets and project schedules will be developed in conjunction with site committees, input from the community and City and then presented to the Board for final and official approval.** This will become the BHUSD Implementation Plan.



PRELIMINARY CONCEPTUAL PROJECT LIST

BHHS- \$180 million (\$135 million c.v.) (cost does not include potential State or City dollars)

Total campus reconfiguration for access control, safety and security

Including:

Seismic upgrades to the existing structures

Demo of a portion of Bldg B and H

New public entry building (+/- 40,000 square feet)

- Additional parking

New athletic facilities, tennis courts, softball field and parking

Modernization of existing facilities

"Facelift" to main lobby entrance exterior

Development of new circulation pattern

- Eliminate through traffic on Heath Ave.
- Narrow and upgrade Heath Ave.
- Separate private/public entries

Technology upgrades

New separate and contained Maintenance facility

D.O. Annex-Develop Alternative Ed Center- \$10 million (\$7.5 million c.v.) (may qualify for some State dollars)

Reconfigure interior and exterior of Annex Building

New Elevator and stair areas

New circulation pattern creating more useable space

New entry for Moreno and Adult Education

- Non BHHS students will be off High School campus

Technology upgrades

BV- \$10 million (\$7.5 million c.v.) (cost does not include potential State dollars)

Refurbish multiuse and locker area

Solve water intrusion issues

Technology upgrades

Security upgrades

Related infrastructure improvements (electrical, plumbing, etc)

ER- \$30 million (\$22.5 million c.v.) (cost does not include potential State or City dollars)

Upgrade science rooms

Upgrade multiuse area (or build new with State and City assistance)

Upgrade locker rooms

Upgrade cafeteria

Solve water intrusion issues

Seismic upgrades



Technology upgrades
Security upgrades
Related infrastructure improvements (electrical, plumbing, etc)

Hawthorne- \$30 million (\$22.5 million c.v.) (cost does not include potential State)

Upgrade science rooms
Upgrade multiuse and locker rooms
Seismic upgrades
Technology upgrades
Security upgrades
Related infrastructure improvements (electrical, plumbing, etc)

Horace Mann- \$40 million (\$30 million c.v.) (cost does not include potential State or City dollars)

Demolish Round classroom structure (create new courtyard area)
(Build new multiuse room and library with assistance from the State and City)
Upgrade science rooms
Seismic upgrades
Technology upgrades
Security upgrades
Related infrastructure improvements (electrical, plumbing, etc)

****Values above include soft costs of 25% c.v. (architects & engineers , testing , inspectors, approval fees, legal, program/project management, etc.) \$81 million**

****Costs are also escalated over the life of the program**

- **Net Program Value \$300 million (construction value \$225 million + \$81 million soft costs and program contingency)**
- **Total Bond Value \$334 million**
- **Bond Program Schedule (preliminary)- 2009-2015**

Note: We have NOT included the dollars that potentially could be generated from OPSC (Deferred Maintenance Hardship, Facility Hardship, Seismic Mitigation or Joint Use funding) or City matching funds. These will be reviewed during the development of the Implementation plan. There are millions of dollars available now and possibly more in 2010 (if there is a Statewide Bond) should we obtain the matching share required for these programs.

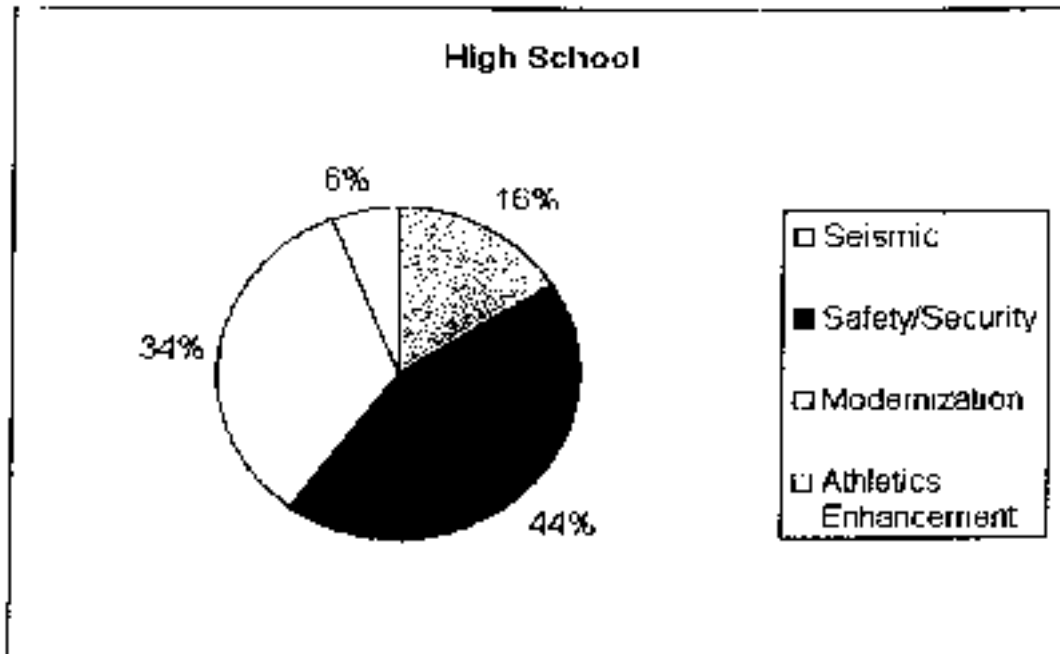
No costs were included to build back any classrooms at Horace Mann. This plan only considers building a new library and multiuse area. This can change during the final scoping process. This project may include State facility hardship funding for the support facilities but BHUSD has no eligibility for classroom funding through OPSC.

At the High School, we have not included a scope for the new main entry point structure, just a square footage allocation and parking area.



Beverly Hills High School Percentages of Scope

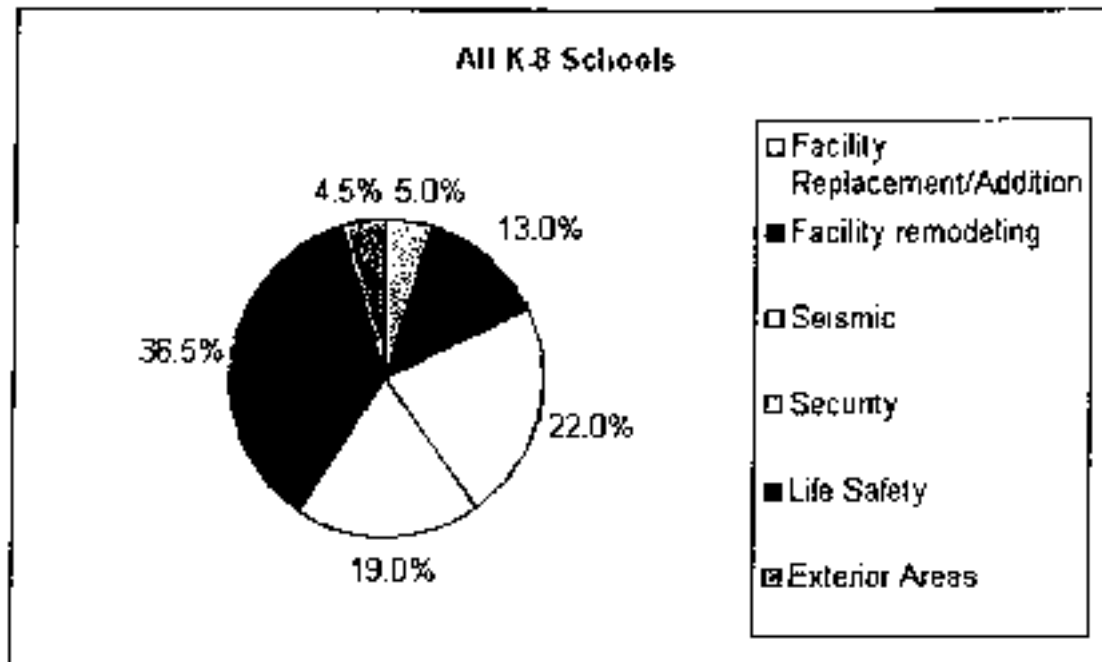
Seismic	16%
Safety/Security	44%
Modernization (Includes technology)	34%
Athletics Enhancement	6%





All K-8 Schools Percentages of Scope

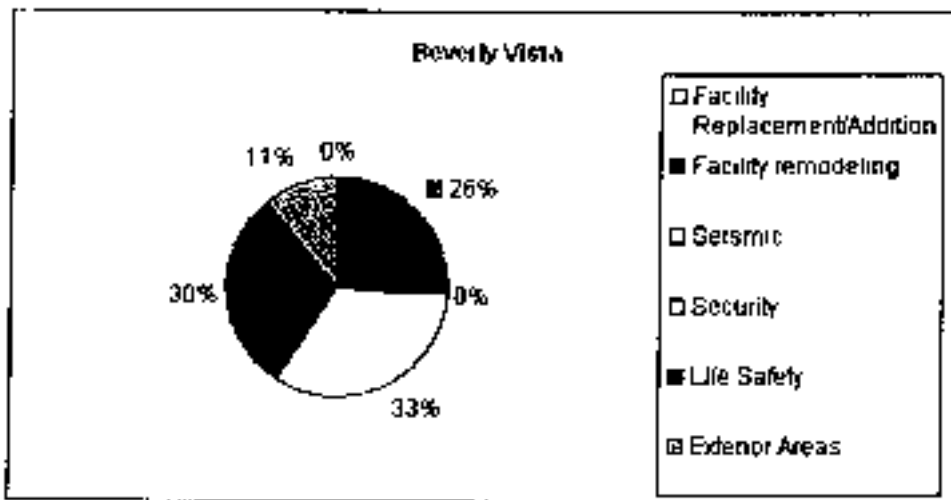
Facility Replacement/Addition	5%
Facility remodeling	13%
Seismic	22%
Security	19%
Life Safety	36.5%
Exterior Areas	4.5%





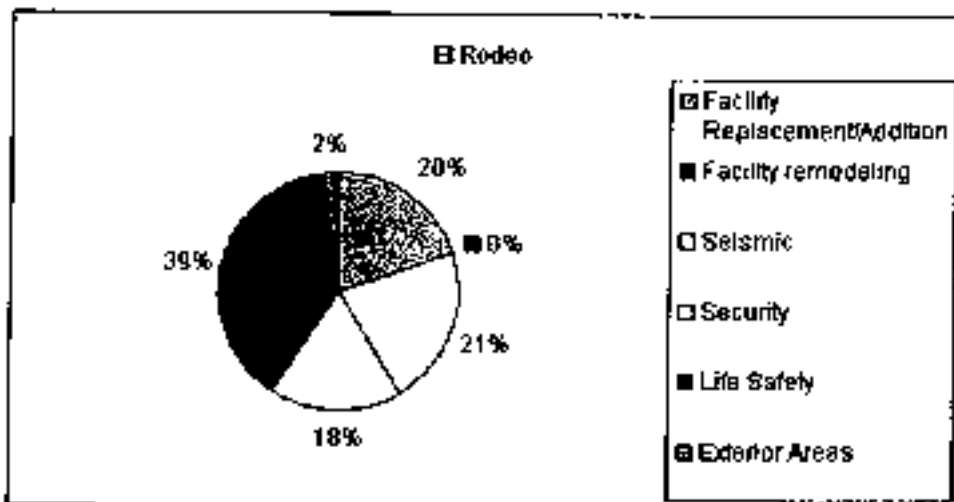
Beverly Vista Percentages of Scope

Facility Replacement/Addition	0%	
Facility remodeling	26%	Upgrade MPR and locker Room
Seismic	0%	
Security	33%	
Life Safety	30%	
Exterior Areas	11%	



El Rodeo Percentages of Scope

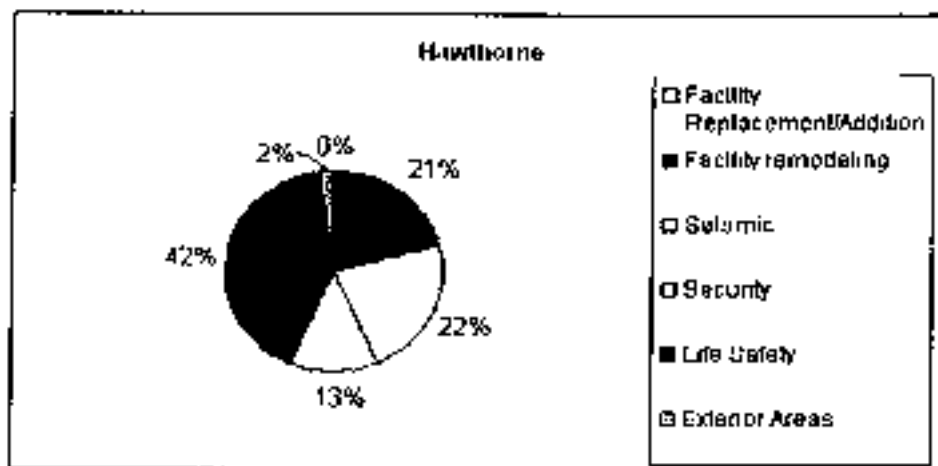
Facility Replacement/Addition	20%	New MPR
Facility remodeling	0%	
Seismic	21%	
Security	18%	
Life Safety	39%	
Exterior Areas	2%	





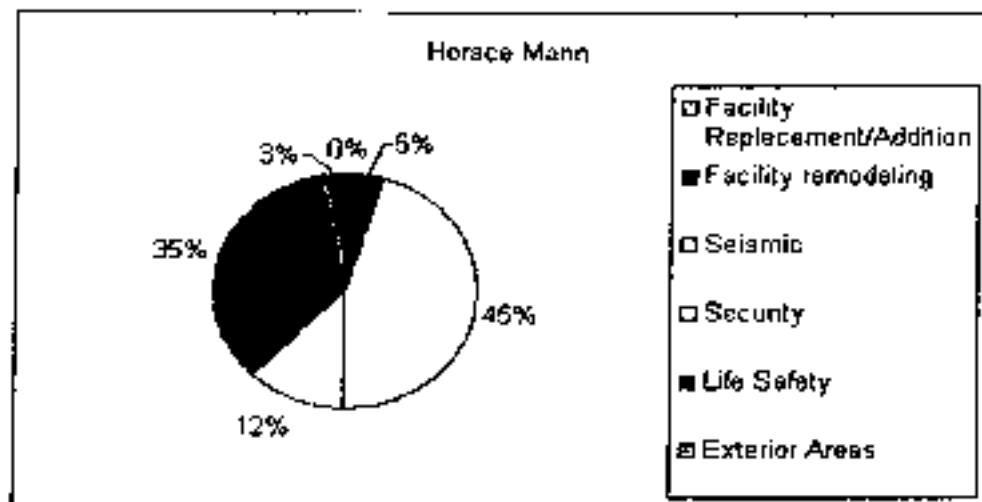
Hawthorne Percentages of Scope

Facility Replacement/Addition	0%	Upgrade MPR, Locker Rooms and Science Labs
Facility remodeling	21%	
Seismic	22%	
Security	13%	
Life Safety	42%	
Exterior Areas	2%	



Horace Mann Percentages of Scope

Facility Replacement/Addition	0%	
Facility remodeling	5%	Level Music Room, Access and Entry
Seismic	45%	Rotunda
Security	12%	
Life Safety	35%	Annex. Sprinklers, Fire Alarm, Room 110
Exterior Areas	3%	



BHHS Master Plan



Beverly Hills
Unified School District

High School Facilities Master Plan

AUGUST 2008

INTRODUCTION

It has been LPA's distinct pleasure to participate with the District's Program Manager, in the development of BHUSD's High School Facilities Master Plan. Beginning in April 2007, LPA, Inc. has come to know many outstanding individuals who have made this District one of the top ranked Districts in the Country. The following are the many important people and organizations that we would like to recognize who contributed to this Facilities Master Plan.

DISTRICT PARTICIPANTS

Board of Education:

- Myra Demeter, Ph.D., President
- Meesha Meshkety, Vice President
- Myra Lurie, Member
- Brian David Goldberg, Ph.D.
- Steve Fenlon
- John Miller, Previous Member
- Alyssa Boston, Previous Member

District Steering Committee:

- Karl McVeigh, Superintendent
- Cheryl Plotkin, CPA, Assistant Superintendent
- Ilene W. Straus, Ed.D., Assistant Superintendent
- Sal Gumina, Assistant Superintendent
- Maria Hruszaker, Director, Food Services
- Jim Fahey, Director of Maintenance and Operations

High School Faculty:

- | | |
|-------------------|-----------------------------|
| Joseph Guidetti | Principal |
| Rock Barclay | Assistant Principal House B |
| Joel Pressman | Performing Arts Dept. Chair |
| Karen Boyarski | Head Librarian |
| Josh Bertschert | Theater & English Teacher |
| Howard Edelman | Teacher, PE Dept. Chair |
| Michael Federman | Visual Arts Chair |
| Herb Hall | Theater & Film Teacher |
| Bill Hiatt | English Dept. Chair |
| Debra Joseph | Technical Arts Chair |
| Gertie Poyninger | Physical Education Teacher |
| Steve Rappaport | Career Development Co. |
| Rachel Roney | Social Studies Teacher |
| Dr. Jen Stevenson | Special Education |

CONSULTANT TEAM PARTICIPANTS

- Architect: LPA, Inc.**
 Jon Mills, AIA
 Wendy Rogers, AIA
 David Leves, AIA
 Anash Leadi, AIA
 Bryce Osborn, AIA
 Krista Smallwood

- Principal-in Charge
- Principal
- Associate
- Associate

- Structural Engineer:**
 Lance Kemyon, MS, SE
 Jesse Kams, SE
 Katay Rantowich, SE
 Jeonghwan Kim, PE
 Jang-Kock Hong, Ph.D.

- MEP
- Partner
- Partner

- Electrical Engineer:**
 Ray Swartz, PE
 Gary McFarland

- Konstrum I
- Principal
- Associate

- Plumbing Engineer:**
 Tim Pocock, Principal
 Ken Lona

- BP and Associates

- Mechanical Engineer:**
 Abby Bamerjee, PE
 Robert Wagemat

- BP and Associates
- Principal

- Food Service Consultant:**
 Richard Deth, FCSI

- Diek Murawski Howe
- Principal

- Program Manager:**
 Karen Christensen

- Strategic Concepts
- Facilities Program Director

- Cost Estimator:**
 Paul Pierce
 Alan Kung

- Turner Construction

- Infrastructure Consultant:**
 Jay Jondewila
 Gen Davis, PE

- URS
- Vice President



Beverly Hills
Unified School District

**High School Facilities Master Plan
Executive Summary**

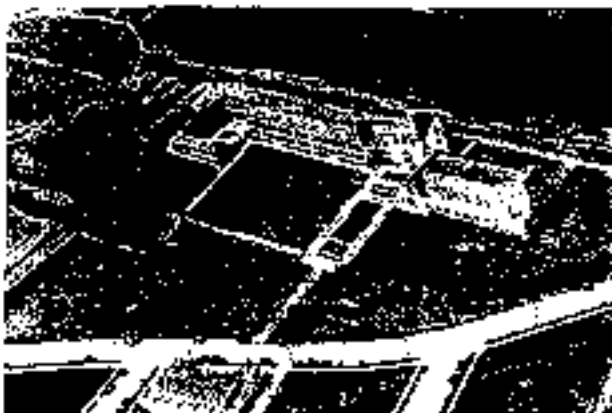
BEVERLY HILLS HIGH SCHOOL

Beverly Hills High School is a four-year, college-oriented high school unique in its international population and high achievement. As a 2004 National Blue Ribbon School, BHHS continues its long tradition of academic excellence and its role as a leader in public education.

With an enrollment of 2424 students (616 seniors), BHHS strives to ensure that our students are humane, thinking, productive citizens who respect diversity. The faculty, staff and administration are dedicated to helping all of our students from diverse backgrounds, including 42% for whom English is not a first language, reach their individual academic and personal goals.

With over 496 course offerings and 62 electives, BHHS students experience an extensive and challenging range of studies designed to develop the skills they need to succeed in college, the workplace and life. All classes meet at least 248 minutes per week, with the exception of Advanced Placement science classes, which meets an additional 52 minutes per week on a traditional schedule. Classes meet three times per week for 52 minutes, and 52 minutes twice per week on a block schedule. Students in grades 9-11 are expected to carry a minimum of six classes. Seniors may take a minimum of five classes. BHHS sponsors more than 62 student-run extracurricular clubs. Students also participate in a multitude of community service projects each year.

The average student to teacher ratio is 21:1, and BHHS has maintained an average class size of 20 in our 9th and 10th grade English and 21 students in Algebra. Average class size is 24 students. The faculty consists of the principal, three assistant principals, psychologist, eight counselors, librarian, nurse, ROP counselor, intervention counselor and 317 teachers, 87 of whom hold masters degrees and/or doctors' degrees.¹



The Los Angeles High School District built the Beverly Hills High School in 1927 for a cost of \$103,000. Designed in 1926 by Architect Robert O. Farquhar, the original campus included the Main Building (Bldg. B) which housed the Administration, Auditorium, Classrooms, Library, Kitchen and Dining Room, a Shop Building (Bldg. G) and Boys and Girls Locker Room Buildings (Bldg. E). The Board of Trustees of the Beverly Hills School District first attempted to acquire Beverly Hills High School in 1930, when it filed a petition of over 4,000 signatures with Los Angeles County Superintendent of Schools H. J. Ujohm. This petition failed in the teeth of strong opposition by the Los Angeles Board of Education, but after filing a second petition with over 7,000 signatures in March of 1933, Beverly Hills finally achieved success. The State Board of Education, during its April meeting, approved the transfer of control from the Los Angeles City High School District to the Beverly Hills School District.

Once in control, the Board retained Taylor and Taylor as architects in order to bring the school's structure up to the rigid specifications of the Field Act (passed after the 1933 Long Beach earthquake). In April 1936, the School Board authorized Gates and Huntley to proceed with the reconstruction of the Gym and Shop buildings. In June of that year, the Trustees approved J. K. Thomas as contractor for the structural renovation of the Main Building. Taylor and Taylor also designed new football bleachers located west of the Boys' Athletic Field. The Board approved construction of the bleachers by contracting Engineers, Inc. on October 1936 and the bleachers were completed in March 1937. The Board then approved plans for a Lunch Plaza, also designed by Taylor and Taylor, on June 15, 1937. The Hoagland Engineering and Construction Company built the new plaza next to the cafeteria at the south end of the Main Building. On April 20, 1938, James Construction Company was authorized to build two new tennis courts. The two courts, built south of the gym, were constructed in May, 1938.

Assisted by a grant from Franklin D. Roosevelt's Public Works Administration, the School District approved construction of the Swim Gym (Bldg. F) on June 12, 1939. Designed by Stiles O. Clements, this unusual building featured a diving, sliding basketball floor, which opened over a swimming pool. After some construction problems, the Baruch Corp. completed it in May, 1940.

A development of the western portion of the campus was the next major change of the High School. Authorized in November, 1947, the Allison and

¹ Beverly Hills High School Profile, Fall 2007

Rible project involved upgrading and repaving of a parking lot west of Heath Ave. (Current location of Bldg. A), installation of sidewalks and a partial remodeling of the Main Building.

Next, Spalding and Rex designed a remodeling of the Girls' Gym, including the construction of new offices and the remodeling of the shower room. Board approved construction by Chotiner and Gymbinger on June 17, 1952.

The Gym revision was followed by the July 1954 construction of a footbridge over the track between the Girl's Gym and the main entrance to the football bleachers. G. H. Olson completed the Allison and Rible designed bridge in November of that year.

To complement the Girls' Gym rehabilitation, the Board asked Hornold and Rex to design a general remodeling of the Boys' Gym. Approved July 2, 1956, the renovation by Robert L. Reeves Construction Company included a new ventilation system for the Gym and Corcor Rooms.

To improve the High School Business Education facilities, the Board approved Architects Hornold and Rex's plans for a new Business Education Building (Bldg. C) on October 25, 1956. The Pallisgaard Construction Company completed the new structure on September 1, 1957.

Because existing B. E. rooms in the Main Building were no longer needed, Hornold and Rex proposed that the rooms be converted into a Guidance Office. The Board approved contract with the Ruocco Corporation on August 8, 1957, with construction completed the following January.

To further upgrade existing athletic facilities, the School District asked the architectural firm of Allison and Rible to design a plan to be used in the rehabilitation of said facilities. In May of 1957, the Pallisgaard Construction Co. put in a new ground brick track, built new retaining walls, installed a new sprinkler system, and repaved the football field.

In order to modernize and expand the science facilities at the High School, the Board asked Rowland H. Crawford to design a new Science Building (Bldg. U) to be located north of the existing Business Education Building. The Board awarded the contract based on Crawford's work to Howard Dunn on April 14, 1959, the structure being declared complete in February of 1960. As in the case of the old Business Education rooms, the Pallisgaard Construction Company converted the old existing Science Rooms to regular classrooms in September 1960.

In order to meet new fire codes, Arthur Freebich and Associates designed alterations for fire safety. The Board awarded the contract to Carpenter and Smallwood on June 27, 1962.

Under the pressure of rising enrollments, the School District authorized extensive additional alterations to the High School. The additions, designed by Rowland H. Crawford and built by Montgomery Ross Fisher, included the following: Additions to the East and West ends of the Gym Building, addition of a North Wing to the Main Building and the construction of a five story building with classrooms, offices, and a two level parking garage (Bldg. A).

Undeclared in early 1970, the \$75 million project was the largest single capital outlay by the Beverly Hills Unified School District.

Later, in order to fulfill portions of the original Crawford building plan, the Manual Training Building was converted into the District Maintenance Building and the old Cafeteria was made into the District Warehouse (Bldg. H).

In 1974, the Student Body at the High School secured a loan of \$8,500 from the Board of Education to develop and operate their own radio station. The Student Body paid back the loan within the next five years, and the radio station KBXY was born. Later that year, after a suggestion by Theatre 40, Inc., a 59 seat Lecture Hall Theatre (Theatre 40) was built using an old storage room. Some of the financial support for this project came from Theatre 40, Inc.

In March 1973, the Board of Education approved the construction of a Science Resource Center at the High School. Sidney Eisenstat was asked to design the plans for this Resource Center. The contract was awarded to Gambu Constructors and the structure was declared complete on October 31, 1975.

The next major change at the High School was that of the Physical Education Facilities. Again, Sidney Eisenstat was asked to design the plans for this project. After many changes in planning, the Board of Education awarded the contract to Jones Bros. Construction Co. in October of 1977. The project, which included the addition of two Tennis Courts, as well as a new patio area in front of the Swim Gym and Maintenance Building among other things was completed on August 25, 1978.

In October of 1979, Board Approval had been given for the redesign of the southwest Athletic Field which included the moving of the oil well from the east end of the field to the south end, the addition of six basketball courts at the north end, and the addition of a new grass field. Much of the work was done at no expense to the District by the Beverly Hills Oil Co. The job was completed in September of 1980 and was a great improvement on the old field.²

The latest major change to the High School Campus has been the completion of the Science and Technology Center. Dedicated on October 04, 2007 and funded from a 2001 Local Bond Measure, the four story building houses 18 math classrooms, 12 science labs, a 1000-student fixed seat lecture hall, faculty work areas, and a multi-purpose Educational Development Center for staff mentoring and teaming opportunities.



² Structural History of Administration Centers, Sabol, Kimball & Johnson, 1974



MASTER PLAN PROGRAM GOALS

The Beverly Hills Unified School District (BHUSD) has identified the need to improve the High School as a component of an overall Facilities Master Plan. The 27 acre campus was built in 1927 and has been added to over the decades as previously described. Many of the buildings have an iconic presence in the community as well as in Hollywood. The Facilities Master Plan provides a comprehensive plan that takes this into consideration and other factors that will shape Beverly Hills High School for many years to come.

The goals established by the BHUSD for Beverly Hills High School Facilities Master Plan are:

- Upgrade Facilities to Current Accessibility, Health, & Safety Standards
- Provide a Secure and Safe Campus with an Efficient 'Front Door' for Access Control
- Allow Safe Pedestrian and Vehicular Circulation on the Campus
- Eliminate Undersized Classrooms and Efficiently Utilize Educational Space
- Provide Additional Classrooms to Support Actual and Projected Student Enrollments
- Improve the Facilities Environment to Enhance Educational Program Quality, Attract & Retain World Class Staff
- Maximize Capture of Joint Use Funding Eligibility
- Support Continuation of the Quality Level Required for Beverly Hills HS Programs & Facilities to Augment Community Value
- Provide Title B Equitable Fields and Improve Multi-Use Practice Fields
- Upgrade Field Grandstands and Provide Community Concession and Restroom Facility
- Restore and Rehabilitate Existing Buildings to Preserve the Past and Plan for the Future
- Remove Programs and Functions not Consistent with the Operation and Educational Program

Possible Additions:

- Provide a Centralized Kitchen to Serve the four K-8 Elementary Schools
- Provide a Long Term Renewable Energy Source to Offset Rising Utility Energy Costs

This Facilities Master Plan and resulting individual project scope recommendations provides the Beverly Hills Unified School District, its leadership, students, staff, constituents, and stakeholders with a comprehensive program to shape both current and future decisions for facility renovations and new construction. It has been developed to establish priorities for facilities and educational programs based upon need, overall program equity, and the total funding resources available.

PROCESS DESCRIPTION

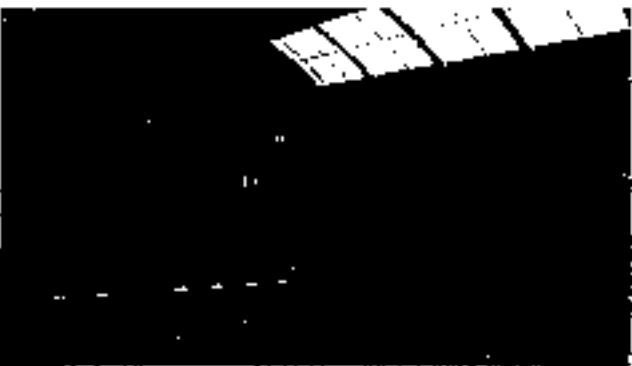
The process of preparing a Master Plan for the Beverly Hills High School is the first step in the planning and development of a long range facilities improvement plan. The Facilities Improvement plan is a collection of a prioritized body of work, determined by the District's Program Manager and Board of Education, identified through the evaluation of the existing conditions of the facilities, deficiencies identified by District, school staff and LPA's team as well as enhancement projects identified by District representatives and LPA with a strong focus on the preservation and restoration of the campus' landmark features.

The process began with the District's Program Manager, Strategic Concepts, through assistance from LPA and our consultant team, determining the previous unmet needs of the campus through the visual assessment of the current condition of the facilities as well as verification of the existing systems capabilities, handicap accessibility, fire life safety and structural safety compliance aspects. To aid in the evaluation of the existing conditions, the record drawings of the buildings, existing field reports, current deferred maintenance reports, and current demographic data and enrollment projections were collected.

Once the existing conditions were well understood, meetings with the school's individual department staff were held to better understand the current curriculum and how it relates to the spatial and equipment needs which currently exist. Next, department staff were asked to assess how curriculum might change in the future and how facilities can be designed to accommodate future educational program needs. Finally, department staff were also asked to "dream" and propose potential future development they could envision on the campus.

The next major task in the development of the Master Plan was the prioritization of the collection of projects identified by the participants for implementation. Projects necessary to address non-compliance code issues, fire life safety and structural safety concerns were given priority as well as significant school enhancement projects including preservation and restoration of existing landmark structures and projects necessary to provide an equalization of facilities throughout the school's departments.

The final step in the development of the Master Plan was the compilation of all the information used and the recommendations made by the project team into this document which will be reviewed by the Board of Education.



The Master Plan scope was created after thorough review of District graduation requirements UC and CSU entry requirements, District curriculum, California Department of Education requirements, Title B Regulations and the overall condition of the facilities of the High School.

EDUCATIONAL PROGRAM

Beverly Hills High School desires to design the facility and the educational program components to support the implementation of four "Houses" that allow for student continuity, but are organized in a central administrative "hub". The District and site administrators have the ability to decide for themselves, how they want to implement the program with the following strategies illustrating how the Houses may be organized:

- Grade Level - 9, 10, 11, 12
- Interdisciplinary - Schools within a School
- Academic Discipline

In addition to the instructional spaces, the plan includes Professional Learning Centers located throughout the High School to promote staff collegiality and departmental collaboration. These decentralized facilities also help to increase supervision of the entire school campus.

PRESERVING THE PAST

The restorations and re-imaging of Building B, E, F and A are an important element of the Master Plan. A critical component to the restorations would be to seismically strengthen components of the building as recommended in the Seismic Risk Evaluation prepared by NHP under Section 3.

Building B (Main Building)

In an effort to solve the circulation and security issues facing the campus regarding visitors, students and staff, the ideal solution was to address how the Main Lawn and Heath Ave. function and the community's perception of the front door of the campus. The ceremonial entrance of the school is atop the stair lawn however, the functional entrance of the school is up through Heath Ave. by way of a car. The school has two points of entry, a front of house and back of house which has existed since 1927. Unfortunately, through the addition of Building A and multiple remodels in Building B, the connection from Heath Ave to the Main Lawn has been lost. One of the priorities for Building B is to re-establish the connection between the front and back of house, re-establish Building B as the hub of the campus and let it function as an element for way finding. In doing so, the Visitor entry would be redirected off Moreno with parking at the proposed Building M. This would create one point of entry for all visitors into campus. The Heath Ave. entry would be used for student and staff vehicular traffic. To redefine the entry to Building B from the back of house, the bridges connecting Building A to Building B would be removed and would be replaced with one transparent connection to Building A which would allow for the restoration of the original facade of Building A and for the connection to not cover or distract from the presence of the original structure. The removal of the bridge further facilitates the re-establishment of the original back of house entry to the Auditorium through the Tower Lobby.

The restoration of this building would include the replacement of all the doors and windows similar to those of the original wood and glass design as well as the replacement of windows that had been removed in the auditorium and third story Oral English and Music Room. The original light fixtures would be refurbished, the copper gutters and downspouts would be restored, the original staircases that had been removed would be rebuilt, the Theater Set Entry would be reworked and the entire facade would be repainted. As for the interior work, poor functioning classrooms would be eliminated or repositioned to function with the current program requirements. The hardwood floors would be refurbished, the air conditioning/heating systems would be properly balanced, the decorative ceiling areas of the circulation spaces would be restored and original cabinetry would be recreated.

Building E (Boys and Girls Locker Room)

Similar to Building B, the restoration of Building E would include replacing or refurbishing the exterior windows and doors along with the decorative window screens. Since the building was not designed to be cooled mechanically, natural ventilation has been used to reduce the heat in the building. This was addressed through the use of operable windows which over the years have deteriorated to an un-functional condition which should be corrected. Other significant items would include the refurbishing of the Boys and Girls Locker Rooms, the replacement of the showers in the Girls Locker Rooms and the repurposing of oversized or unused spaces to properly accommodate the current and future program requirements.

Building F (Swim Gym)

Perhaps one of the most well-known buildings on the campus, the restoration of this building will need to be quite extensive. Beginning with the exterior, the roof needs to be replaced to stop the infiltration of water. The exterior windows and doors should be replaced so they not only function properly but also complement the original design. The formal entry should be used once again and similar to all buildings on campus, the facade should be repainted. In regards to the interior, the lighting, humidity and acoustics need to be addressed. In its current configuration, the building does not meet the state's accessibility standards. The components of the operable floor should be refurbished to ensure the operability for the future and components of the pool should be fixed or replaced.

PLANNING FOR THE FUTURE

Site

As previously described, there was an effort to separate the visitor, student and staff entry. A new visitor/Sports Complex entry has been located near Building F with a parking garage beneath the proposed Building M. Visiting school buses would pick up and drop off at this location as opposed to pulling in the back of the school off Olympic. This drop off would not only allow all visitors to experience the ceremony entrance into the school but also allow school staff to immediately greet and grant access to the educational facilities or the athletic facilities.

Due to the premium of land in this area, buildings that no longer function in an efficient manner and are not easily adaptable for new program need to be removed to make space available for programs with a greater need. The demand for adequate field space at the school is in high and the demolition of Building H and the South one-story wing of Building B will allow for the necessary grading to fill a CIF regulation Softball field and much needed Multi-use practice fields for the PE and Athletic Programs. When the original cafeteria and dining space was outgrown in Building B, Building H was built to meet the expanding needs. Replaced by the Food Service facility in Building A, Building H became the location of the Continuation High School and the Maintenance facility. In the South one-story wing of Building B, are few classrooms that will be replaced in the proposed Building M.

Building A (Existing 5-Story Building)

A few of the large gestures to be made in Building A would be the remodeling of the kitchen/dining facilities and exterior quad, the addition of photovoltaic panels to the roof, and the repurposing of spaces to match the current curriculum. With the remodeling of the outdated food service facilities, would come a new kitchen that would prepare food for the entire District from one centralized location in an effort to produce a higher quality product that can be better controlled. The dining facilities would be remodeled to create a more desirable place for students and faculty to congregate both inside and out. The exterior quad would be redesigned, shaded and furnished to invite usage. To provide the much needed shade to the space, the photovoltaic panels that will cover the roof will span the outdoor quad below.

Building M (Student Union)

The campus plan envisions the addition of a Student Union as the new front of Beverly Hills High School. Located with adjacent subterranean visitor parking on Moreno, it will complement the operational historical entrance, and provide safe and secure access to the campus from a single point. As a community resource, the Union will provide joint-use activity rooms, student weight training and fitness space, centralized counseling and administration, College/Career Center and state of the art instructional spaces.

Building N (Food Service/Restroom Building)

In a continued effort to central circulation around the campus, Building N would provide the connection between the upper and lower fields as well as provide the access point into the Stadium. Building N would also house a Food Service facility for sporting events as well as provide restrooms and the necessary Field Storage for the upper and lower levels.

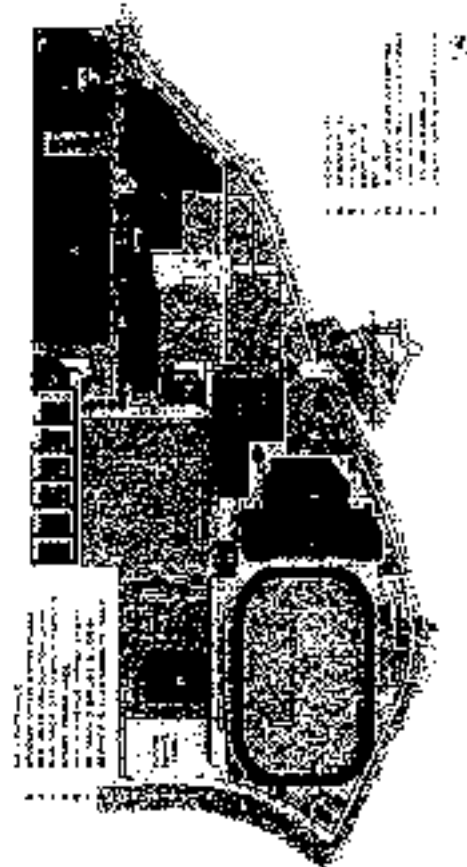
Building O (Tennis Pro-Shop Building)

Located on a Deck above an additional student/staff parking lot supporting roughly 200 stalls, the Tennis Pro Shop Building and 6 tennis courts would support the High School and Joint-Use needs.

Building R (Maintenance Building)

One of the primary goals of the Master Plan is to remove programs and functions that are not consistent with the operational and educational programs of the High School. The District Maintenance Facility and Service Yard currently housed in the ground floor of Building H are in the center of the High School campus. Due to the vehicular traffic associated with the District's Maintenance staff and the large storage requirements, the current location on campus does not meet the needs of the department or the safety concerns of the High School Administration. However

due to the central location of the High School relative to the elementary campuses and the lack of available space within the District, the Maintenance Facility would be relocated to the Southern end of portion of the campus isolating access to the new facility from Olympic and not through the High School Campus. The new facility would house all the operational, warehouse and service needs for the District.





Beverly Hills
Unified School District

**High School Facilities Master Plan
Process Presentation**
JULY 2008

BOARD STUDY SESSION
PLANNING FOR THE FUTURE

BOSSLEYVILLE HIGH SCHOOL

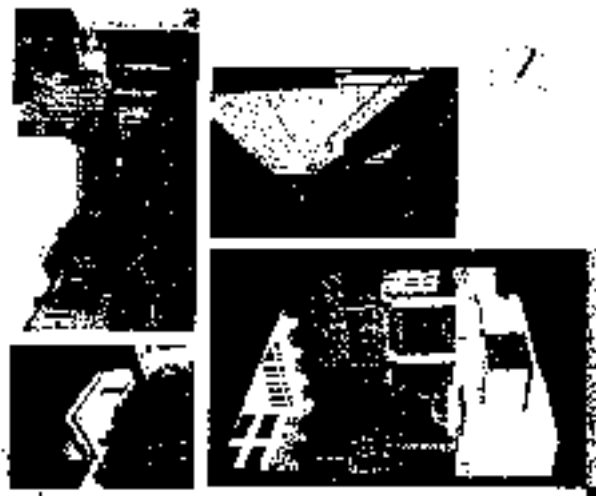
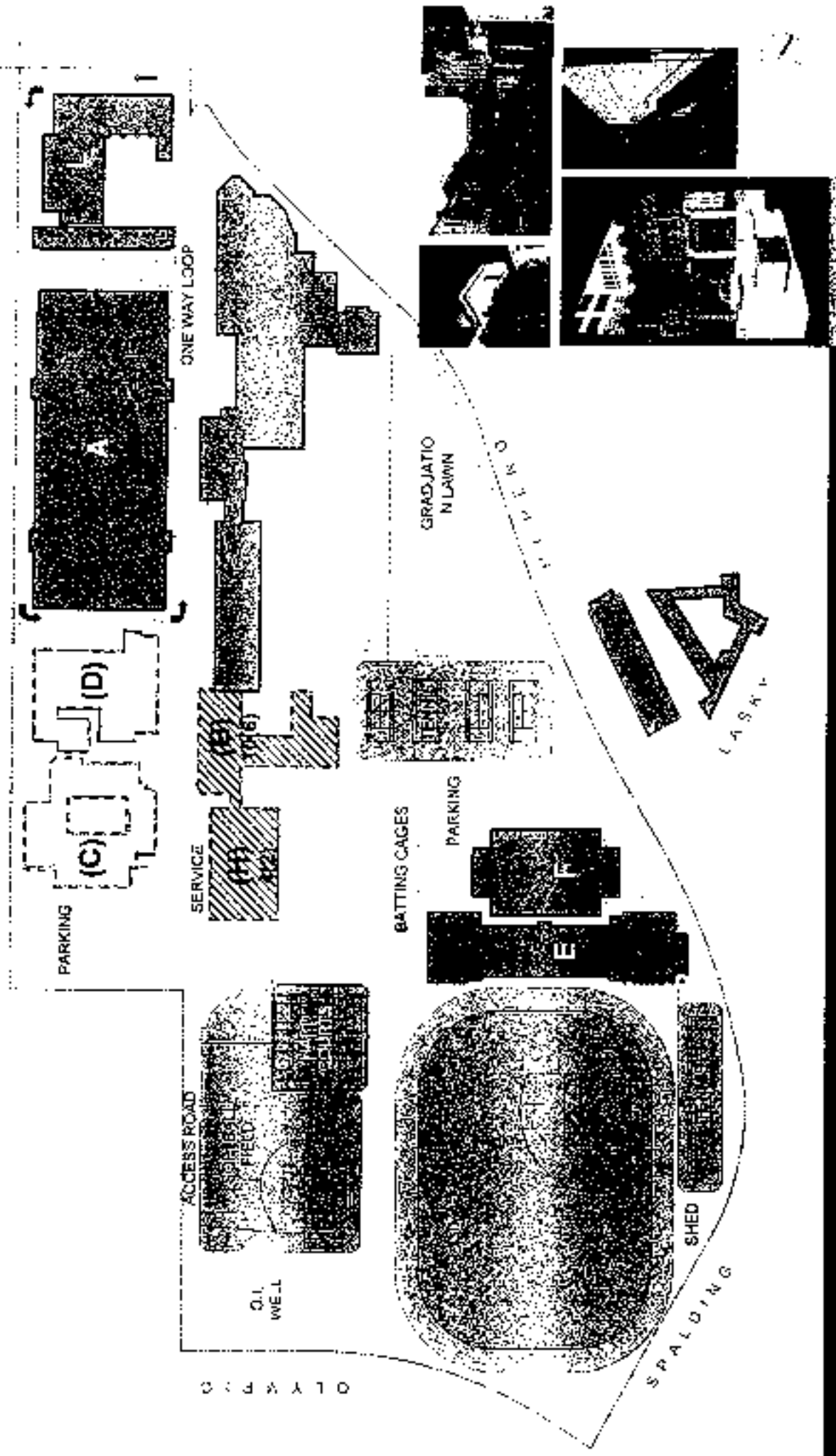
Board Study Session
July 2008



SITE PLAN

Planning for the future

preserving the past



OLYMPIA

Planning for the future

preserving the past

— **Master Plan Program Goals**

Security

Access Control

Moreno HS

Maintenance & Operations

Safety

Pedestrian and Vehicular

Seismic/accessibility/health & Safety

Equity

New Softball Field

Restore and Rehabilitate Existing Buildings

Undersized Classrooms

Site and Infrastructure Upgrades

Centralized District Kitchen

Technology Upgrades

Athletics

Joint Use Funding

Upgrade Field Grandstands

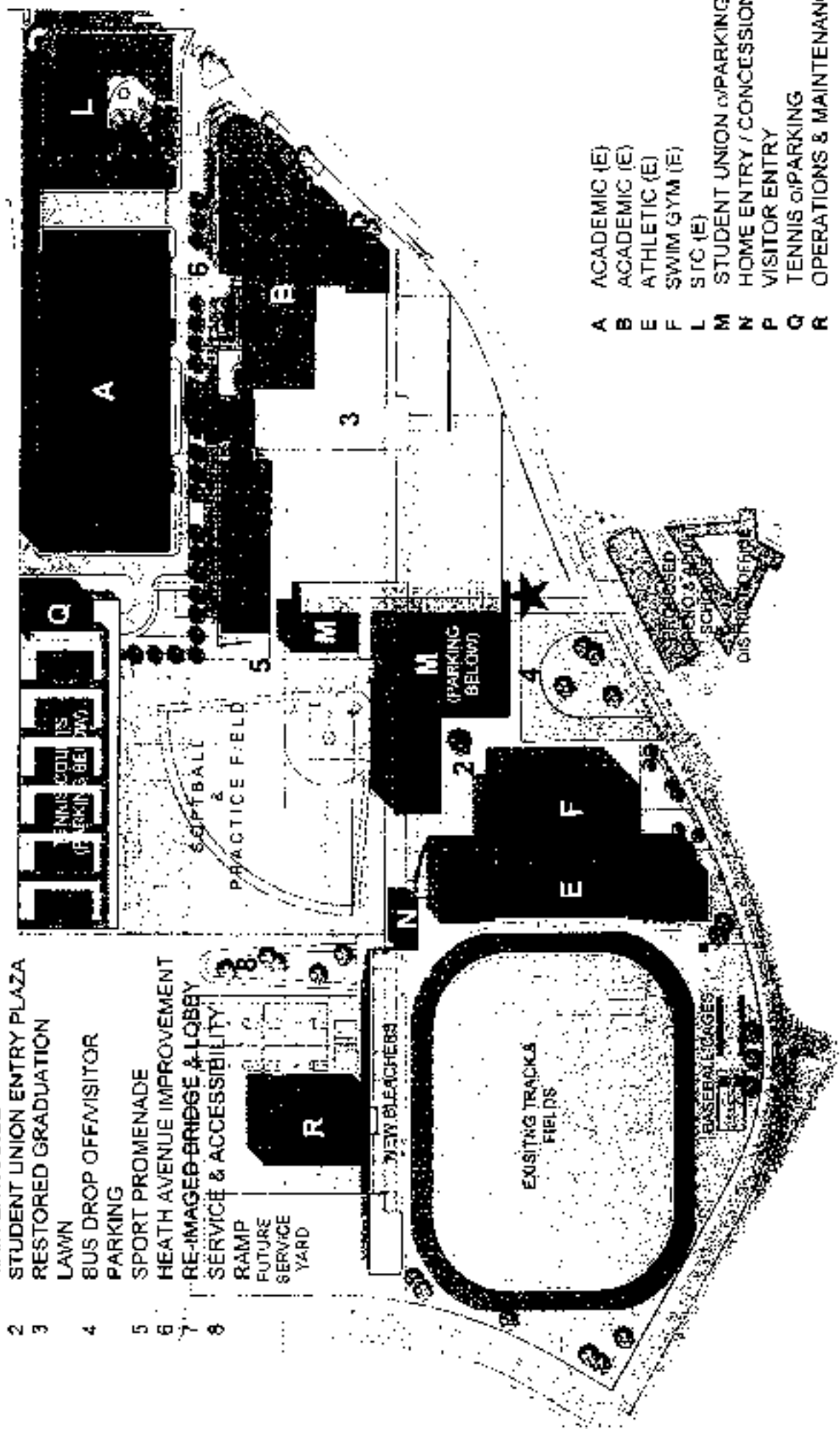
Community Facilities

Renewable Energy

ARCHITECTURAL FIRM

Planning for the future preserving the past

- 1 MAIN ENTRANCE
- 2 STUDENT UNION ENTRY PLAZA
- 3 RESTORED GRADUATION LAWN
- 4 BUS DROP OFF/VISITOR PARKING
- 5 SPORT PROMENADE
- 6 HEATH AVENUE IMPROVEMENT
- 7 RE-IMAGED BRIDGE & LOBBY SERVICE & ACCESSIBILITY
- 8 RAMP FUTURE SERVICE YARD

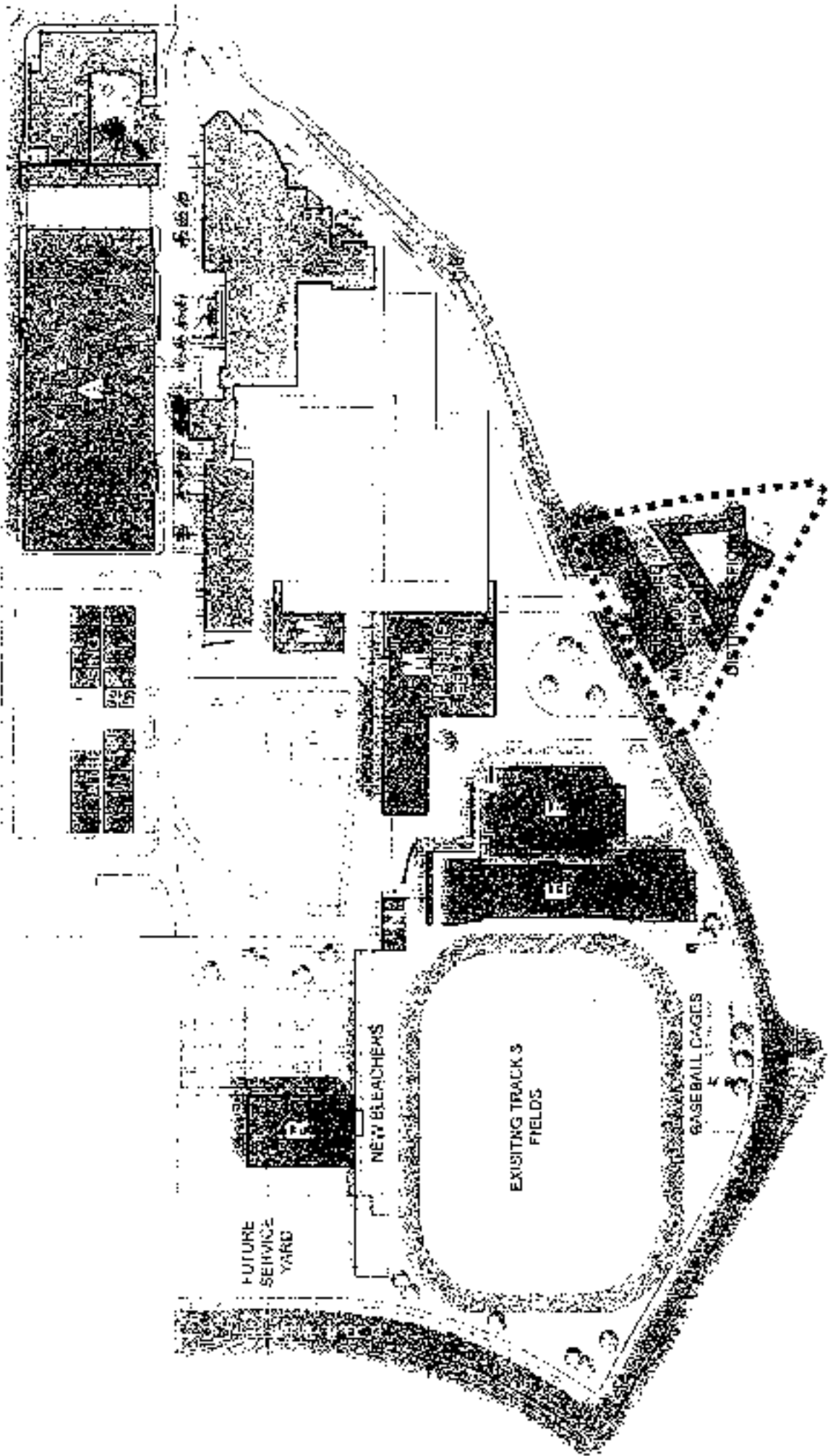


- A ACADEMIC (E)
- B ACADEMIC (E)
- E ATHLETIC (E)
- F SWIM GYM (E)
- L STC (E)
- M STUDENT UNION & PARKING
- N HOME ENTRY / CONCESSIONS
- P VISITOR ENTRY
- Q TENNIS & PARKING
- R OPERATIONS & MAINTENANCE

Conceptual Site - Pre Construction

Planning for the future preserving the past

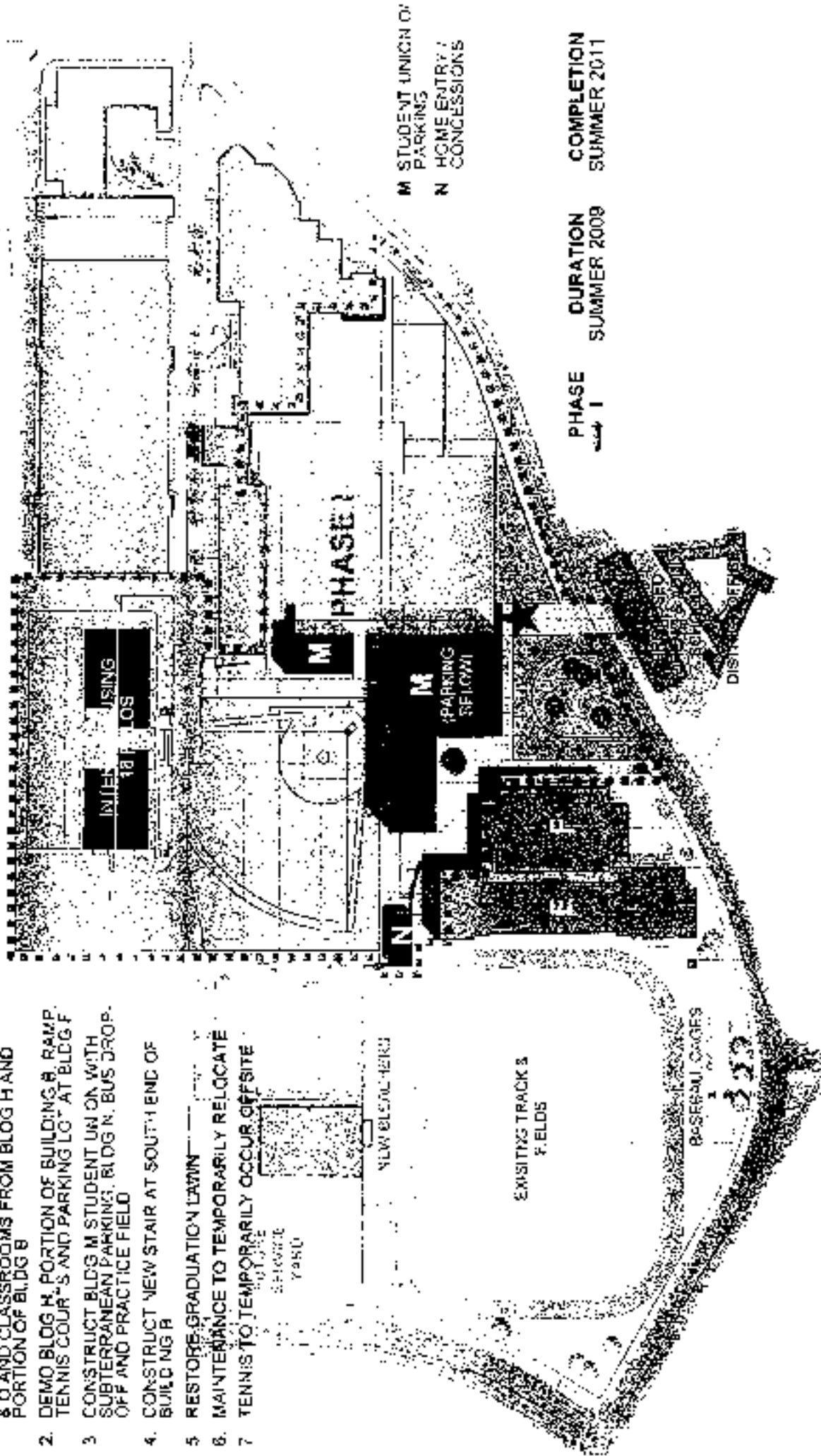
1 DISTRICT OFFICE RENOVATION FOR MORENO HIGH SCHOOL



CONCEPTUAL SITE PLAN - PHASE I

Planning for the future preserving the past

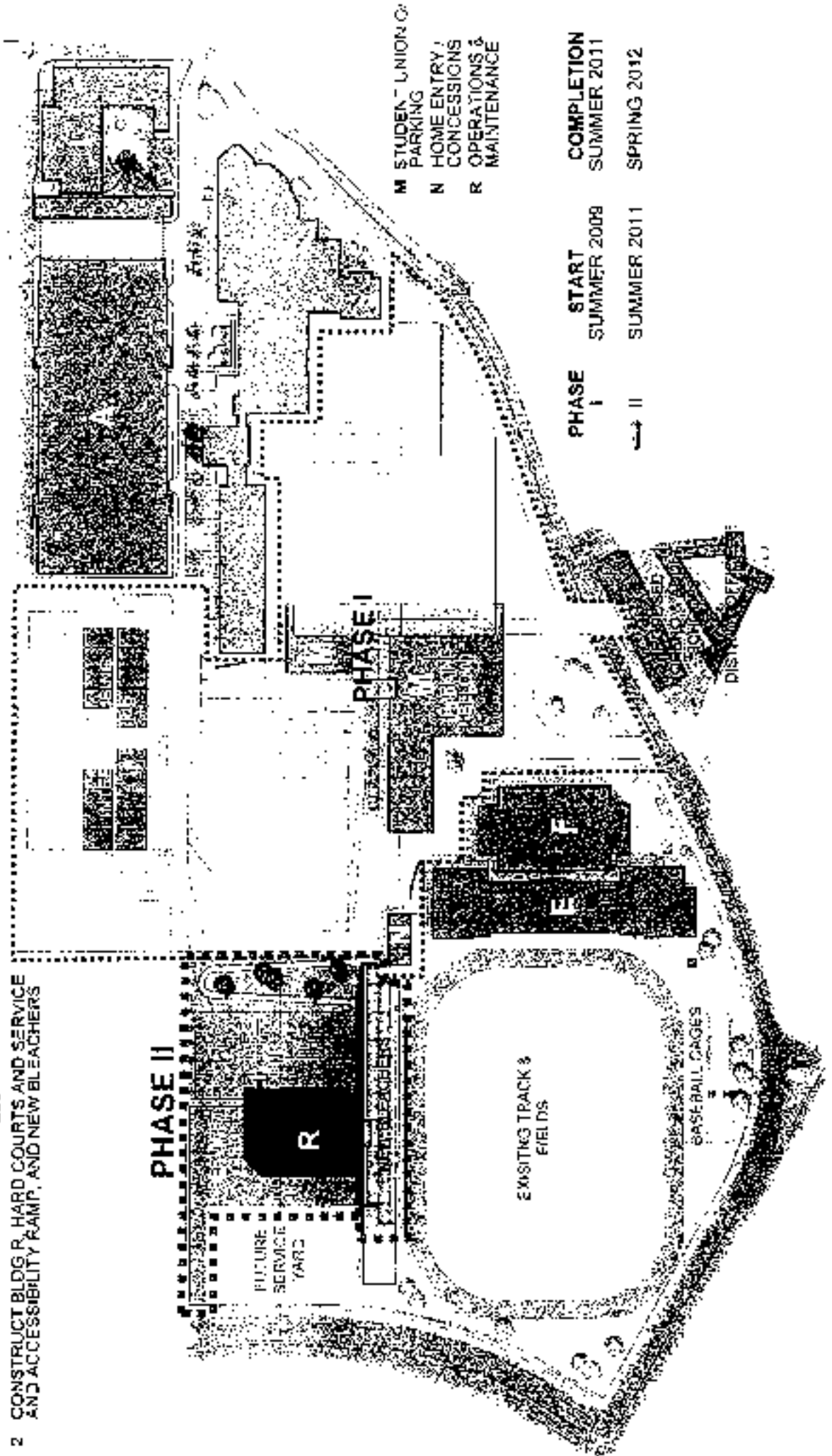
1. ADD INTERIM HOUSING (18 RELOS) & RELOCATE M & O AND CLASSROOMS FROM BLDG H AND PORTION OF BLDG B
2. DEMO BLDG H, PORTION OF BUILDING B, RAMP, TENNIS COURTS AND PARKING LOT AT BLDG F
3. CONSTRUCT BLDG M STUDENT UNION WITH SUBTERRANEAN PARKING, BLDG N, BUS DROP-OFF AND PRACTICE FIELD
4. CONSTRUCT NEW STAIR AT SOUTH END OF BUILDING B
5. RESTORE GRADUATION LAWN
6. MAINTENANCE TO TEMPORARILY RELOCATE
7. TENNIS TO TEMPORARILY OCCUR OFFSITE



Conceptual Site - Phase II

Planning for the future preserving the past

- 1 DEMOLISH EXISTING SOFTBALL FIELD
- 2 CONSTRUCT BLDG R, HARD COURTS AND SERVICE AND ACCESSIBILITY RAMP, AND NEW BLEACHERS



Conceptual Site Phase III

Planning for the future Preserving the past

RESTORE AND MODERNIZE BLDG E AND F AND IMPROVE SITE AROUND ATHLETIC COMPLEX

RELOCATE CLASSROOMS IN PORTION OF BLDG B TO INTERIM HOUSING AND RESTORE AND MODERNIZE SOUTH WING

DEMOLISH TWO OF THE THREE EXISTING BRIDGES AND CONSTRUCT NEW BRIDGE

RELOCATE CLASSROOMS IN PORTION OF BLDG B TO INTERIM HOUSING AND RESTORE AND MODERNIZE NORTH WING

DEMOLISH REMAINING EXISTING BRIDGE

FUTURE SERVICE YARD

PHASE II

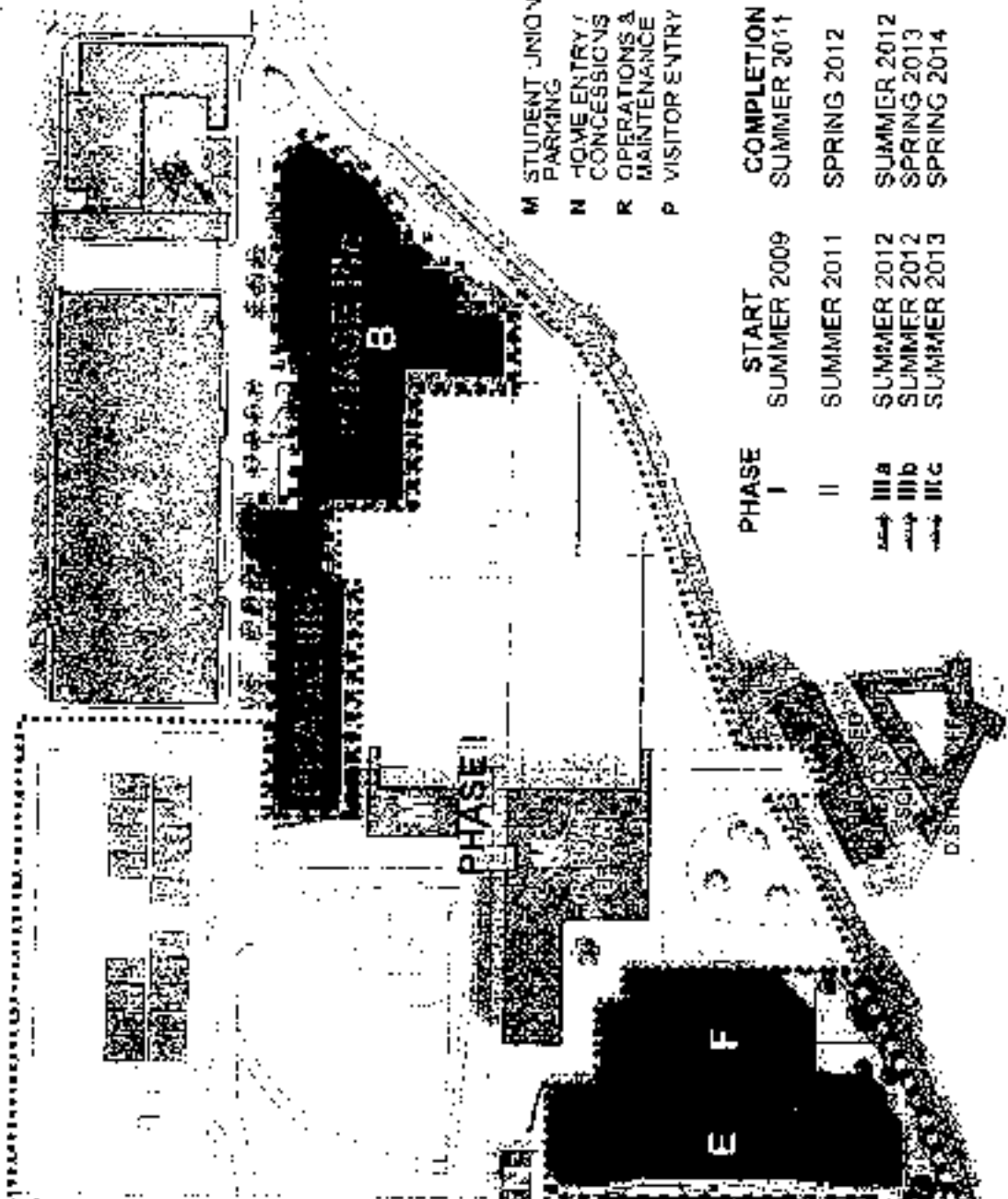
NEW BLEACHERS

EXISTING TRACK & FIELDS

PHASE IIIa

PHASE IIIb

PHASE IIIc



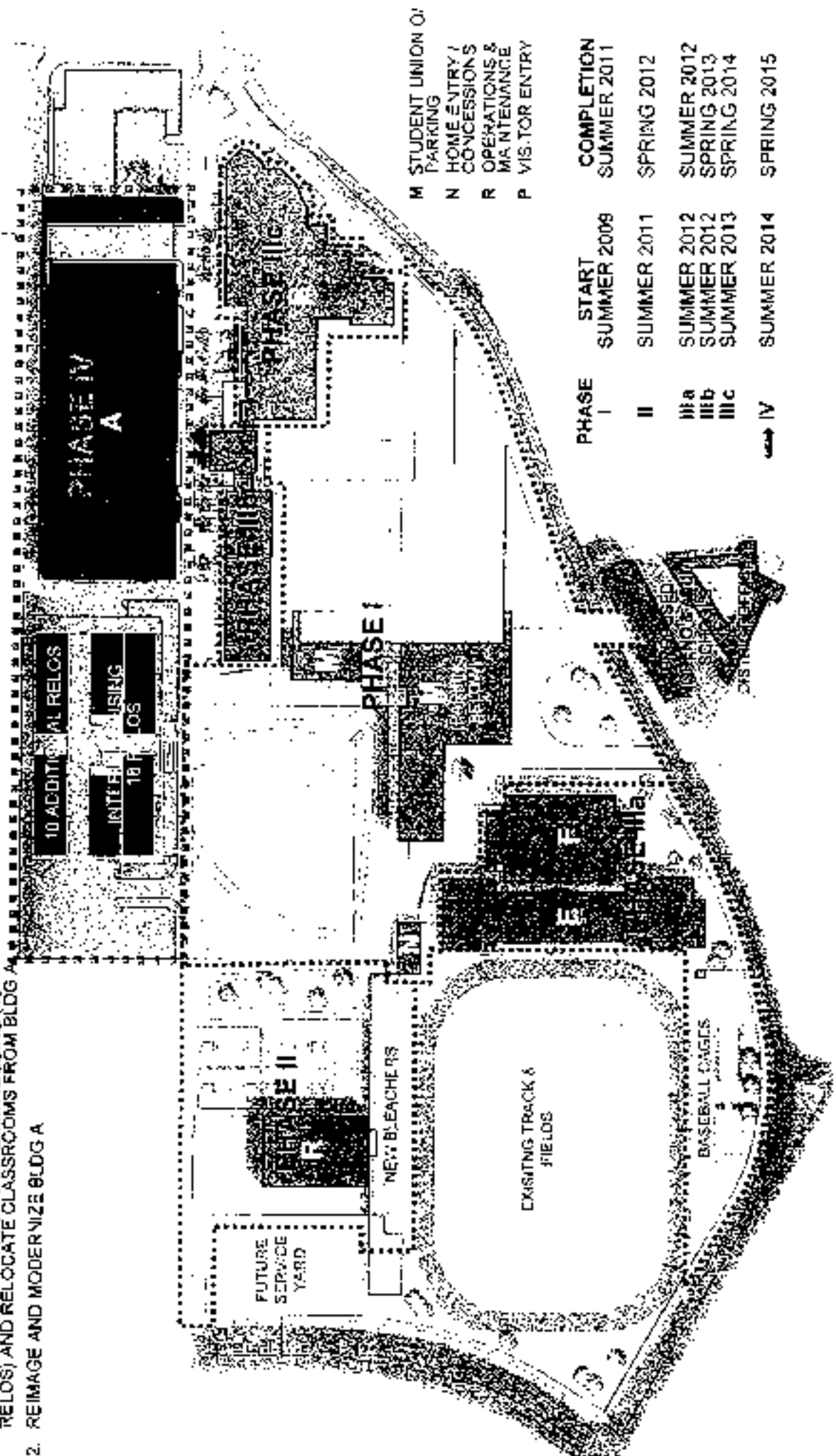
- M STUDENT UNION OF PARKING
- N HOME ENTRY / CONCESSIONS
- R OPERATIONS & MAINTENANCE
- P VISITOR ENTRY

PHASE	START	COMPLETION
I	SUMMER 2009	SUMMER 2011
II	SUMMER 2011	SPRING 2012
IIIa	SUMMER 2012	SUMMER 2012
IIIb	SUMMER 2012	SPRING 2013
IIIc	SUMMER 2013	SPRING 2014

CONCEPTUAL SITE PLAN - PHASE IV

Planning for the future preserving the past

1. ADD ADDITIONAL RELOS TO INTERIM HOUSING (10 RELOS) AND RELOCATE CLASSROOMS FROM BLDG A
2. REIMAGE AND MODERNIZE BLDG A



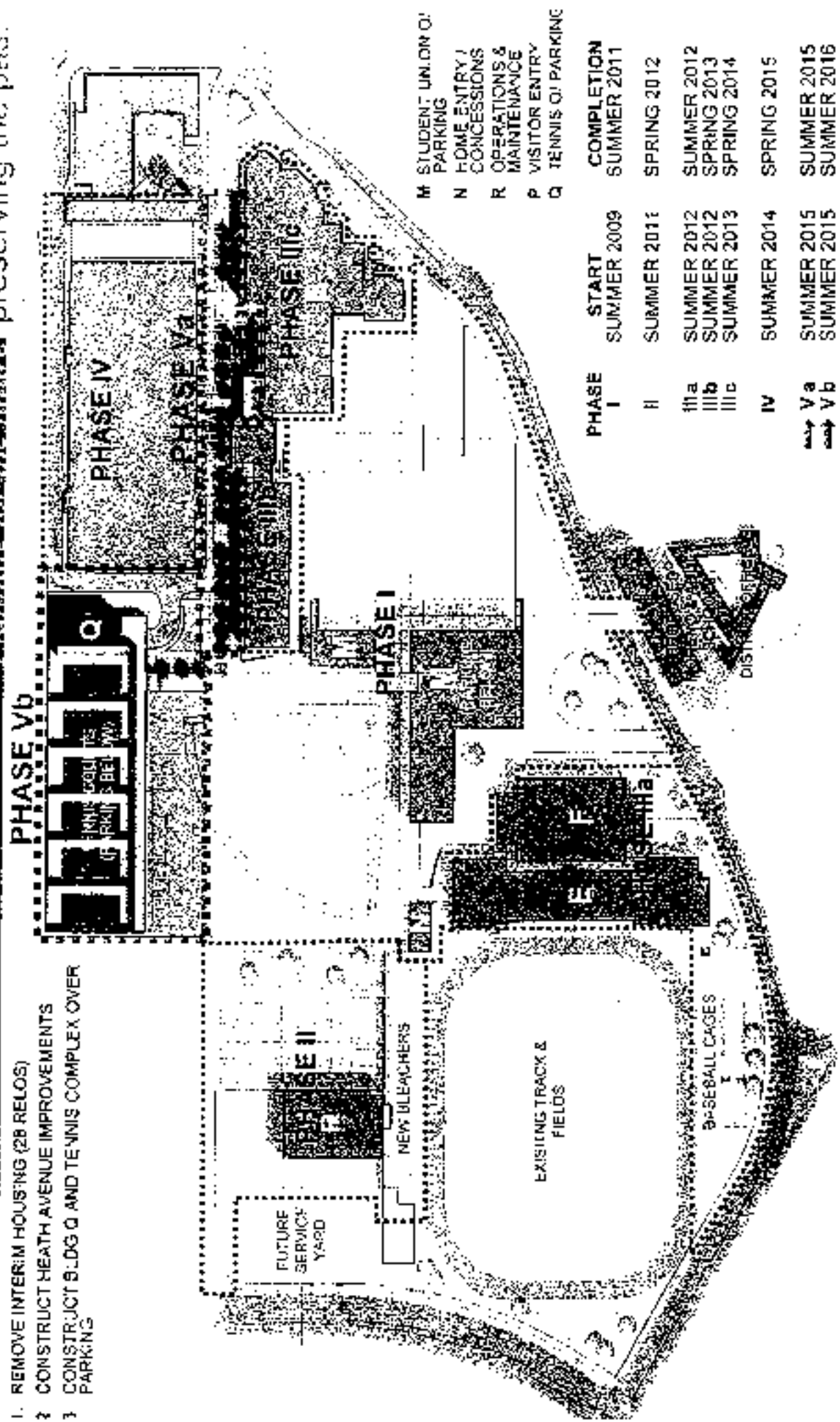
M STUDENT UNION
 N PARKING
 O HOME ENTRY / CONCESSIONS
 P OPERATIONS & MAINTENANCE
 Q VISITOR ENTRY

PHASE	START	COMPLETION
I	SUMMER 2009	SUMMER 2011
II	SUMMER 2011	SPRING 2012
IIIa	SUMMER 2012	SUMMER 2012
IIIb	SUMMER 2012	SPRING 2013
IIIc	SUMMER 2013	SPRING 2014
IV	SUMMER 2014	SPRING 2015

CONCEPTUAL SITE PLAN - PHASE V

Planning for the future preserving the past

- 1. REMOVE INTERIM HOUSING (28 RELOS)
- 2. CONSTRUCT HEATH AVENUE IMPROVEMENTS
- 3. CONSTRUCT BLDG Q AND TENNIS COMPLEX OVER PARKING



- M STUDENT UN.DM Q
- N HOME ENTRY / CONCESSIONS
- R OPERATIONS & MAINTENANCE
- P VISITOR ENTRY
- Q TENNIS Q PARKING

PHASE	START	COMPLETION
I	SUMMER 2009	SUMMER 2011
II	SUMMER 2011	SPRING 2012
IIIa	SUMMER 2012	SUMMER 2012
IIIb	SUMMER 2012	SPRING 2013
IIIc	SUMMER 2013	SPRING 2014
IV	SUMMER 2014	SPRING 2015
Va	SUMMER 2015	SUMMER 2015
Vb	SUMMER 2015	SUMMER 2016



BOND PRIORITIES
 MASTER PLAN GOALS
 1-2-20

PRIORITY 1: CAMPUS SECURITY, SAFETY, ETC.

BUILDING	PROJECT	ESTIMATED COST	IMPROVEMENT	PHASE 1	PHASE 2	PHASE 3
A	Structural Upgrades	5,000,000	1,750,000			3,250,000
	Interior Renovation	5,000,000	1,200,000			3,800,000
	General Services	0	3			0
B	Roofing & Exterior Improvements	1,000,000	1,000,000	500,000		
	Roofing	450,000	500,000	500,000		
	Exterior Work	225,000	750,000	340,000		
	Structural Upgrades	1,950,000	5,200,000	2,500,000	3,411,896	
	Interior Renovation	3,430,224	10,664,000	4,300,000	9,294,400	
C	Interior Upgrades	1,930,000	1,450,000	3,020,000		
	Structural Upgrades	2,350,000	2,800,000	3,500,000		
	Interior Renovation	1,400,000	425,000	1,250,000		
	Structural Upgrades	2,200,000	4,300,000	4,400,000		
	Interior Renovation	118,240	500,000	470,000		
	Roofing	1,100	20,000	20,000		
D	New Heating (225) Phase 1	12,000,000	10,000,000	10,000,000		
	Substructure Parking	0	0	0		
E	Interior Upgrades	1,100,000	1,400,000	1,500,000		
F	Roofing	20,000	40,000	50,000		
G	Roofing	4,400,000	5,000,000	5,000,000	1,300,000	
H	Substructure Parking & Entrance	2,650,000	5,500,000			4,000,000
Interior	Complete Renovation (1st, 2nd, 3rd)	2,400,000	1,000,000	1,700,000	1,200,000	1,000,000
Exterior	MMU Parking Renovation	180,000	225,000		200,000	
Exterior	Exterior Renovation (1st, 2nd, 3rd)	340,000	450,000	500,000		
		52,250,000	80,000,000	10,000,000	22,000,000	47,000,000

STAFF	PROJECT	ESTIMATED COST	IMPROVEMENT	PHASE 1	PHASE 2	PHASE 3
1	Normal Maintenance	2,500,000	3,700,000	1,900,000		
2	Hardware	400,000	500,000		800,000	
3	Paint	1,000,000	1,000,000	200,000		
4	Roofing, Painting, Clean and Restore	5,000	10,000	10,000		
5	Interior Painting (1st, 2nd, 3rd)	850,000	1,000,000	1,000,000		
6	Exterior Painting (1st, 2nd, 3rd)	1,244,172	1,500,000		2,000,000	
7	Emergency Repairs	850,000	1,000,000	300,000	400,000	500,000
8	Roofing	200,000	250,000		200,000	
9	Exterior Painting, Clean and Restore, Upgrades	500,000	800,000			1,200,000
10	Home & Visitor Restrooms, Phase One	1,000,000	1,000,000		1,000,000	
11	Home & Visitor Restrooms	2,300,000	2,800,000			4,000,000
12	Complete Renovation (1st, 2nd, 3rd)	1,000,000	1,400,000		1,500,000	
13	Interior Painting and Signage	400,000	500,000			700,000
14	Lighting, Electrical, Restrooms	10,000	10,000		10,000	
15	WVY Camera, Camera and Heat Map	100,000	100,000	50,000	50,000	100,000
16	Interior Painting Improvements	2,000,000	2,500,000	3,000,000		
17	Marbletop Year, Entry and Parking	200,000	250,000		300,000	
18	Exterior Painting (1st, 2nd, 3rd)	300,000	400,000	500,000		
		14,580,451	19,200,000	5,500,000	7,500,000	5,800,000

Project Total: 66,830,451 102,200,000 55,500,000 31,500,000 48,200,000

Total Estimated Construction Costs: 190,320,000

Total Estimated Project Costs: 190,320,000

PRIORITY 2 - CAMPAIGN SECURITY, SAFETY, ETC.

(NOT CURRENTLY IN SCOPE, MAY FUND USING ALTERNATE SOURCE)

BUILDING	PROJECT	DIRECT COST	MARK UPS
A	Security Cameras	4,394,867	5,481,676
	Alarm System	900,000	1,035,000
		5,294,867	6,516,676
STUDENT PROJECT			
B	High Exposure Security Cameras	500,000	525,000
		500,000	525,000
Project Total*		5,794,867	7,041,676

PRIORITY 2 - ATHLETICS

(NOT CURRENTLY IN SCOPE, MAY FUND USING ALTERNATE SOURCE)

BUILDING	PROJECT	DIRECT COST	MARK UPS
B	Health and Safety Program	16,500,000	22,500,000
	Summer Camp Program	3,400,000	4,750,000
P	Student Training Room	24,476	33,054
C	Recreation/Amusement Machine	750,000	937,500
		22,224,476	32,290,554
Project Total*		22,224,476	32,290,554

PRIORITY 3 - RENEWABLE ENERGY

(NOT CURRENTLY IN SCOPE, MAY FUND USING ALTERNATE SOURCE)

BUILDING	PROJECT	DIRECT COST	MARK UPS
A	Solar Panel Installation	7,072,890	9,522,385
B	Energy Storage	900,000	925,000
		8,172,890	10,447,385
Project Total*		8,172,890	10,447,385
Total Priority 2 & 3 Items		45,048,534	64,139,615

* Includes one-time start-up costs for 5 Year 50% Exposure RSM. Total Expenditure: \$ 200

Beverly Vista
Master Plan

Beverly Vista School

K-8 MASTERPLAN

A.01
SCHOOL BACKGROUND

COUGHERTY + DOUGHERTY ARCHITECTS LLP



Beverly Vista Elementary School

HISTORY

The Beverly Hills Board of Education approved construction of the first building of Beverly Vista School in April, 1924. Designed by Francis J. Catton, it was completed in October of that year, and now serves as the school's Administration Building. The next buildings in the proposed five building complex were the Manual Arts and Kindergarten Buildings. Gable and Wyant designed the structures, and they were finished in late 1925. In 1926 came the Primary Building, also designed by Gable and Wyant. The last building in the complex was the Auditorium and Classroom Building. Again, Gable and Wyant were the architects, and it was completed in January of 1928. After the 1933 Long Beach Earthquake, the State Building Code was revised to provide for safer school building, and, accordingly, the buildings at Beverly Vista were strengthened. Holmes and Narver were the supervising structural engineers in charge of the reconstruction. The Administration Building was renovated in 1934; and the Kindergarten, Primary, Auditorium and Classroom, and the Manual Arts Buildings were rebuilt in 1935. The next major change in the school was a Shop revision, approved by the Board of Education in November, 1961. The new Shop was designed by Maurice H. Fleishman, and was completed in July, 1962.

As the 1960's progressed, the school became overcrowded, and extensive additions and alterations were approved by the Board of Education in September of 1966. The old Kindergarten Building was demolished, and a new Library and Classroom Building was put on the site. A Physical Education and Kindergarten building was built on the playground next to the primary building. The Buildings, designed by Albert C. Martin and Associates, were completed in January, 1968. The next change in the school was a renovation of the Home Economics classrooms. Designed by Brent Goldman, Robbins and Bown; the remodeling was completed in April, 1972. In this renovation,

an air conditioning unit was installed on the roof of the building. The board of education then approved the acquisition of the parking lot on church property. Armstrong and Sharfman were hired as the project architects and on June 11, 1974 the contract was awarded to Century Landscape Contractors. The job was declared complete on March 24, 1975. The next major change at Beverly Vista was the remodeling of the cafeteria. After difficulty with other architects, the firm of Friedman, Togawa, and Smith were asked to design cafeterias for Beverly Vista, El Rodeo, and Hawthorne. The contract was awarded to Levin Construction Co. And the remodeling was declared complete on March 24, 1981 at a total cost for all three schools of \$1,206,488.08. Beverly Vista's playground was remodeled with the installation of a sod turf and sprinkler system. A 25,000 square foot grass field was put in. The work was done by HLM engineers and Constructors and was completed in September 1981. The existing surface was excavated and trenches were dug for the pipes. A water meter was installed on the east side of the field. A small building was added for recreation and storage. Six basketball courts, with an area of 20,768 square feet, were also added. They were fenced as two sets of three with a ten foot walkway in the middle. The combination of Beverly Vista and El Rodeo's playgrounds; remodels cost \$202,500.

In 1994, the school suffered damage from the Northridge earthquake. By 1995, three buildings had been vacated due to seismic damage. The first building to be reconstructed was designed by Osborne Architects and was completed in 2002. This work was completed under Measure S. In 2006, the school underwent a playground restoration, including a new turf field, fencing, ball wall and related facilities. The next phase of reconstruction (Building B) was designed by Dougherty & Dougherty and completed in 2007. This phase consisted of a new auditorium and several classrooms.

Beverly Vista School

K-8 MASTERPLAN

A.02

SITE DIAGRAMS +
PROCESS PRESENTATIONS

DOUBERTY • COMMUNITY ARCHITECTS LLP





Beverly Vista
 School
 of Toledo
 School
 Identification
 School
 Horace Mann
 School

BHUSD

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OL

- Address Four Existing K-8 School Sites
- Address District Priorities
- Engage Community Stakeholders
- Enhance Long Term Asset Value
- Upgrade Short Term Issues
- Provide a Student/Teacher Environment for Success

MASTER PLAN GOALS

2010-2015 MASTER PLAN

01

- **Safety, Security, Mandatory ADA Upgrades and Fire Life Safety**
- **Infrastructure**
- **Technology (Utilizing the STC Classroom Prototype)**
- **Program Issues**
- **Green Building Strategies**
- **Aesthetic Issues**

DISTRICT PRIORITIES

2010-2011 DISTRICT PRIORITY LIST

01

- **Meet with Site Stakeholders**
- **Site Visits to Review Existing Assets and Infrastructure**
- **Review of Data Gathering Reports and Existing Documents**
- **Interface with District Staff to Assess Data**
- **Assess Opportunities for Joint Use and Community Outreach**
- **Preparation and Presentation of Alternative Implementation Strategies**
- **Development Recommendations and Report To District and Community**

PLANNING PROCESS

3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



- **Site Facilities Committee Reports and Meetings**
- **Site Visits**
- **URS Infrastructure Reports**
- **Turner Preliminary Cost Estimating**
- **Strategic Concepts ADA and Site Issue Reports**
- **District Arts Plan**
- **District Technology Plan**
- **Record Documents for Each Site**
- **Plumbing, Sewer, Storm Drain Inspection Report**

PLANNING INFORMATION SOURCES

OF METRO PLANNING

OL

- **Develop a Comprehensive Assessment of District Need**
- **Establish the Physical Impacts to Give Form to the District Vision**
- **Establish Ownership of the Goals by the Community**
- **Develop a Holistic Platform Integrating District and Community Goals**
- **Develop a Dynamic Tool as a Road Map to the District's Future**

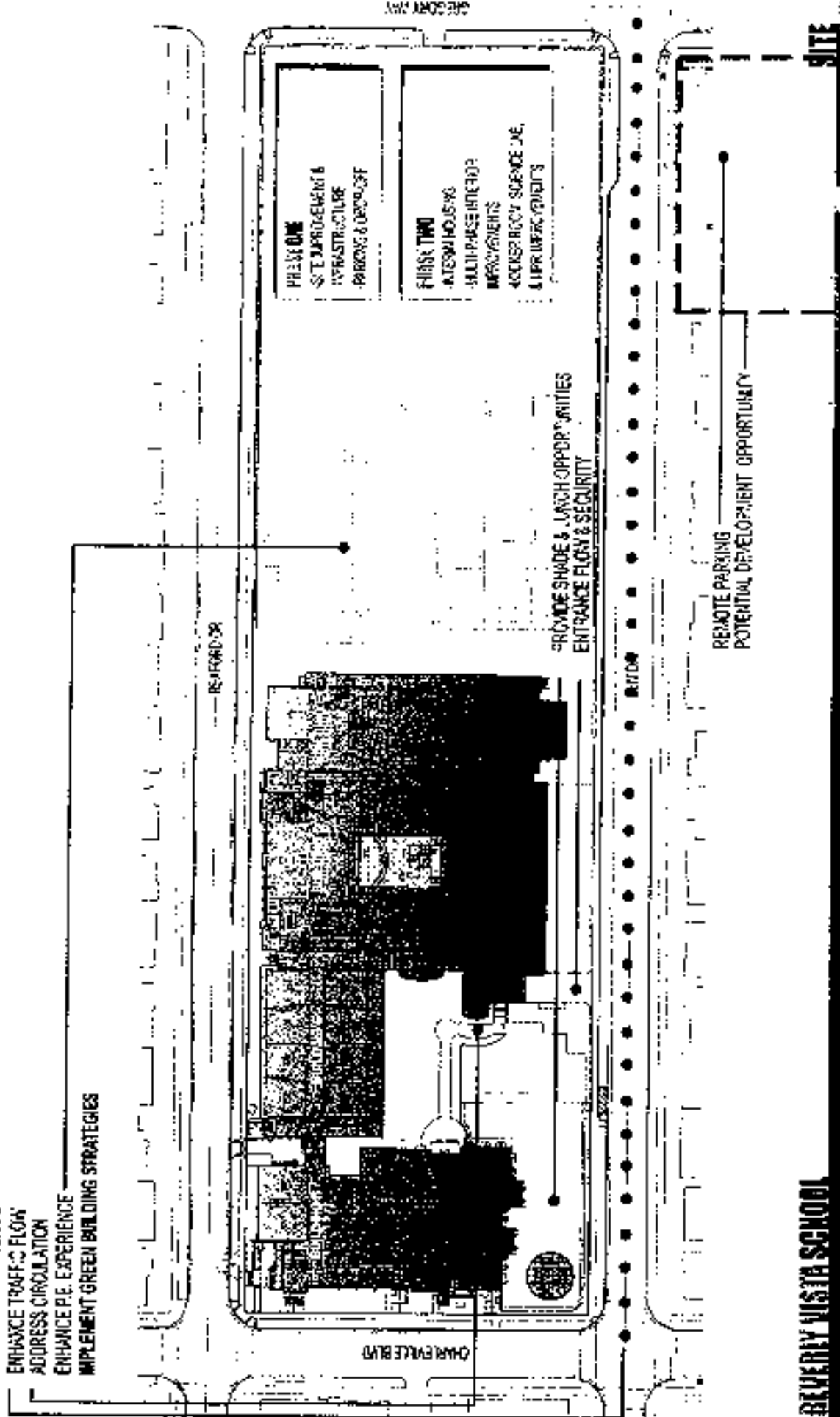
TARGETED OUTCOMES

COMMUNITY DEVELOPMENT

d

CAMPUS IMPROVEMENTS

- ENHANCE TRAFFIC FLOW
- ADDRESS CIRCULATION
- ENHANCE P.E. EXPERIENCE
- IMPLEMENT GREEN BUILDING STRATEGIES



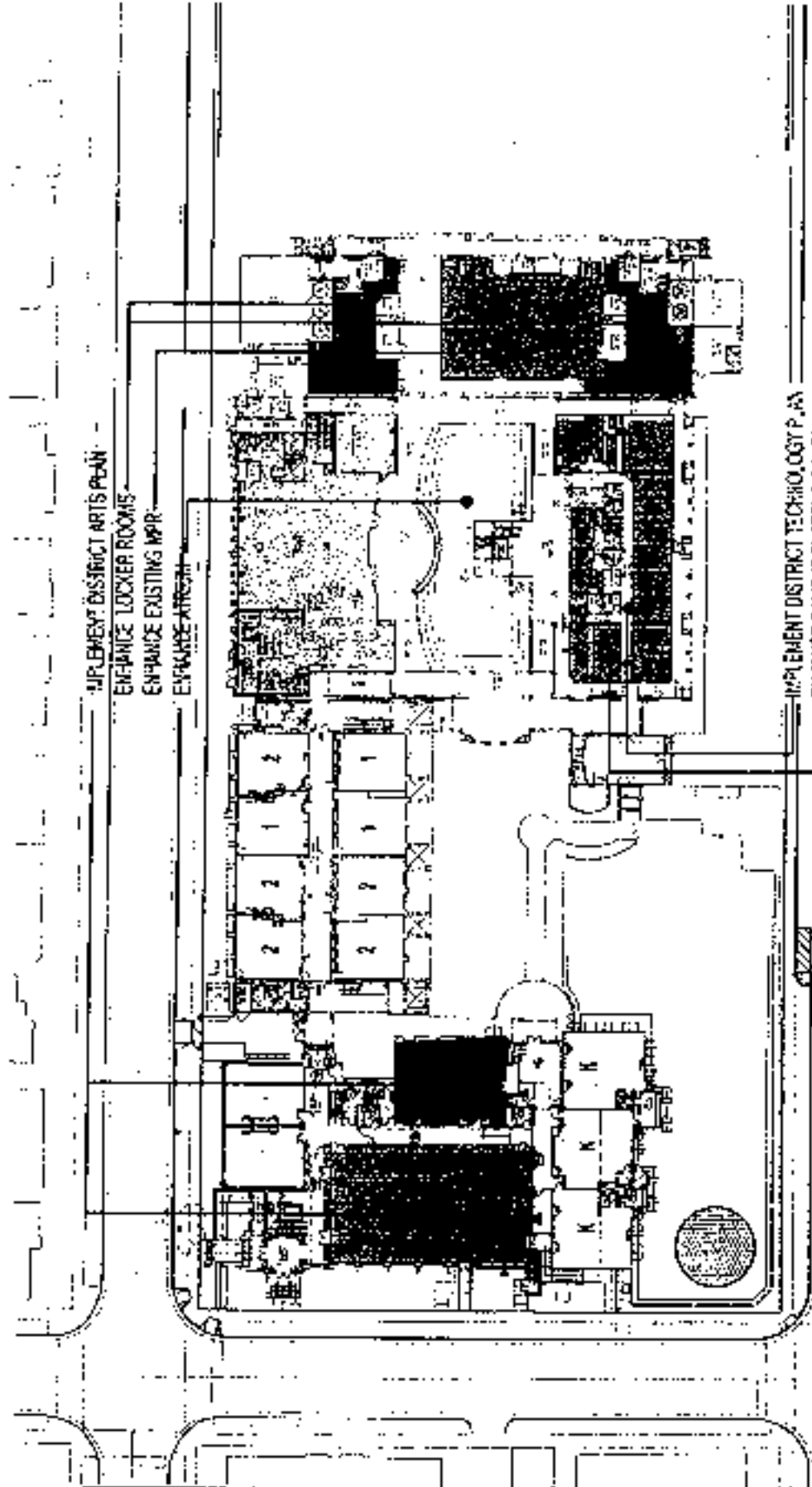
BEVERLY VISTA SCHOOL



RESTROOMS
STORAGE
STAIRS
STAIRS
STAIRS
STAIRS

CLASSROOM

- 1 COMPUTER LAB
- 2 FIRST GRADE
- 3 SECOND GRADE
- 4 THIRD GRADE
- 5 FOURTH GRADE
- 6 FIFTH GRADE
- 7 SIXTH GRADE
- 8 ENGLISH
- 9 FOREIGN LANGUAGE
- 10 SOCIAL STUDIES
- 11 MATH
- 12 SPECIALTY CLASSROOM

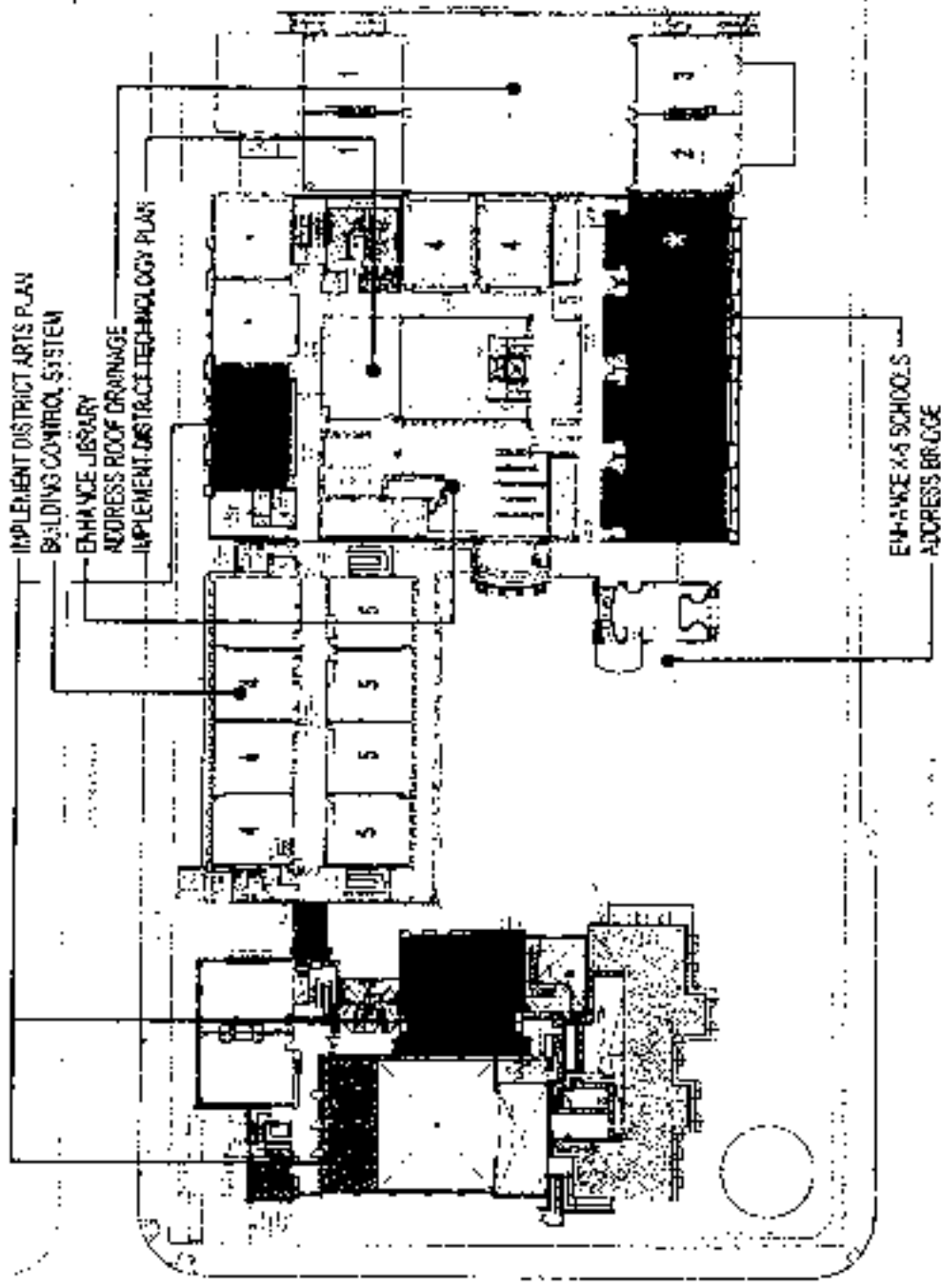


IMPLEMENT DISTRICT ARTS PLAN
 ENHANCE LOCKER ROOMS
 ENHANCE EXISTING MFR
 ENHANCE ARCHIT.

IMPLEMENT DISTRICT TECHNOLOGY PLAN
 ENHANCE CAMPUS SYSTEMS CONTROL.

BEVERLY VISTA SCHOOL





LEGEND
 1 FIRST GRADE
 2 SECOND GRADE
 3 THIRD GRADE
 4 FOURTH GRADE
 5 FIFTH GRADE
 6 SIXTH GRADE
 7 SEVENTH GRADE
 8 EIGHTH GRADE
 9 NINTH GRADE
 10 TENTH GRADE
 11 ELEVENTH GRADE
 12 TWELFTH GRADE

CLASSROOM
 1-12

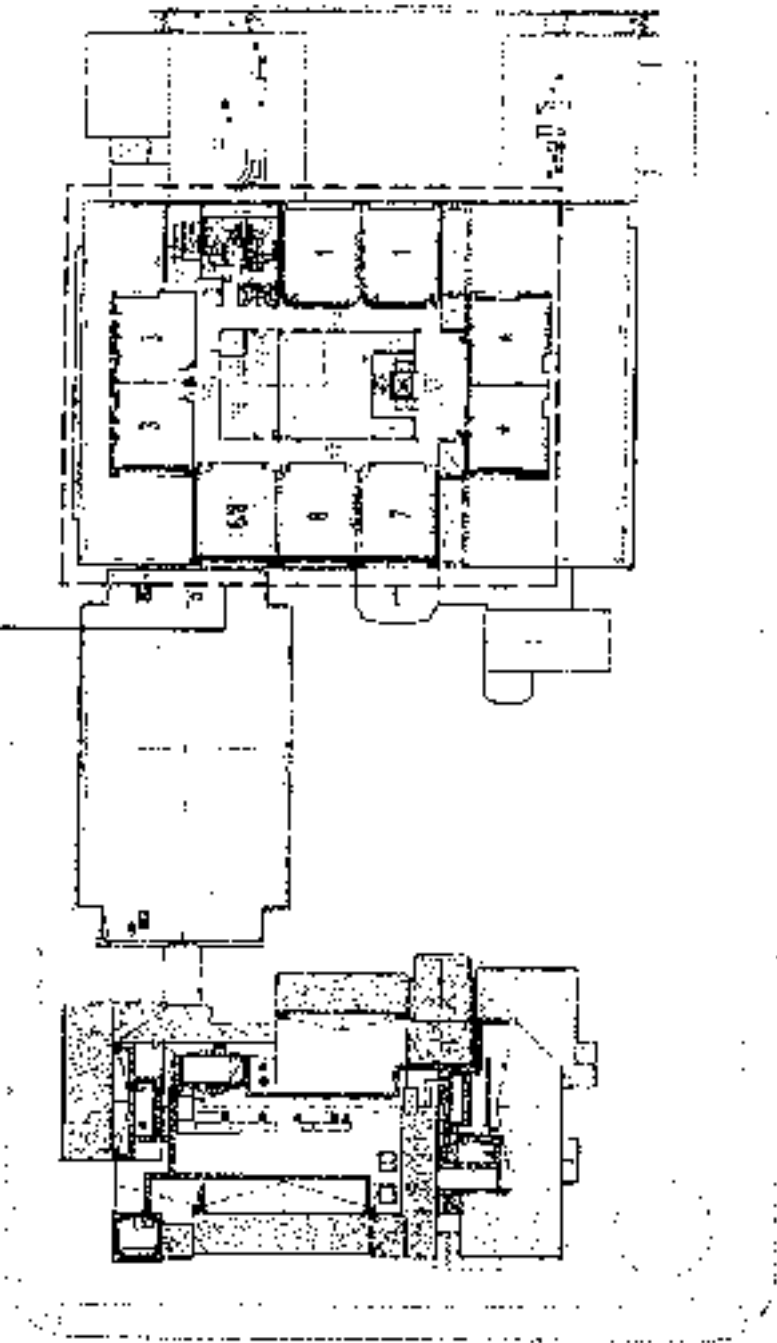
LIBRARY
 1-12

OFFICE
 1-12

RESTROOM
 1-12

PLAYGROUND
 1-12

IMPLEMENT THE DIGITAL CLASSROOM CAMPUS-WIDE



<p>604-01 CLASSROOM</p> <p>604-02 CLASSROOM</p> <p>604-03 CLASSROOM</p> <p>604-04 CLASSROOM</p> <p>604-05 CLASSROOM</p> <p>604-06 CLASSROOM</p>	<p>CLASSROOM</p> <p>604-07 CLASSROOM</p> <p>604-08 CLASSROOM</p> <p>604-09 CLASSROOM</p> <p>604-10 CLASSROOM</p> <p>604-11 CLASSROOM</p> <p>604-12 CLASSROOM</p> <p>604-13 CLASSROOM</p> <p>604-14 CLASSROOM</p> <p>604-15 CLASSROOM</p> <p>604-16 CLASSROOM</p> <p>604-17 CLASSROOM</p> <p>604-18 CLASSROOM</p> <p>604-19 CLASSROOM</p> <p>604-20 CLASSROOM</p> <p>604-21 CLASSROOM</p> <p>604-22 CLASSROOM</p> <p>604-23 CLASSROOM</p> <p>604-24 CLASSROOM</p> <p>604-25 CLASSROOM</p> <p>604-26 CLASSROOM</p> <p>604-27 CLASSROOM</p> <p>604-28 CLASSROOM</p> <p>604-29 CLASSROOM</p> <p>604-30 CLASSROOM</p> <p>604-31 CLASSROOM</p> <p>604-32 CLASSROOM</p> <p>604-33 CLASSROOM</p> <p>604-34 CLASSROOM</p> <p>604-35 CLASSROOM</p> <p>604-36 CLASSROOM</p> <p>604-37 CLASSROOM</p> <p>604-38 CLASSROOM</p> <p>604-39 CLASSROOM</p> <p>604-40 CLASSROOM</p> <p>604-41 CLASSROOM</p> <p>604-42 CLASSROOM</p> <p>604-43 CLASSROOM</p> <p>604-44 CLASSROOM</p> <p>604-45 CLASSROOM</p> <p>604-46 CLASSROOM</p> <p>604-47 CLASSROOM</p> <p>604-48 CLASSROOM</p> <p>604-49 CLASSROOM</p> <p>604-50 CLASSROOM</p> <p>604-51 CLASSROOM</p> <p>604-52 CLASSROOM</p> <p>604-53 CLASSROOM</p> <p>604-54 CLASSROOM</p> <p>604-55 CLASSROOM</p> <p>604-56 CLASSROOM</p> <p>604-57 CLASSROOM</p> <p>604-58 CLASSROOM</p> <p>604-59 CLASSROOM</p> <p>604-60 CLASSROOM</p> <p>604-61 CLASSROOM</p> <p>604-62 CLASSROOM</p> <p>604-63 CLASSROOM</p> <p>604-64 CLASSROOM</p> <p>604-65 CLASSROOM</p> <p>604-66 CLASSROOM</p> <p>604-67 CLASSROOM</p> <p>604-68 CLASSROOM</p> <p>604-69 CLASSROOM</p> <p>604-70 CLASSROOM</p> <p>604-71 CLASSROOM</p> <p>604-72 CLASSROOM</p> <p>604-73 CLASSROOM</p> <p>604-74 CLASSROOM</p> <p>604-75 CLASSROOM</p> <p>604-76 CLASSROOM</p> <p>604-77 CLASSROOM</p> <p>604-78 CLASSROOM</p> <p>604-79 CLASSROOM</p> <p>604-80 CLASSROOM</p> <p>604-81 CLASSROOM</p> <p>604-82 CLASSROOM</p> <p>604-83 CLASSROOM</p> <p>604-84 CLASSROOM</p> <p>604-85 CLASSROOM</p> <p>604-86 CLASSROOM</p> <p>604-87 CLASSROOM</p> <p>604-88 CLASSROOM</p> <p>604-89 CLASSROOM</p> <p>604-90 CLASSROOM</p> <p>604-91 CLASSROOM</p> <p>604-92 CLASSROOM</p> <p>604-93 CLASSROOM</p> <p>604-94 CLASSROOM</p> <p>604-95 CLASSROOM</p> <p>604-96 CLASSROOM</p> <p>604-97 CLASSROOM</p> <p>604-98 CLASSROOM</p> <p>604-99 CLASSROOM</p> <p>604-100 CLASSROOM</p>
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ARCHITECTURE
PLANNING
INTERIORS

310 875 1000

Airport Loop
Costa Mesa
California
92626-3405

714.427.0277

714.427.0288

ARCHITECTURE

INFORMATION FOR K-8 MASTER PLANNING BEVERLY HILLS UNIFIED SCHOOL DISTRICT

1. Sent previously as separate document.
2. Seismic Evaluation and Safety Concerns

• Beverly Vista School

Site Identified Issues

- Drainage at Upper Deck
- Upgrade Locker Room
- Upgrade MPR
- Student Path of Travel Issues
- Site Drainage

School Security Issues

- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
- Real Time Camera Monitoring
- Upgrade Telephone System
- Signage

Fire Life Safety Issues

- Upgrade Campus Fire Alarm

• El Rodeo School

Site Identified Issues

- Improve Traffic/Parking
- Upgrade Locker Room
- New MPR
- Access and Entry
- Student Path of Travel Issues

School Security Issues

- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
- Real Time Camera Monitoring
- Upgrade Telephone System
- Signage

Fire Life Safety Issues

- Upgrade Campus Fire Alarm
- Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Hawthorne School

Site Identified Issues

Improve Traffic/Parking

Modify Sewage Ejector

Upgrade Locker Room

Upgrade MPR

Access and Entry

Student Path of Travel Issues

Infrastructure Upgrades

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Horace Mann

Site Identified Issues

Upgrade Locker Room

New MPR

Access and Entry

Student Path of Travel Issues

Upgrade Sewage Ejector

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Demo Annex w/Mitigation

New Paving Play Yard at Annex

Demo Rotunda- Replace Rotunda Core Spaces

New Courtyard at Rotunda

Mitigate Classroom 110

Fire Sprinklers at Building A

Upgrade Campus Fire Alarm

Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

3. There would be funding available from several sources for Green projects. OPSC will fund High Performance Schools with several hundred thousand dollars available for each of the K-8 sites. Savings by Design from Southern California Edison will pay incentives to the District and cover some of the design costs for Green schools. If the District wants to contract with a third party vendor they can have Photo Voltaics placed on their schools for free and then buy the power back from the provider at a fixed rate for the next 15 to 20 years.
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 - Determine implementation strategy and impact on phasing of projects with District and site.
 - Prepare Schematic Design, Design Development and Construction Documents for first priority items to be submitted to OSA.
 - Determine timing of actual construction with District based on availability of funding.
 - Implement priority 1
 - Determine timing for subsequent priorities and phases.

Beverly Vista School

Local Construction Funding	\$ 7,900,000	
Phase 1		\$ 2,533,333
Phase 2		\$ 2,633,333
Phase 3		\$ 2,633,333
Supplemental State Funding		
Hardship Maintenance	\$ 450,000	
Supplemental Local Funding		
Subtotal of Construction Funding	\$ 8,350,000	
Scoping Fees	\$ 41,750	
Estimated AE Fees	\$ 835,000	
Phase 1		
Phase 2		
Phase 3		
Construction		
Estimated Other Soft Costs	\$ 1,252,500	

Beverly Vista Totals

	\$ 10,479,250	
District	\$ 10,029,250	
Supplemental	\$ 450,000	

El Rodeo
Master Plan

Rawthorne School

K-8 MASTERPLAN

C.02

SITE DIAGRAMS +
PROCESS PRESENTATIONS

DOUGHERTY + COURSEY ARCHITECTS LLP





beverly vista school
el rodan school
hawthorne school
horace romeo school

BHUSD

Q

- **Address Four Existing K-8 School Sites**
- **Address District Priorities**
- **Engage Community Stakeholders**
- **Enhance Long Term Asset Value**
- **Upgrade Short Term Issues**
- **Provide a Student/Teacher Environment for Success**

MASTER PLAN GOALS

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OL

- **Safety, Security, Mandatory ADA Upgrades and Fire Life Safety**
- **Infrastructure**
- **Technology (Utilizing the STC Classroom Prototype)**
- **Program Issues**
- **Green Building Strategies**
- **Aesthetic Issues**

DISTRICT PRIORITIES



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- **Meet with Site Stakeholders**
- **Site Visits to Review Existing Assets and Infrastructure**
- **Review of Data Gathering Reports and Existing Documents**
- **Interface with District Staff to Assess Data**
- **Assess Opportunities for Joint Use and Community Outreach**
- **Preparation and Presentation of Alternative Implementation Strategies**
- **Development Recommendations and Report To District and Community**

PLANNING PROCESS

OL

- **Site Facilities Committee Reports and Meetings**
- **Site Visits**
- **URS Infrastructure Reports**
- **Turner Preliminary Cost Estimating**
- **Strategic Concepts ADA and Site Issue Reports**
- **District Arts Plan**
- **District Technology Plan**
- **Record Documents for Each Site**
- **Plumbing, Sewer, Storm Drain Inspection Report**

PLANNING INFORMATION SOURCES



OL

- **Develop a Comprehensive Assessment of District Need**
- **Establish the Physical Impacts to Give Form to the District Vision**
- **Establish Ownership of the Goals by the Community**
- **Develop a Holistic Platform Integrating District and Community Goals**
- **Develop a Dynamic Tool as a Road Map to the District's Future**

TARGETED OUTCOMES

CAMPUS IMPROVEMENTS

- IMPLEMENT GREEN BUILDING STRATEGIES
- ENHANCE BUILDING EXTERIOR & LANDSCAPE
- CAMPUS WIDE ADA ACCESS ISSUES
- ENHANCE NPR & LOCKER ROOMS
- ENHANCED PE OPPORTUNITIES

PHASE ONE

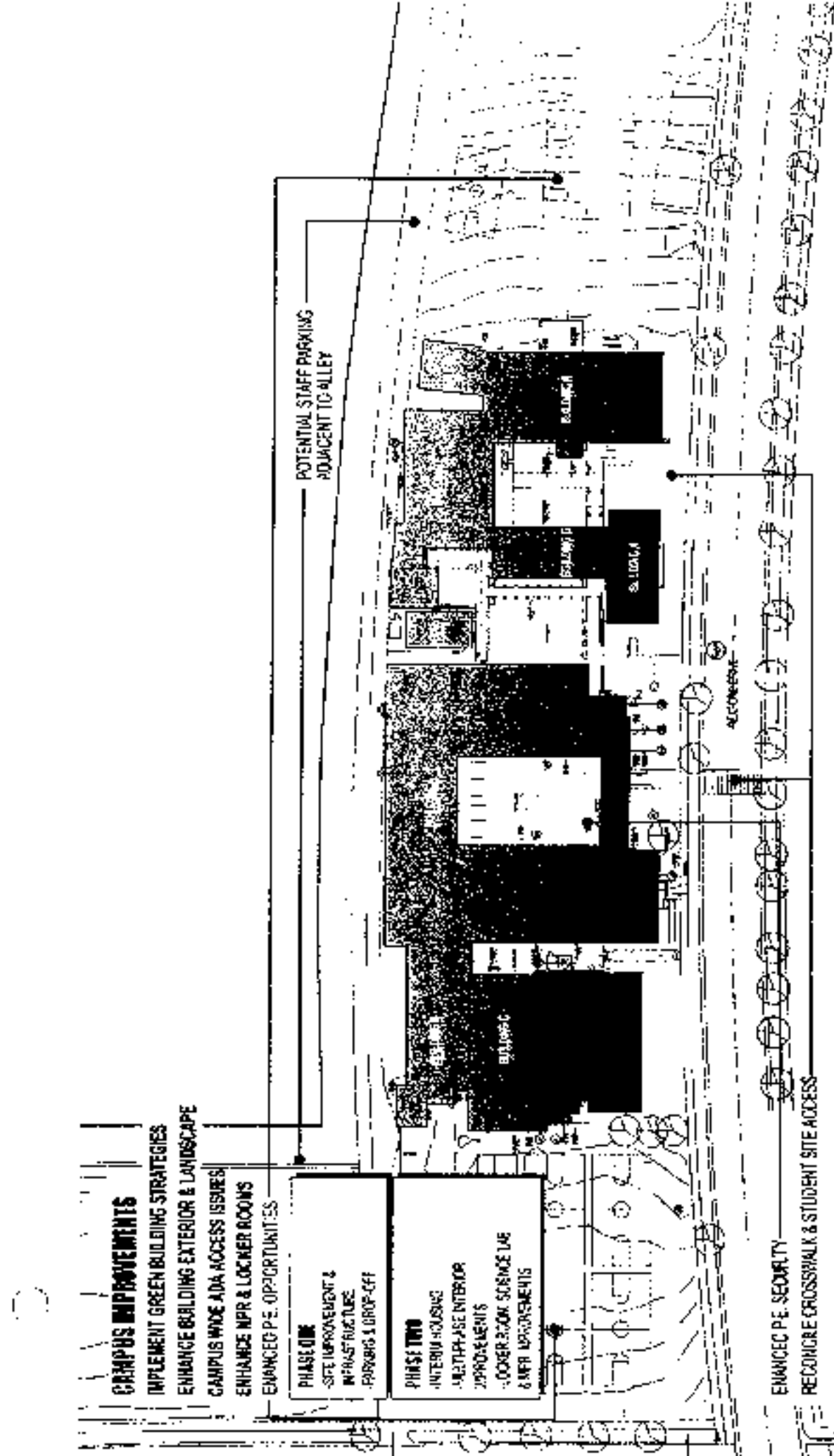
- SITE IMPROVEMENT & INFRASTRUCTURE
- FOYERS & DROP-OFF

PHASE TWO

- INTERIM HOUSING
- MULTI-PHASE INTERIOR IMPROVEMENTS
- LOCKER ROOM, SCIENCE LAB & NPR IMPROVEMENTS

POTENTIAL STAFF PARKING ADJACENT TO ALLEY

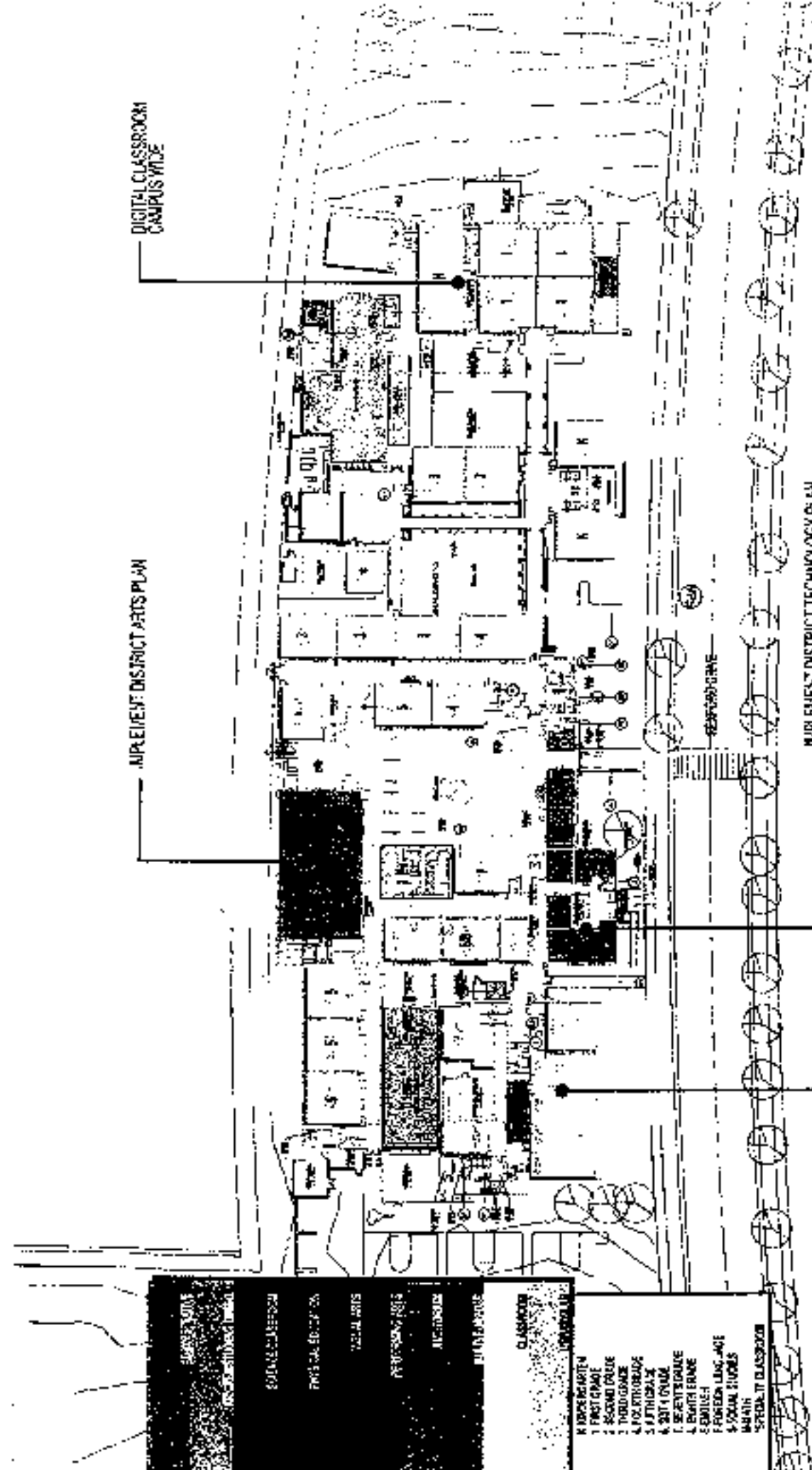
ENHANCED PE SECURITY
RECONSTRUCT CROSSWALK & STUDENT SITE ACCESS



HAWTHORNE SCHOOL

SITE PLAN





MIPLEMENT DISTRICT ARTS PLAN

DIGITAL CLASSROOM
CAMPUS WIDE

MIPLEMENT DISTRICT TECHNOLOGY PLAN

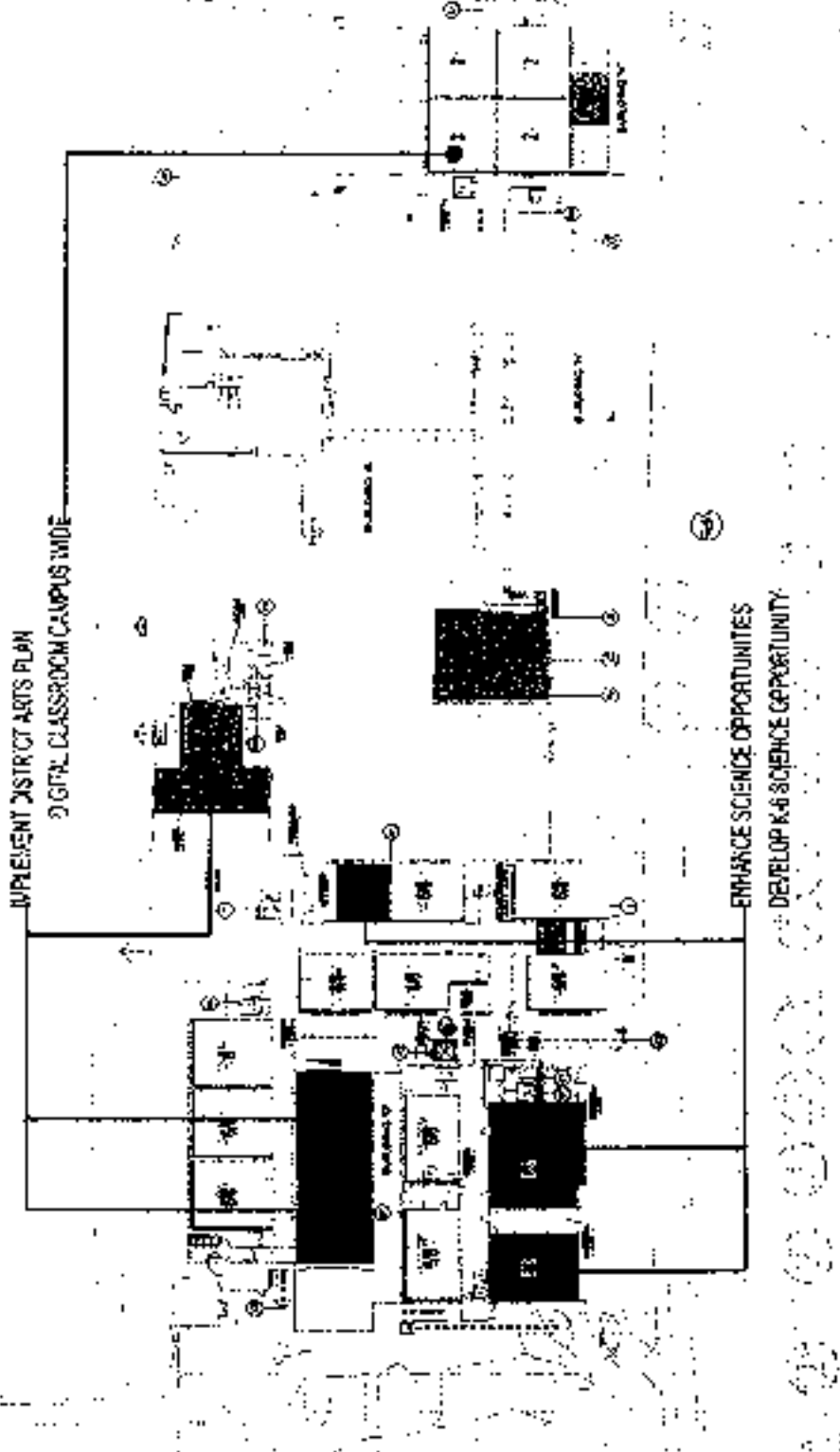
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HAWTHORNE SCHOOL

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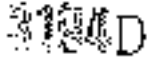
400 ST. JAMES
 BIRMINGHAM, ALABAMA
 35202-4400
 205-978-6000
 FAX: 205-978-6000
 WWW: www.hanthorne.k12.al.us
 HANTHORNE SCHOOL



- CLASSROOM
 1 AMBERLATER
 1 FIRST GRADE
 2 SECOND GRADE
 2 THIRD GRADE
 2 FOURTH GRADE
 1 FIFTH GRADE
 2 SIXTH GRADE
 1 SEVENTH GRADE
 1 EIGHTH GRADE
 2-UNLDRN
 3-FOREIGN LANGUAGE
 3-SOCIAL STUDIES
 4-MATH
 SPECIALTY CL. 120204



ARCHITECTS
PLANNING
INTERIORS



Airport Loop
Costa Mesa
California
92626-3405

714.427.0277 ■

714.427.0958 ■

... ARCHITECTURE ...

**INFORMATION FOR K-8 MASTER PLANNING
BEVERLY HILLS UNIFIED SCHOOL DISTRICT**

1. Sent previously as separate document
2. Seismic Evaluation and Safety Concerns

• **Beverly Vista School**

Site Identified Issues

- Drainage at Upper Dock
- Upgrade Locker Room
- Upgrade MPR
- Student Path of Travel Issues
- Site Drainage

School Security Issues

- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
- Real Time Camera Monitoring
- Upgrade Telephone System
- Signage

Fire Life Safety Issues

- Upgrade Campus Fire Alarm

• **El Rodeo School**

Site Identified Issues

- Improve Traffic/Parking
- Upgrade Locker Room
- New MPR
- Access and Entry
- Student Path of Travel Issues

School Security Issues

- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
- Real Time Camera Monitoring
- Upgrade Telephone System
- Signage

Fire Life Safety Issues

- Upgrade Campus Fire Alarm
- Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Hawthorne School

Site Identified Issues

Improve Traffic/Parking

Modify Sewage Ejector

Upgrade Locker Room

Upgrade MPR

Access and Entry

Student Path of Travel Issues

Infrastructure Upgrades

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Horace Mann

Site Identified Issues

Upgrade Locker Room

New MPR

Access and Entry

Student Path of Travel Issues

Upgrade Sewage Ejector

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Demo Annex w/Mitigation

New Paving Play Yard at Annex

Demo Rotunda- Replace Rotunda Core Spaces

New Courtyard at Rotunda

Mitigate Classroom 110

Fire Sprinklers at Building A

Upgrade Campus Fire Alarm

Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

3. There would be funding available from several sources for Green projects. CPSC will fund High Performance Schools with several hundred thousand dollars available for each of the K-8 sites. Savings by Design from Southern California Edison will pay incentives to the District and cover some of the design costs for Green schools. If the District wants to contract with a third party vendor they can have Photo Voltaics placed on their schools for free and then buy the power back from the provider at a fixed rate for the next 15 to 20 years
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 - Determine timing of actual construction with District based on availability of funding.
 - Implement priority 1
 - Determine timing for subsequent priorities and phases.

Hawthorne School

Local Construction Funding	\$ 24,000,000	
Phase 1		\$ 8,000,000
Phase 2		\$ 8,000,000
Phase 3		\$ 8,000,000
Supplemental State Funding		
Hardship Maintenance	\$ 450,000	
Supplemental Local Funding		
Subtotal of Construction Funding	\$ 24,450,000	
Scoping Fees	\$ 122,250	
Estimated AE Fees	\$ 2,445,000	
Phase 1		
Phase 2		
Phase 3		
Construction		
Estimated Other Soft Costs	\$ 3,667,500	

Hawthorne Totals

	\$ 30,684,750	
District	\$ 30,234,750	
Supplemental	\$ 450,000	

Horace Mann
Master Plan

Norace Mann School

K-8 MASTERPLAN

0.01
SCHOOL BACKGROUND

DOUGHERTY - DOUGHERTY ARCHITECTS LLP



Horace Mann School

HISTORY

The Beverly Hills Board of Education approved construction of the Main Classroom Building of Horace Mann School on February 28, 1929. Price, Taylor, and Taylor designed the structure, and Fred R. Johnson was named as contractor. Because of poor performance in executing the contract, Johnson's participation was terminated by the Board of Education on July 6, 1929. The project continued under direct School District supervision, and was completed on November 19th of that year. After the 1933 Long Beach Earthquake, the School's structure was strengthened so as to comply with new provisions for school safety in the State Building Code. In addition, a new Primary-Kindergarten Building was erected, the old Kindergarten was converted to two classrooms, and the Sewing room to a Cafeteria. Taylor and Taylor were the project architects, and Holmes and Narver were the supervising structural engineers. The Board of Education approved construction by Robert C. Millsap on August 20, 1934, and work was completed on December 26. Taylor and Taylor designed a new Auditorium Building for the school in 1937. The Board of Education awarded the contract to Atlas Construction Company on July 1, and the structure was completed on November 29 of that year. Taylor and Taylor also were the architects for a conversion of the old Auditorium area in the Main Classroom Building to a classroom and a new Art-Sewing room. This was approved on October 24, 1938, and H. F. Hendrickson completed construction on February 18, 1939.

The school stood virtually unchanged until September 3, 1963, when the Board of Education approved alterations to the main classroom building's northwest wing. Planned by Hornold and Rex, the alterations included renovations of the art and music rooms, as well as the shop area. Integrated, Inc. was the contractor, and construction was completed on April 27, 1964. The school was substantially enlarged with the

construction of a three story tower designed by Balch, Hutchason, and Perkins. The Board of Education approved construction by Kieley Corporation on January 10, 1967, and accepted the tower as complete on February 13, 1968. Another part of the plan, a renovation of the Administrative section of the main classroom Building, was approved on June 12, 1967. Robert L. Reeves was the contractor and completed the renovation in November of the same year. The plan was brought to completion with a Grounds Development, approved on June 20, 1967, with Valley Crest Landscape, Inc. as contractor. The school continued to grow with the construction of a new garage and classroom facility. Designed by Sidney Eisenstat, the contract was awarded to Cantu Constructors, Inc. on November 28, 1973, and the building, which contained ten new classrooms, was declared complete on January 16, 1976. As a result of this construction, Horace Mann was designated as the handicapped school in the Beverly Hills Unified School District. Horace Mann was enlarged with the addition of a 25,500 square foot playground. The District bought a building adjacent to the school and tore it down for the new addition. The demolition and rough grading was done by Cleveland Wrecking. The rubbish hauling was done by L.A. Ditching, who also brought in the decomposed granite. The top soil was taken care of by Pasadena Aggregates. The architect was Thomas Sabol, and John W. Tiedemann Co. was the contractor. It was approved in June 1974, and completed on August 30th, 1976.

A modernization of Horace Mann was completed in 2001 (along with Hawthorne & El Rodeo Schools). In 2003, the school underwent a complete playground restoration, including new asphalt paving, concrete work, play equipment and surfacing, and artificial turf installation. In 2004, the existing wrought iron fence adjoining Charleville was demolished and replaced by a chain link fence. The following year, the school was re-roofed, including new built up roof and



tile. Along with El Rodeo and Hawthorne Schools in 2007-08, Horace Mann received modernizations and upgrades to the auditorium and restrooms.

Elvis D. K. Masterson

2009-2010 - 2011-2012 - 2013-2014 - 2015-2016 - 2017-2018



D.02
SITE DIAGRAMS +
PROCESS PRESENTATIONS





berardy vista school
el rabea school
hannah school
herace miami school

BHUSD

BRUNSWICK COUNTY SCHOOLS

0.0

- **Address Four Existing K-8 School Sites**
- **Address District Priorities**
- **Engage Community Stakeholders**
- **Enhance Long Term Asset Value**
- **Upgrade Short Term Issues**
- **Provide a Student/Teacher Environment for Success**

MASTER PLAN GOALS



01

- **Safety, Security, Mandatory ADA Upgrades and Fire Life Safety**
- **Infrastructure**
- **Technology (Utilizing the STC Classroom Prototype)**
- **Program Issues**
- **Green Building Strategies**
- **Aesthetic Issues**

DISTRICT PRIORITIES

- **Meet with Site Stakeholders**
- **Site Visits to Review Existing Assets and Infrastructure**
- **Review of Data Gathering Reports and Existing Documents**
- **Interface with District Staff to Assess Data**
- **Assess Opportunities for Joint Use and Community Outreach**
- **Preparation and Presentation of Alternative Implementation Strategies**
- **Development Recommendations and Report To District and Community**

PLANNING PROCESS

OL

- **Site Facilities Committee Reports and Meetings**
- **Site Visits**
- **URS Infrastructure Reports**
- **Turner Preliminary Cost Estimating**
- **Strategic Concepts ADA and Site Issue Reports**
- **District Arts Plan**
- **District Technology Plan**
- **Record Documents for Each Site**
- **Plumbing, Sewer, Storm Drain Inspection Report**

PLANNING INFORMATION SOURCES

EXPLOR

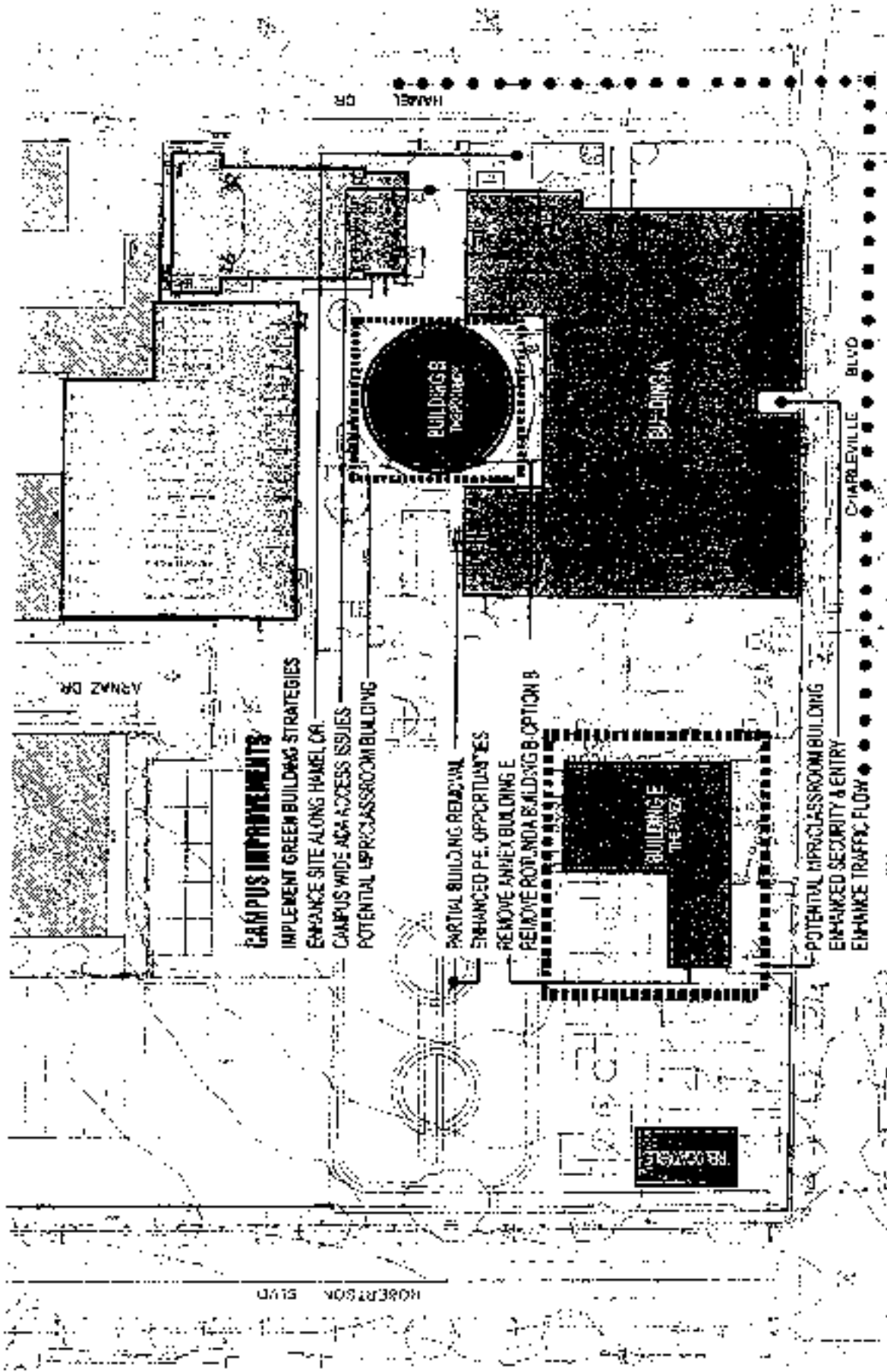
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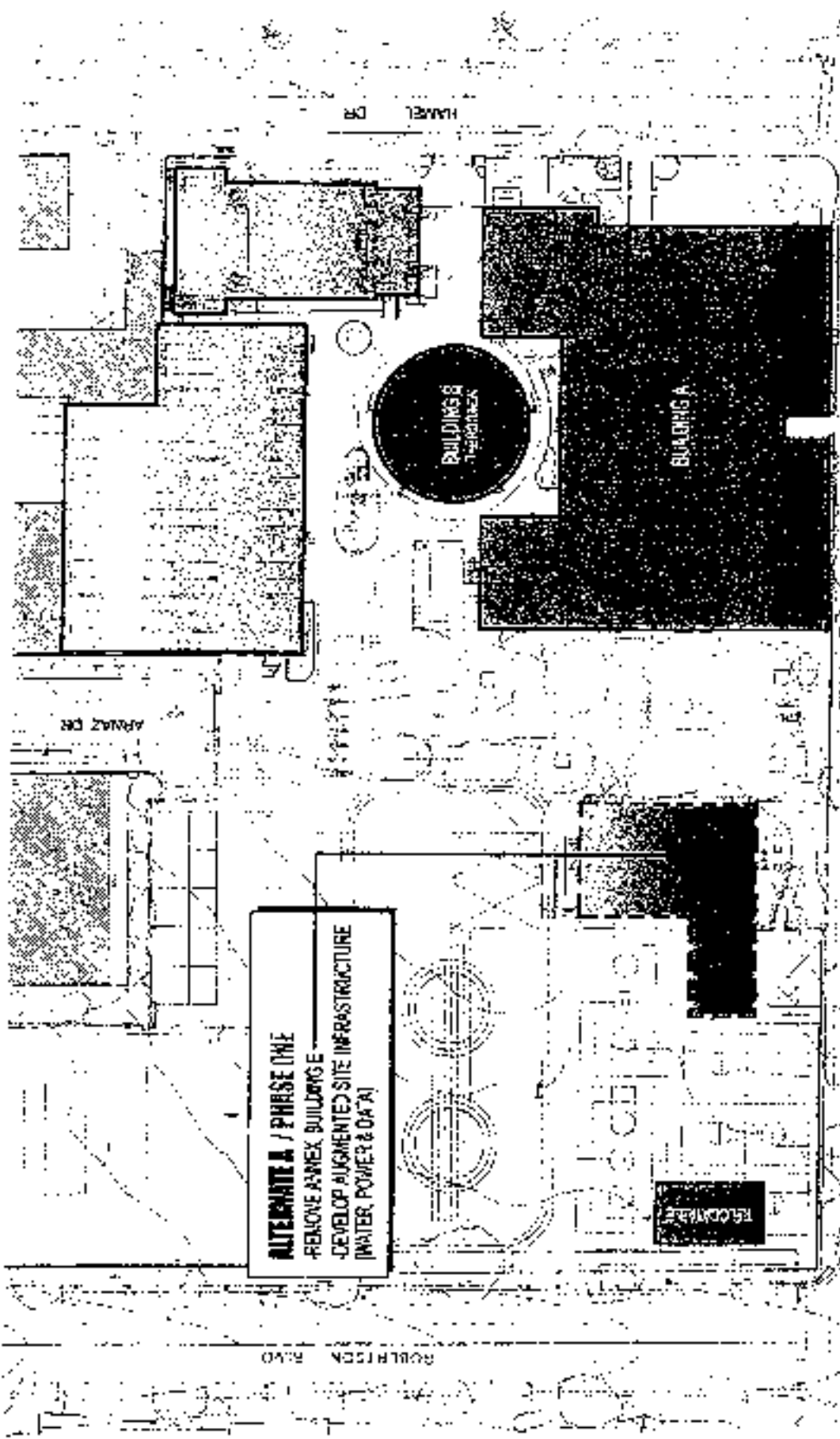
- **Develop a Comprehensive Assessment of District Need**
- **Establish the Physical Impacts to Give Form to the District Vision**
- **Establish Ownership of the Goals by the Community**
- **Develop a Holistic Platform Integrating District and Community Goals**
- **Develop a Dynamic Tool as a Road Map to the District's Future**

TARGETED OUTCOMES

PLANNING DEPARTMENT

01

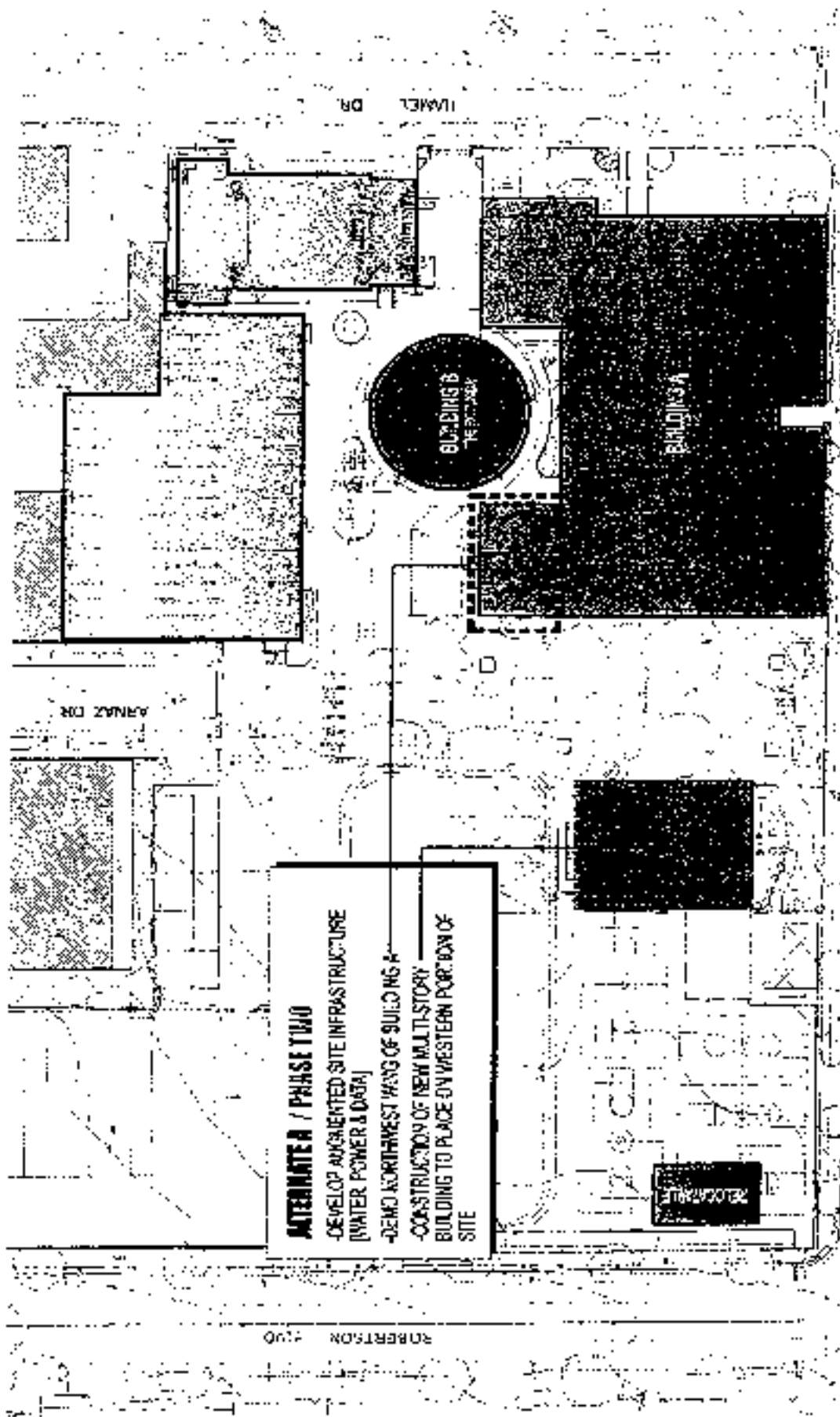




HEDGE MAN STRUDL

SITE

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ALTERNATE A / PHASE TWO

- DEVELOP AUGMENTED SITE INFRASTRUCTURE (WATER, POWER & DATA)
- DEMOLITION NORTHWEST WING OF BUILDING A
- CONSTRUCTION OF NEW MULTI-STORY BUILDING TO PLACE ON WESTERN PORTION OF SITE

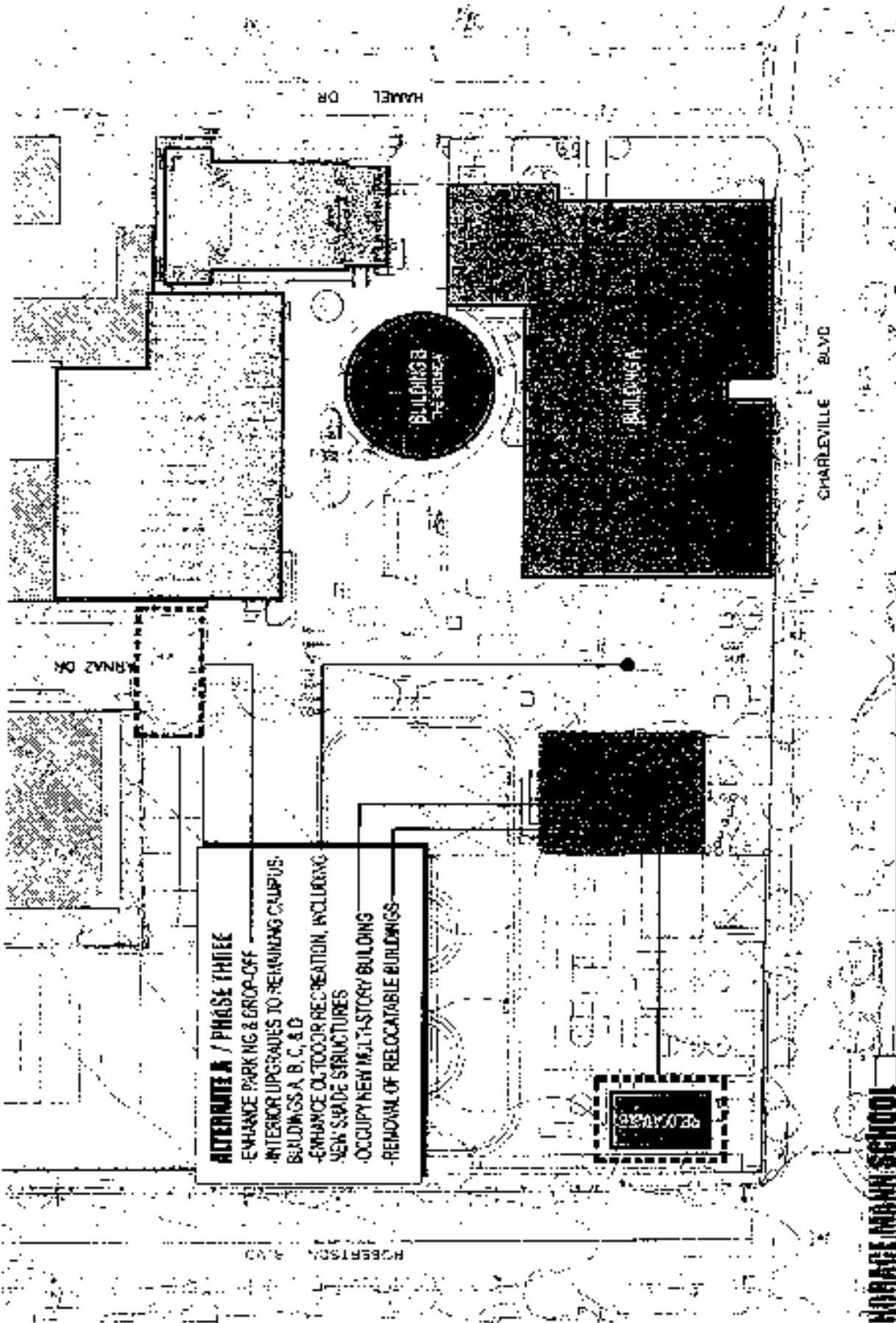
ROBERT MANN SCHOOL

CHARLEVILLE BLVD

LIMMEL DR

SITE

od



ALTERNATE A / PHASE THREE

- ENHANCE PARKING & DROP-OFF
- INTERIOR UPGRADES TO REMAINING CAMPUS BUILDINGS A, B, C, & D
- ENHANCE OUTDOOR RECREATION, INCLUDING NEW SPADE STRUCTURES
- OCCUPY NEW MULTI-STORY BUILDING
- REMOVAL OF RELOCATABLE BUILDINGS

HORACE MANN SCHOOL

SITE PLAN

of

HORACE MANNA SCHOOL

CHARLEVILLE DIVD

HAMEL DR

ADOLZ DR

ALTERNATE B / PHASE ONE

- DEMO ANNEX, BUILDING E
- PLACE INTERM HOUSING
- DEMO ROT LADJA, BUILDING B
- DEMO AND INVESTING OF BUILDING A

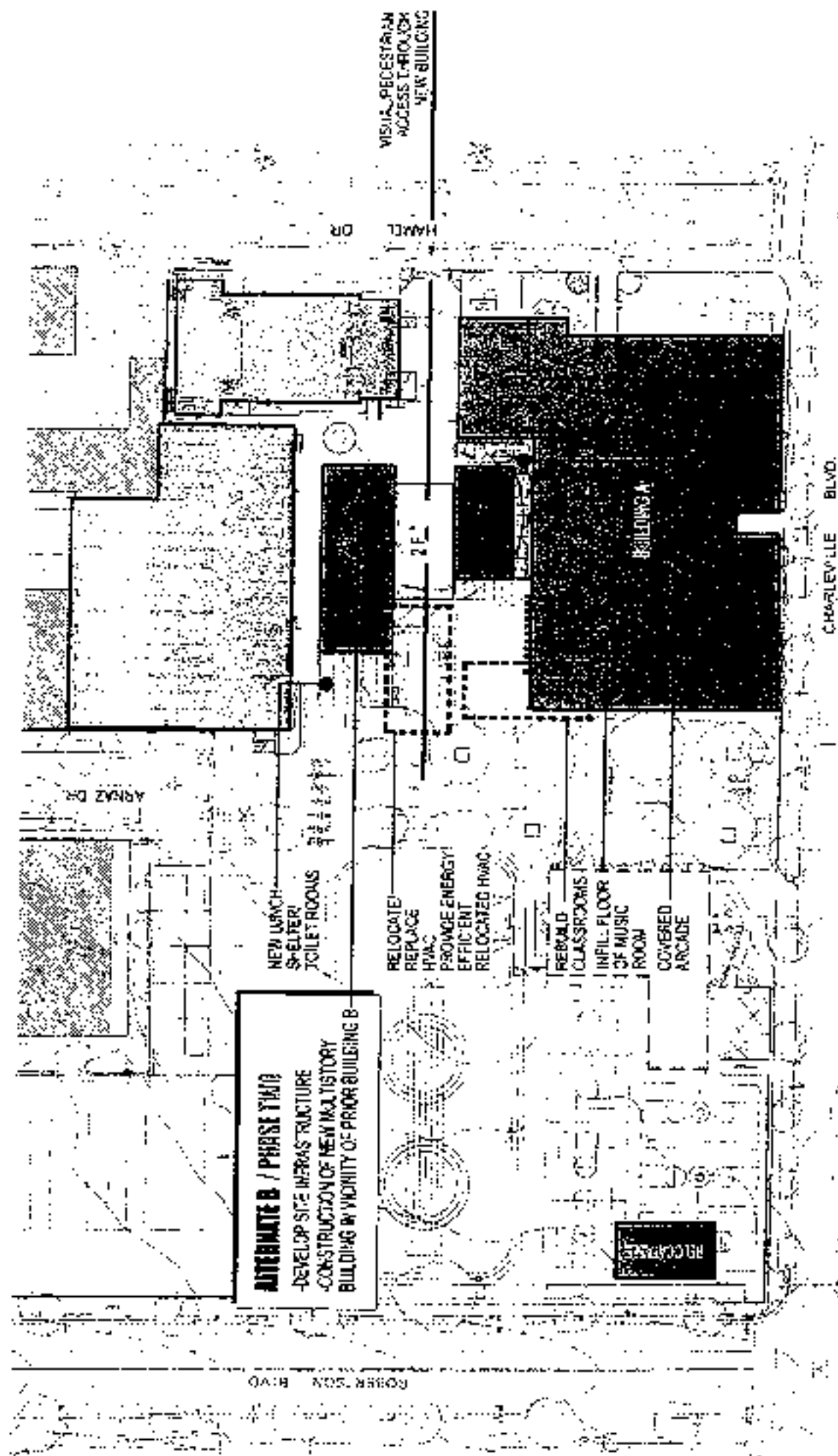
RELOCABLE

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ROBERTSON DIVD

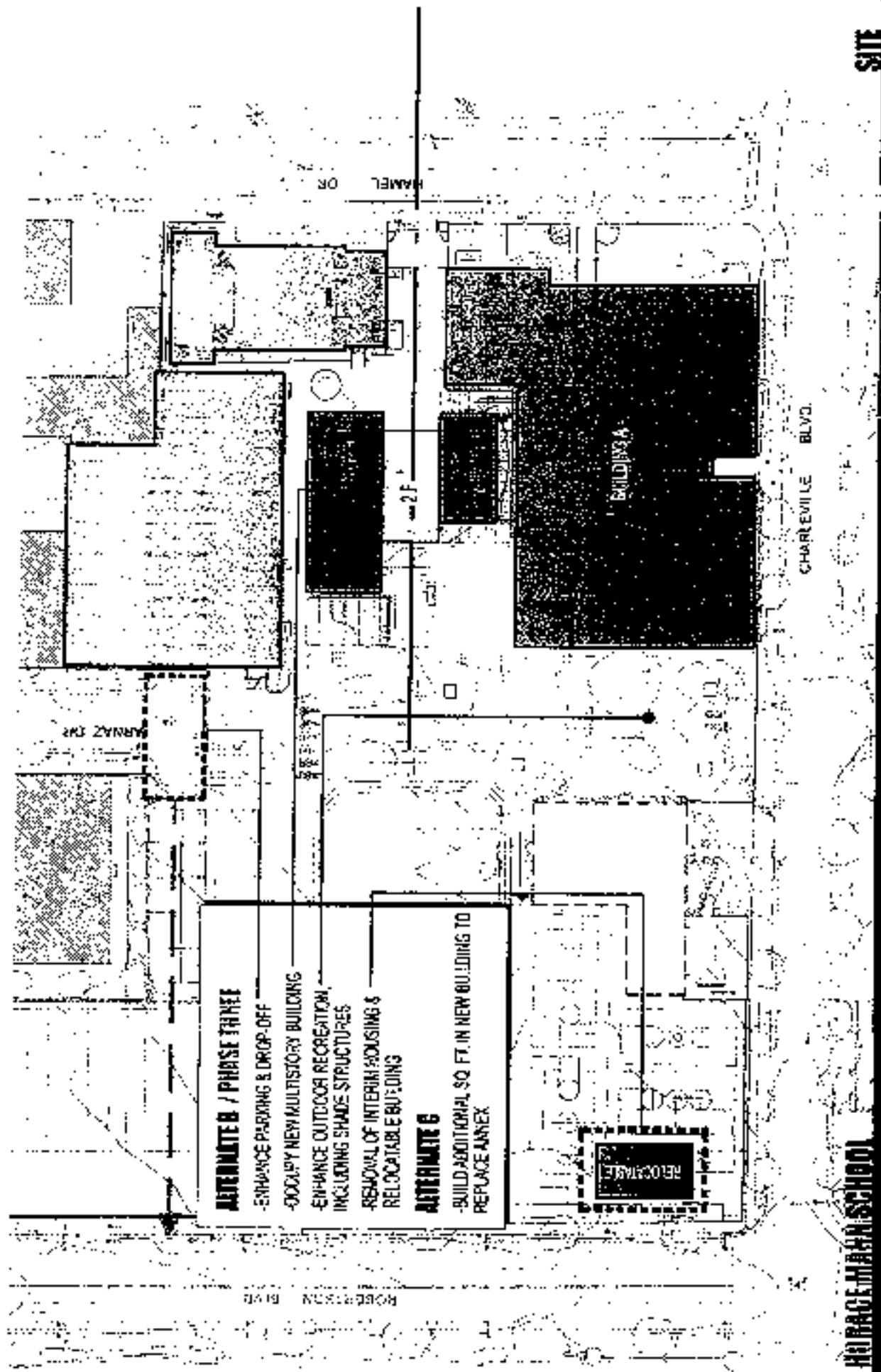
SITE





ALTERNATE B / PHASE TWO
 - DEVELOP SITE INFRASTRUCTURE
 - CONSTRUCTION OF NEW MULTISTORY BUILDING IN VICINITY OF PRIOR BUILDING B

RELOCATED



ALTERNATE B / PHASE THREE

- ENHANCE PARKING & DROP-OFF
- OCCUPY NEW MULTISTORY BUILDING
- ENHANCE OUTDOOR RECREATION, INCLUDING SHADE STRUCTURES
- REMOVAL OF INTERIM HOUSING & RELOCATABLE BUILDING

ALTERNATE G

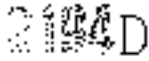
- BUILD ADDITIONAL 50,000 SQ. FT. IN NEW BUILDING TO REPLACE ANNEX

RELOCATABLE



ARCHITECTURE
PLANNING
INFORM

**INFORMATION FOR K-8 MASTER PLANNING
BEVERLY HILLS UNIFIED SCHOOL DISTRICT**



Airport Loop
Costa Mesa
California
92626-3406

714.427.0277

714.427.0288

ARCHITECTURE

1. Sent previously as separate document.
2. Seismic Evaluation and Safety Concerns

• **Beverly Vista School**

Site Identified Issues

Drainage at Upper Deck

Upgrade Locker Room

Upgrade MPR

Student Path of Travel Issues

Site Drainage

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

• **El Rodeo School**

Site Identified Issues

Improve Traffic/Parking

Upgrade Locker Room

New MPR

Access and Entry

Student Path of Travel Issues

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Hawthorne School

Site Identified Issues

- Improve Traffic/Parking
- Modify Sewage Ejector
- Upgrade Locker Room
- Upgrade MPR
- Access and Entry
- Student Path of Travel Issues
- Infrastructure Upgrades

School Security Issues

- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
- Real Time Camera Monitoring
- Upgrade Telephone System
- Signage

Fire Life Safety Issues

- Upgrade Campus Fire Alarm
- Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

• Horace Mann

Site Identified Issues

- Upgrade Locker Room
- Upgrade MPR
- Access and Entry
- Student Path of Travel Issues
- Upgrade Sewage Ejector
- School Security Issues
- Site Water Pressure
- Exterior Lighting
- Upgrade Classroom Locks
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- Determine implementation strategy and impact on phasing of projects with District and site.
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- Determine timing of actual construction with District based on availability of funding.
- Implement priority 1
- Determine timing for subsequent priorities and phases.

Horace Mann School

Local Construction Funding	\$ 30,100,000
Phase 1	\$ 7,366,667
Phase 2	\$ 7,366,667
Phase 3	\$ 7,366,667
Construction of New Addition	\$ 8,000,000
Supplemental State Funding	
Facility Hardship for Rotunda	\$ 8,000,000
Hardship Maintenance	\$ 450,000
Supplemental Local Funding	
Demo of Annex	\$ 500,000
Subtotal of Construction Funding	\$ 39,050,000
Scoping Fees	\$ 195,250
Estimated AF Fees	\$ 3,905,000
Phase 1	
Phase 2	
Phase 3	
Construction	
Estimated Other Soft Costs	\$ 5,857,500

Horace Mann Totals

	\$ 49,007,750
District	\$ 40,057,750
Supplemental	\$ 8,950,000



ARCHITECTURE
PLANNING
INTERIORS

3194D

Airport Loop
Costa Mesa
California
92626-3405

714 427 0277

714 427 0988

HOK ARCHITECTURE S.L.P.

MASTER PLANNING ISSUES BEVERLY HILLS UNIFIED SCHOOL DISTRICT

HORACE MANN SCHOOL

Seismic Safety at Building B, the Rotunda

Designed in the mid 1960's, Building B (commonly known as the "Rotunda") houses a varied assortment of academic and support spaces for the campus. Included in the building are the campus Library, Science Labs, Locker Rooms, Toilets, various support spaces and exterior covered Lunch Shelter. The primary structural systems for the building are a mix of concrete and concrete masonry in a multi-story configuration.

A range of seismic safety issues affect the future viability of this structure. The first is the location of the building. Tightly tucked into the north courtyard of the original campus, between Building A and the Auditorium, the structure of Building B actually overlaps the structure of Building A with beams and floor plates built over roofed areas. In the event of significant seismic activity there is a strong likelihood that the movement of these two differing structures would result in structural contact and major damage with a threat to the safety of the students and staff. Because the building sits in the primary path of travel exiting Building A to the north, an event resulting in falling debris would pose a significant threat from both blocked path of travel as well as debris hazard to any personnel attempting to exit in that direction. The structural system and design approach for the Rotunda is inherently fragile in the event of significant seismic activity. At the ground floor, in the area of the lunch shelter, there is a distinct discontinuity of the structural system resulting in a weakened ground plane and the potential for building collapse. If the collapse is only partial, the direction of the discontinuity would result in that collapse landing on top of and potentially crushing a portion of Building A. This discontinuity is exacerbated by the loading of the building with heavier loads located in the upper floors. These would tend to amplify the action of any seismic event on the overall structure of Building B.

A review of previous suggestions for mitigating these seismic issues related to the Rotunda appear to underestimate the true cost of implementation and overstate the projected outcome of these measures. It has been suggested that new walls be constructed at the base of the Building to strengthen the discontinuity that currently exists. This is suggested to be coupled with the insertion of new footings to underpin the existing foundations. The impact of the insertion of new walls would be extremely negative to the current function of the spaces in the building without a clear method to offset the functional impact of these changes. Construction of the new footings in the confined area of the Rotunda and in such a way that it will achieve the design condition to address the seismic issues will be prohibitively costly. The work will need to be accomplished in a stepped manner by slot cutting the area around the building in small increments. This would be required to maintain the structural integrity of the building while the new work is constructed. It has been suggested that a new piling and grade beam system be inserted under the existing structure. All of this would have to be accomplished with the existing building remaining in place. While work around the perimeter of the building could be accomplished through the slot cutting method noted above, it is unlikely that the interior areas of the ground level could be addressed in this manner. The result would be a design that requires all of the increased seismic forces be addressed on the perimeter of the building. This is further impacted by the existing subterranean service level that currently connects the Auditorium Building and the Rotunda.



October 16, 2007

Karen Christiansen
Director of Facilities and Planning
Beverly Hills Unified School District
255 South Lasky Drive
Beverly Hills, California 90212

Subject: Building seismic evaluation study - Horace Mann School, Building B

Dear Ms. Christiansen:

In our previous report we provided seismic evaluation for building B and identified potential retrofit scheme and the associated construction costs in order to achieve an enhanced seismic performance. The suggested retrofit scheme was the addition of a concrete wall in the first floor with the associated foundation. The cost was estimated at \$500,000.

We have since learned that the proposed wall is functionally unacceptable due to its impact to the lunch area. An alternative solution to a wall is a concrete moment frame consisting of ductile beams columns and foundation system.

We have also been able to locate the original construction drawings for this building. These drawings show the foundation to be a pile system. This suggests that, in the original design of the building, the soil was judged to be inadequate for use of less costly spread footings. The piles are reinforced but the reinforcement is placed near the center of the pile cross section. This makes the piles less effective in resisting lateral seismic loads. Detailed geotechnical investigation and structural analysis is required to assess the capacity of the existing piles to resist lateral loads. It is anticipated that these studies would demonstrate the need for additional piles, properly reinforced in order to achieve the desired enhanced seismic performance. These piles would be approximately 20 in total, placed along the entire perimeter of the building.

It is estimated that the construction cost associate with the above seismic retrofit is as follows:

• Concrete moment frame	\$1,000,000
• New piles and associated grade beams and floor slab	\$2,000,000
	<hr/>
Total	\$3,000,000

Also, the construction of the new piles is expected to negatively impact the use of the facility, as it requires access of large drilling equipment.

Thank you for the opportunity to propose on this project. If you have any questions, please do not hesitate to contact me at (213) 896-2378.

Sincerely,
URS Corporation


Michael Mehrain, Ph.D.
Structural Engineer, SE2448

District Office/

Annex

Alternative Education Center

Savery Hills Unified School District
Beverly Hills, California

SGPA ASSISTANCE AND PLANNING



PRIORITIES:

SECURITY

- Access Control
- Moreno High School
- High School Security

SAFETY

- Pedestrian & Vehicular
Seismic/Accessibility/
Health & Safety

EQUITY

- Community Health

RESTORE AND REHABILITATE

- Structural Integrity
- Seismic/Accessibility

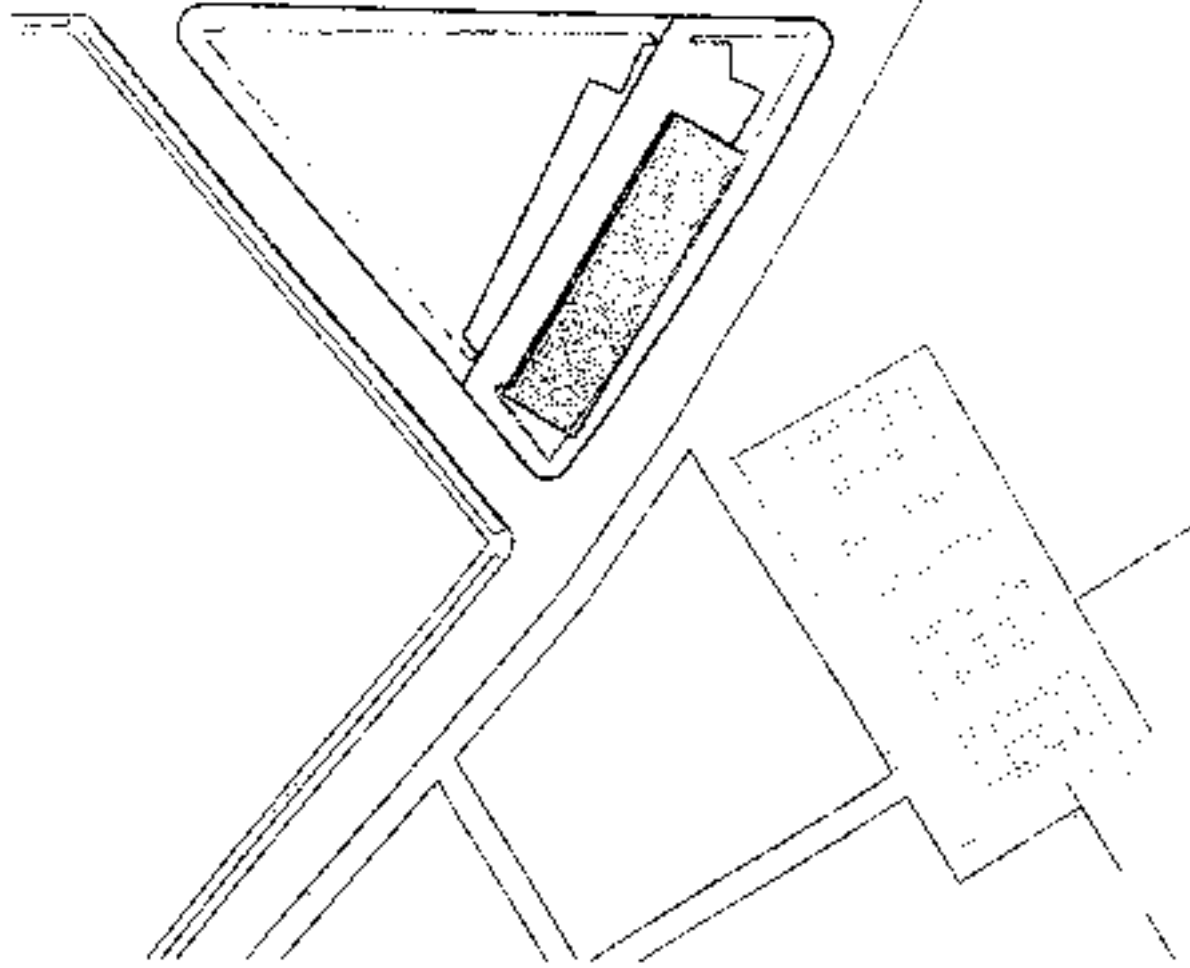
EXISTING BUILDINGS UPGRADES

- Mechanical/Electrical/Plumbing
- Technology Upgrades

ATHLETICS

- Multi-Use Facilities
- Upgraded Facilities/Programs
- Multi-Use Programs

RENEWABLE ENERGY



Alternative Education Center

Beverly Hills Unified School District
Beverly Hills, California

SGPA ARCHITECTURE & PLANNING



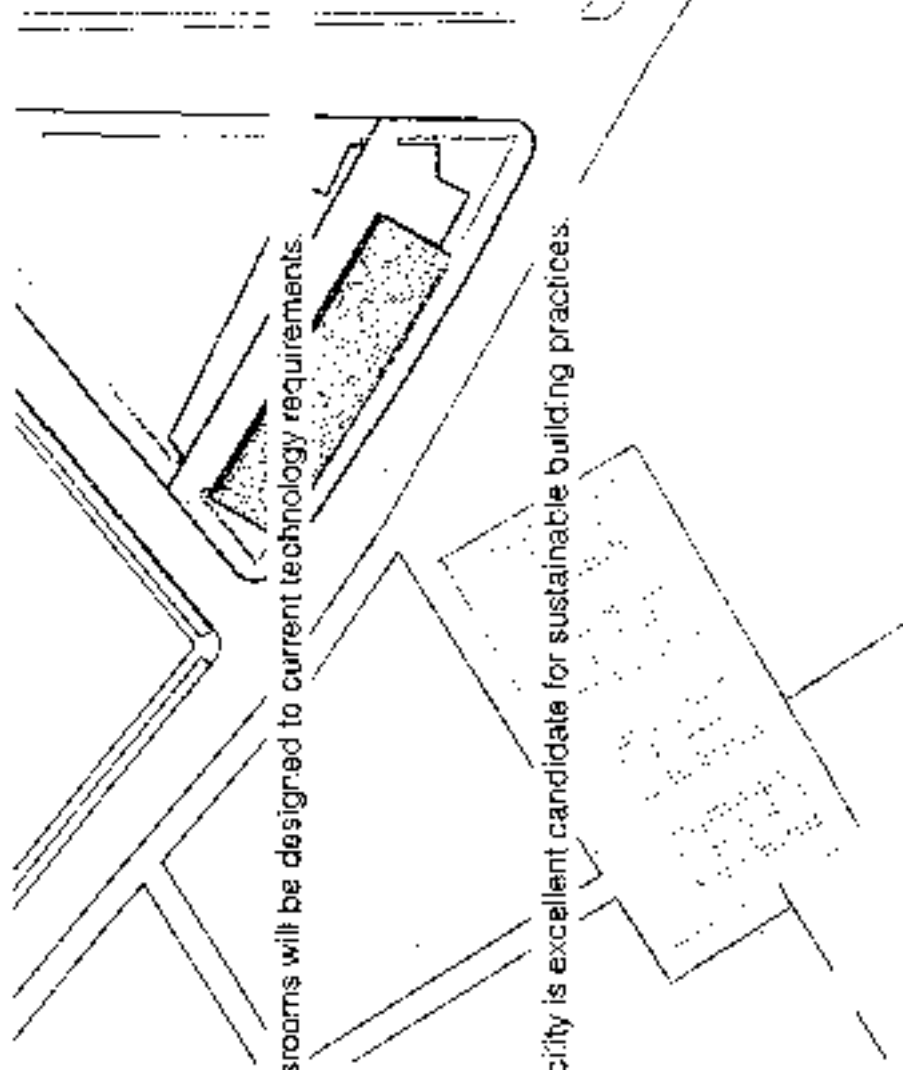
PRIORITIES

Moreno High School and Alternative Ed Programs relocated to annex facility. Moreno given its own entrance.

- Access Control
- Moreno High School
- Pedestrian & Vehicular

Existing Annex Building to be modernized to all applicable building codes, accessibility requirements.

- Pedestrian & Vehicular
- Seismic/Accessibility/Health & Safety



All Classrooms will be designed to current technology requirements.

- Technology Upgrades
- Existing Buildings
- Upgrades
- Technology Upgrades

New Facility is excellent candidate for sustainable building practices.

- Athletics
- Data Center
- Laboratory
- Technology Upgrades

RENEWABLE ENERGY

Alternative Education Center

Beverly Hills Unified School District
Beverly Hills, California

SGRA • SUSTAINABLE GREEN RATING AND ASSESSMENT



PRIORITIES:

Re-develop existing three story structure on District Office site

1. Reuse existing structure
2. Reduce construction time
3. Create Permanent Remodeled Solution at reduced cost.
4. Existing Parking Relocated Across Street to planned Parking Structure

SECURITY

- Access Control
- Moreno High School

• Security

SAFETY

- Pedestrian & Vehicular
- Seismic/Accessibility
- Health & Safety

EQUITY

- Equity

RESTORE AND REHABILITATE

- Existing Buildings
- Upgrades

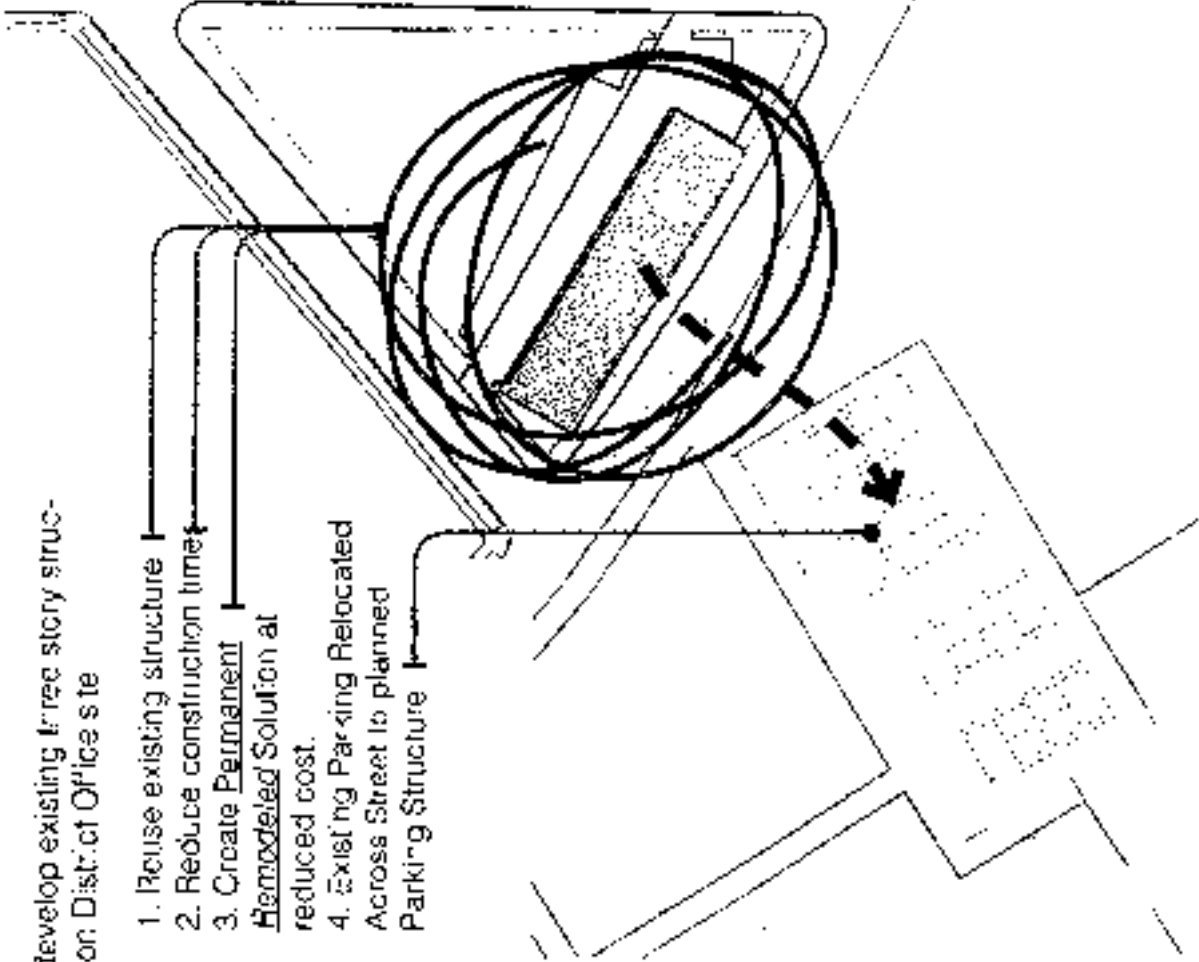
EXISTING BUILDINGS

- Technology Upgrades
- Technology Upgrades

ACHIEVING

- Energy
- Water
- Air Quality

RENEWABLE ENERGY



Alternative Education Center

Beverly Hills Unified School District
Beverly Hills, California

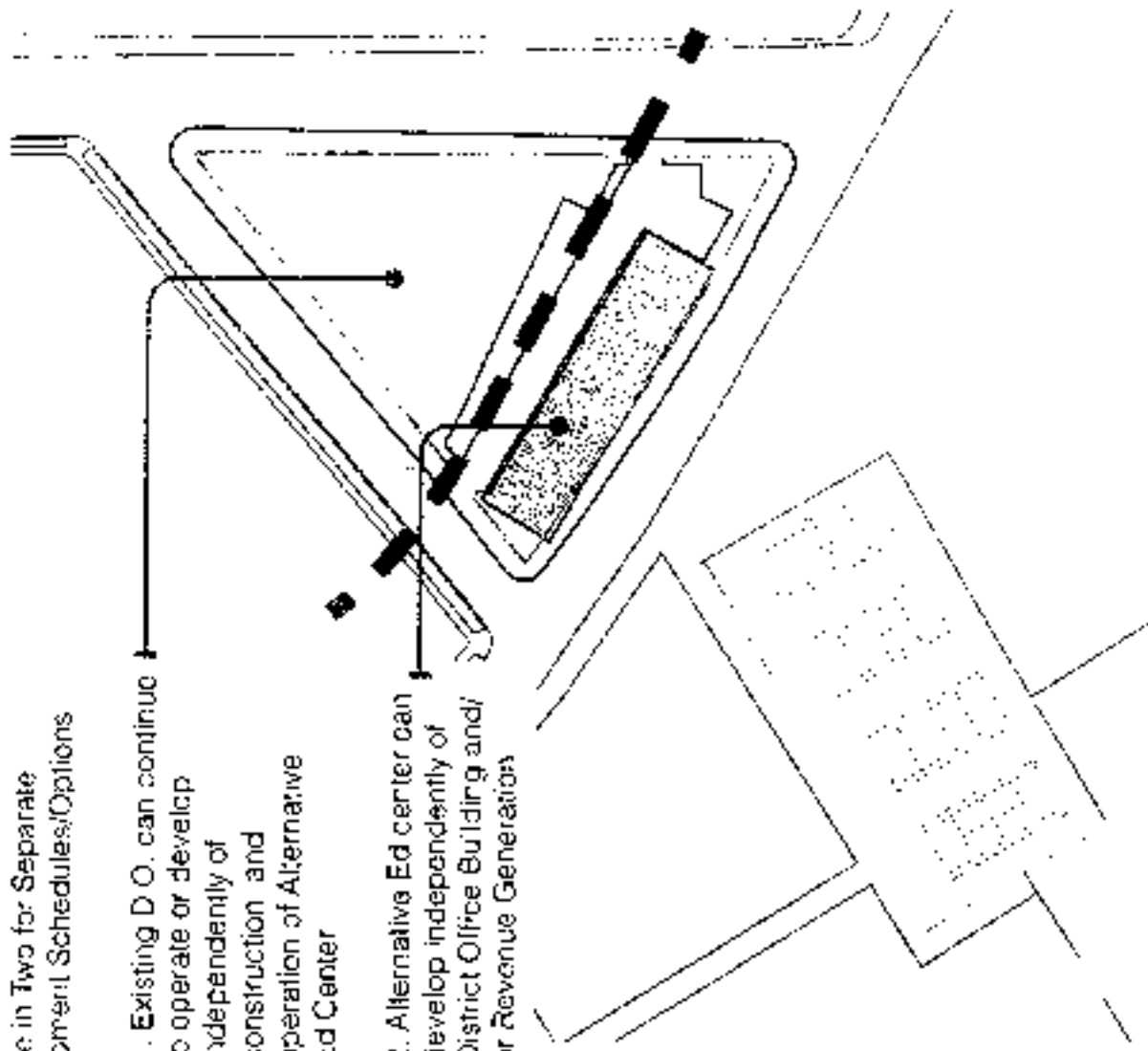
SGPA SERVICES AVAILABLE TO AGENCIES



PRIORITIES

Split Site in Two for Separate Development Schedules/Options

- Existing D.O. can continue to operate or develop independently of construction and operation of Alternative Ed Center
- Alternative Ed center can develop independently of District Office Building and/or Revenue Generation



SECURITY

- Access Control
- Moreno High School
- Security

SAFETY

- Pedestrian & Vehicular
- Seismic/Accessibility
- Health & Safety

EQUALITY

- Access to Facilities

RESTORE AND REHABILITATE EXISTING BUILDINGS

- Upgrade of Existing Buildings
- Seismic/Accessibility
- Upgrades
- Rehabilitation/Restoration
- Technology Upgrades

ATHLETICS

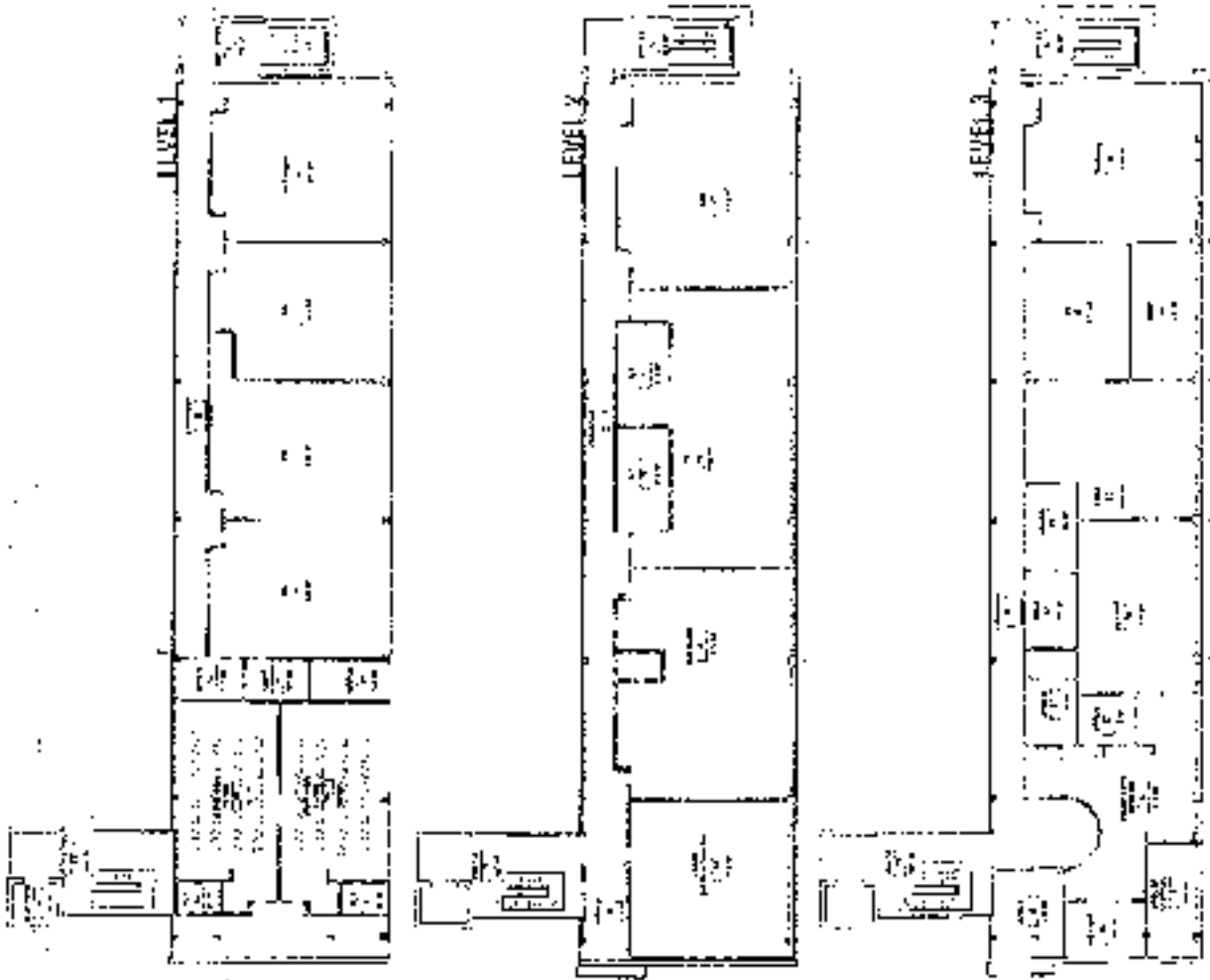
- Existing Facilities
- Upgrade of Existing Facilities
- Construction of New Facilities

RENEWABLE ENERGY

Alternative Education Center

Beverly Hills Unified School District
Beverly Hills, California

SGPA ARCHITECTURE AND PLANNING



HIGHLIGHT:

Both the unique, positive nature of the program and the thoughtfully sustainable strategies will create a development that will be both highly marketable for the District and pleasing to the surrounding community.

PROJECT OVERVIEW

The Beverly Hills Alternative Education Center is a response to:

- The need for additional security on the Beverly Hills High School campus
- The need to optimize the use of a very strategic site.
- An efficient and cost effective response to the logistical requirements of the BHHS master plan.

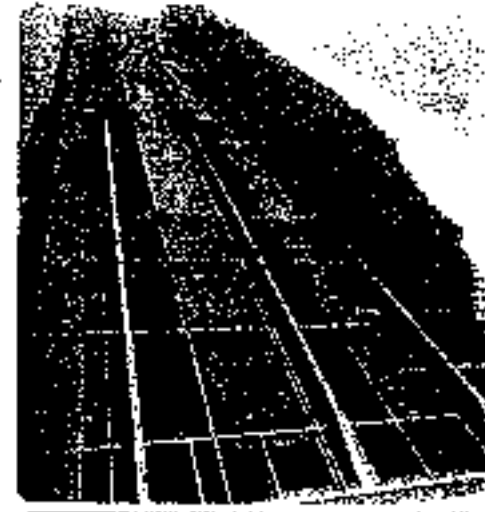
The existing District Office building site is an ideal location for the Alternative Education programs as it is adjacent to, yet separate from the Beverly Hills High School. Thus, they can share resources with the campus while not diminishing security on the high school campus. Also, the site has great potential for revenue generating development. The proposed solution reserves a portion of the site for a potential revenue generating development (at a later time), while renovating the existing three-story structure into the new Alternative Education Center. The strategy of renovating the existing structure is a fast, permanent, and cost-effective solution, solving the urgent needs of the BHHS campus master plan, simplifying phasing, and reducing cost. Furthermore, this structure will complement the front of the campus and provide a sense of positive identity for the students enrolled in the Alternative Education Programs.

The renovation scope will include the stripping of all finishes and non-structural walls. Existing Building Systems will likely remain recent upgrades while replacing unquoted ducting and electrical wiring. The building will be re-skinned with lightweight materials. The lower level parking is to be replaced with additional classroom space. The exterior will be landscaped to provide appropriately scaled congregating spaces for the students to gather. The building circulation is to be relocated from the center of the building to the north edge of the building, harnessing the abundant natural light and externalizing the stairs and elevators. Finally, the beneficial solar orientation, building proportions, and nature of renovation make this development an extremely strong candidate for a higher LEED certification.

Alternative Education Center

Beverly Hills Unified School District
Beverly Hills, California

SGPA ARCHITECTURE, INC. PLANNING



ROBTH UBERTAL CIRCUIT BOARD CHAIR



High School # 28	200%	\$ 10,000
Site	100%	1,000,000
Architectural	10%	1,000,000
Engineering	10%	1,000,000
Construction	10%	1,000,000
Interior Design	10%	1,000,000
Landscaping	10%	1,000,000
Other	10%	1,000,000
Total		3,000,000

B.01
SCHOOL BACKGROUND

DOUGHERTY + DOUGHERTY ARCHITECTS LLP



El Rodeo School

HISTOR:

Construction of the original structure of El Rodeo School was approved by the Beverly Hills Board of Education in February, 1927. The three-winged building was designed by Austin, Ashley, and Hudson; and the contractor was Ralph H. Whinery. The school was damaged in the 1933 Long Beach Earthquake, and the Board of Education approved reconstruction under W. A. Hudson in June of 1934. Halmes and Narver were the supervising structural engineers, and the project was completed late that same year. Further additions and alterations were approved by the Board in December, 1938. Again, W. A. Hudson was the architect. Louis E. Stoner was the contractor, and the project was completed in March, 1939. No further structural changes were made until July of 1959, when the Board of Education approved an addition to the school. Designed by John Kewell and Associates, the addition included a new tool shed and new lavatories. Also, the floor of the Shop was leveled. With rising enrollments, the school was becoming cramped, and a two story addition was approved in November, 1962. Completed just over a year later, the structure included gymnasium facilities, and new Shop and Music room. It was designed by William Shinderman and built by Argo Construction Company. The latest change in the school is a series of additions and alterations designed by Maurice H. Fleistman. The first and most major, a three story structure whose construction was accompanied by the building of new Home Economics and Art classrooms within the original structure, was approved by the Board of Education in July of 1966. Completed in September, 1967 by A. G. Tutor Construction Company; the major addition was followed by the construction of a transformer vault to fulfill a state Fire Protection Requirement. In January of 1969, the Board approved the completion of three Fleishman designed classrooms by contractor John T. Goedhart. This, the last phase of the project, was completed in July, 1969. The latest renovation was the remodeling of the

cafeteria. After problems with other architects, the firm of Friedman, Togawa, and Smith were asked to design cafeterias for El Rodeo, Beverly Vista, and Hawthorne. The contract was awarded to Levin Construction Co. and the remodeling was declared complete on March 24, 1981. The contract was awarded to Levin Construction Co. And the remodeling was declared complete on March 24, 1981. The playground at El Rodeo was remodeled with the installation of a sod turf and sprinkler system. The engineering was done by HLM Engineers and Constructors and the job was completed in September 1981. Trenches were dug for the piping, and drains were installed. The existing surface was excavated. The piping runs from the south side, around the new grass field to the east side. The new field is 30,744 square feet. The small physical fitness area was enlarged to 3,151 square feet. It cost \$202,500 to remodel this playground as well as the one at Beverly Vista.

El Rodeo School underwent a modernization in 2001, followed by a series of site related projects. These projects included new fencing in 2003 and a complete playground restoration in 2004-05. The school underwent auditorium and restroom upgrades in 2007.

El Rodeo School
K-8 MASTERPLAN

B.02
SITE DIAGRAMS +
PROCESS PRESENTATIONS

DOUGHERTY + DOUGHERTY ARCHITECTS LLP





beverly-hills-school
el-rancho-school
hawthorne-school
herace-maria-school

OL

BHUSD

- **Address Four Existing K-8 School Sites**
- **Address District Priorities**
- **Engage Community Stakeholders**
- **Enhance Long Term Asset Value**
- **Upgrade Short Term Issues**
- **Provide a Student/Teacher Environment for Success**

MASTER PLAN GOALS

UNIVERSITY

OL

- **Safety, Security, Mandatory ADA Upgrades and Fire Life Safety**
- **Infrastructure**
- **Technology (Utilizing the STC Classroom Prototype)**
- **Program Issues**
- **Green Building Strategies**
- **Aesthetic Issues**

DISTRICT PRIORITIES



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- **Meet with Site Stakeholders**
- **Site Visits to Review Existing Assets and Infrastructure**
- **Review of Data Gathering Reports and Existing Documents**
- **Interface with District Staff to Assess Data**
- **Assess Opportunities for Joint Use and Community Outreach**
- **Preparation and Presentation of Alternative Implementation Strategies**
- **Development Recommendations and Report To District and Community**

PLANNING PROCESS

01

- **Site Facilities Committee Reports and Meetings**
- **Site Visits**
- **URS Infrastructure Reports**
- **Turner Preliminary Cost Estimating**
- **Strategic Concepts ADA and Site Issue Reports**
- **District Arts Plan**
- **District Technology Plan**
- **Record Documents for Each Site**
- **Plumbing, Sewer, Storm Drain Inspection Report**

PLANNING INFORMATION SOURCES

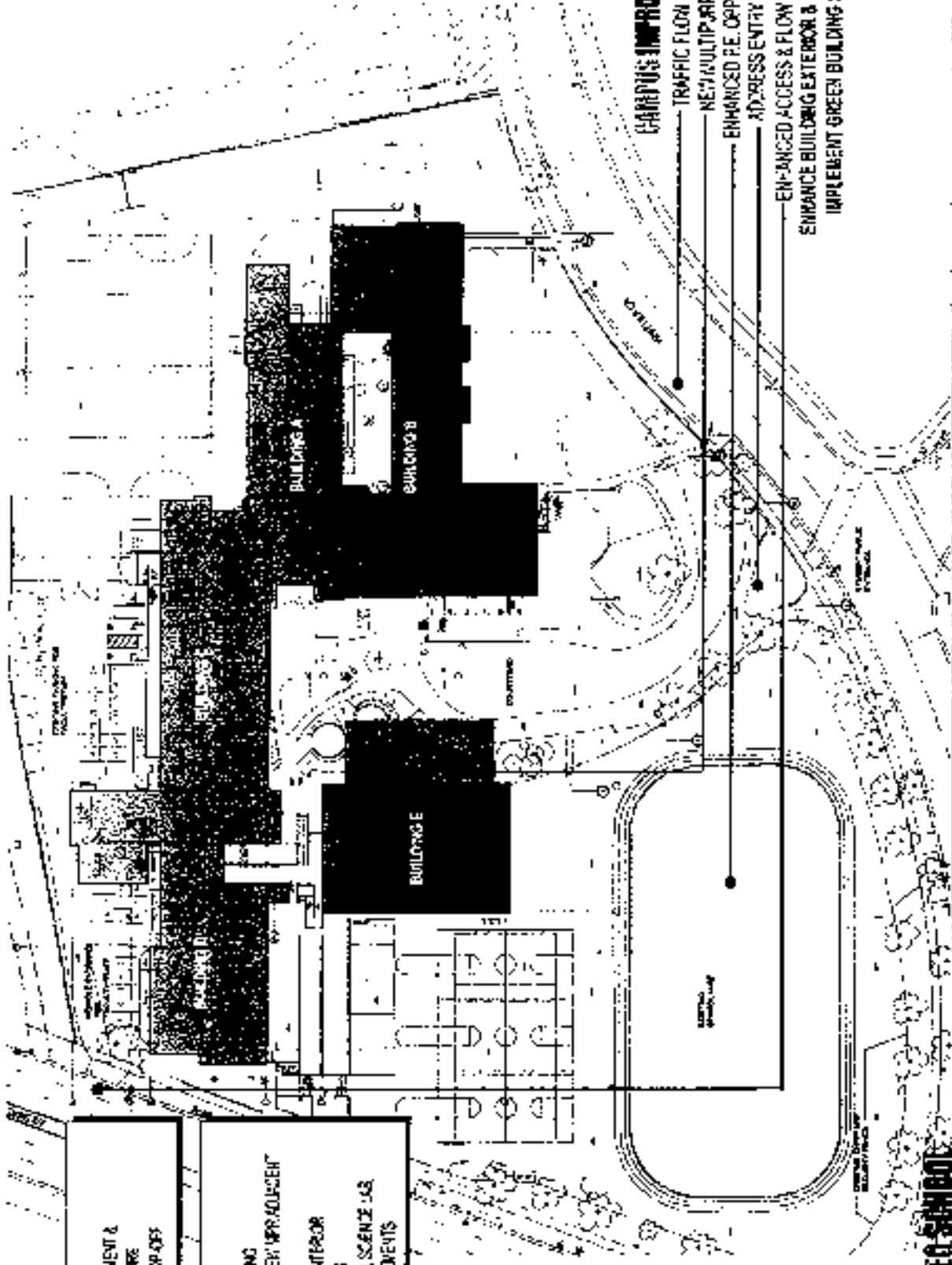
- **Develop a Comprehensive Assessment of District Need**
- **Establish the Physical Impacts to Give Form to the District Vision**
- **Establish Ownership of the Goals by the Community**
- **Develop a Holistic Platform Integrating District and Community Goals**
- **Develop a Dynamic Tool as a Road Map to the District's Future**

TARGETED OUTCOMES

3 H O U S I N G E R F O R S



d



PHASE ONE
 - SITE IMPROVEMENT & INFRASTRUCTURE
 - PARKING & DROP-OFFS

PHASE TWO
 - INTERIORIZING
 - CONSTRUCT NEW APPROPRIATE TO BUILDING E
 - MULTIPHASE INTERIOR IMPROVEMENTS
 - LOCKER ROOM SCIENCE LAB & APP IMPROVEMENTS

CAMPUS IMPROVEMENTS
 - TRAFFIC FLOW & DROP OFF
 - NEW MULTIPURPOSE SPACE
 - ENHANCED P.E. OPPORTUNITIES
 - ADDRESS ENTRY & SECURITY
 - ENHANCED ACCESS & FLOW TO PARKING
 - ENHANCE BUILDING EXTERIOR & LANDSCAPE
 - IMPLEMENT GREEN BUILDING STRATEGIES

EL RODEO GOLF

SITE

od

IMPLEMENT DISTRICT ARTS PLAN
 IMPLEMENT DIGITAL CLASSROOM CAMPUS-WIDE

VEHICLE ENTRANCE
 FOR FACULTY'S USE

East Loggia area for
 FACULTY'S USE

IMPLEMENT DISTRICT TECHNOLOGY PLAN

<p>ADMINISTRATIVE</p> <p>SERVICE CLASSROOM</p> <p>PHOTOCOPY CENTER</p> <p>TECHNOLOGY CENTER</p> <p>STORAGE</p> <p>RESTROOMS</p> <p>OFFICE</p> <p>CLASSROOM</p>	<p>ADMINISTRATIVE</p> <p>1. FIRST GRADE</p> <p>2. SECOND GRADE</p> <p>3. THIRD GRADE</p> <p>4. FOURTH GRADE</p> <p>5. FIFTH GRADE</p> <p>6. SIXTH GRADE</p> <p>7. SEVENTH GRADE</p> <p>8. EIGHTH GRADE</p> <p>9. NINTH GRADE</p> <p>10. TENTH GRADE</p> <p>11. ELEVENTH GRADE</p> <p>12. TWELFTH GRADE</p> <p>13. SPECIALTY CLASSROOM</p>
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EL RINCON SCHOOL

02



EL PASO COUNTY
INDUSTRIAL DISTRICT

22-3000 CLASSROOM

1-1500 GYMNASIUM

100-1000

22-1000 GYMNASIUM

1-10000

22-10000

CLASSROOM

1-10000

2-10000

3-10000

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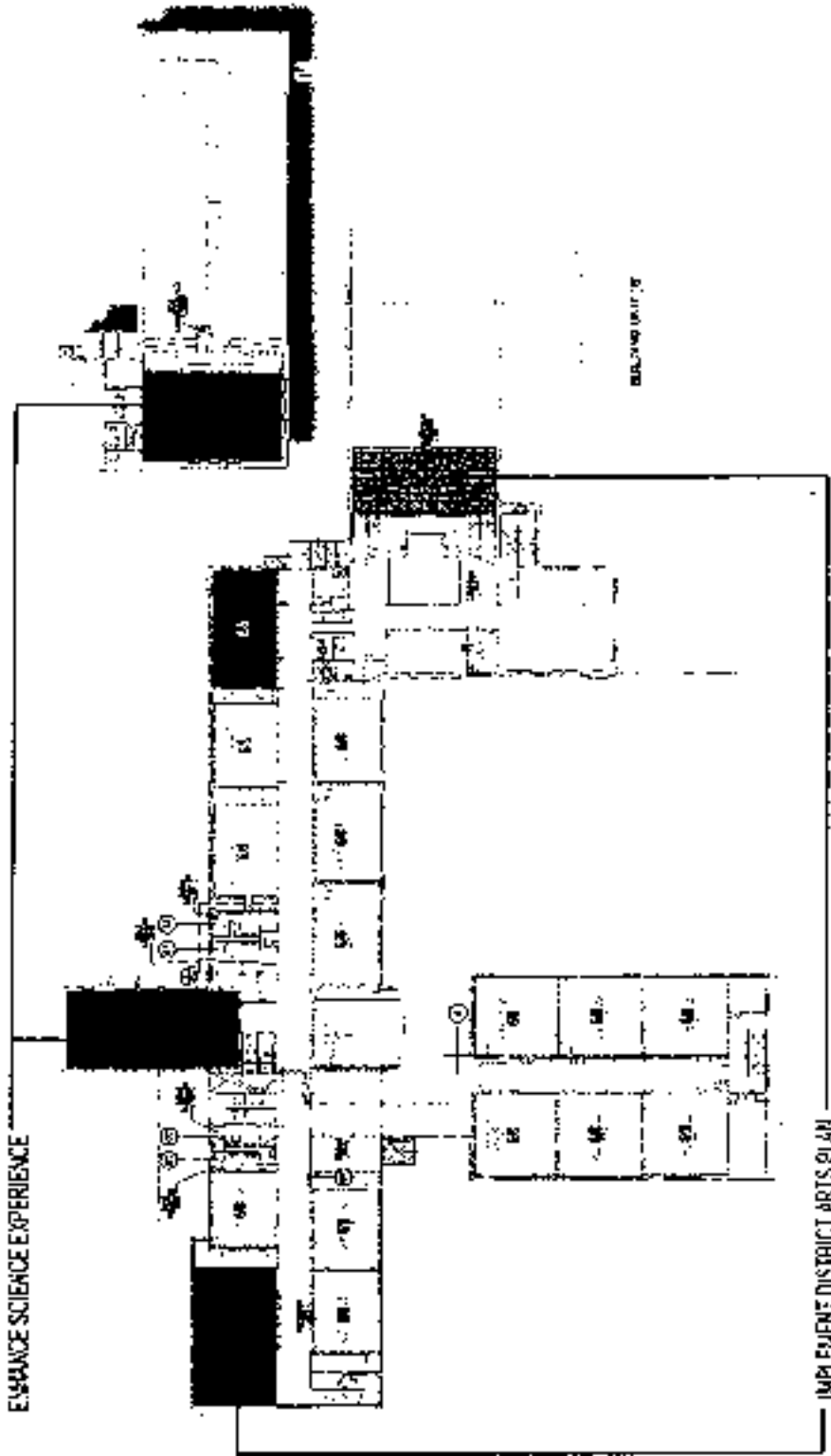
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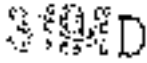
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ARCHITECTURE
PLANNING
INTERIORS

**INFORMATION FOR K-8 MASTER PLANNING
BEVERLY HILLS UNIFIED SCHOOL DISTRICT**



Airport Loop
Costa Mesa
California
92626-3405

714.427.0277

714.427.0228

ARCHITECTURE

1. Sent previously as separate document.
2. Seismic Evaluation and Safety Concerns

• Beverly Vista School

Site Identified Issues

Drainage at Upper Deck

Upgrade Locker Room

Upgrade MPR

Student Path of Travel Issues

Site Drainage

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

BEVERLY VISTA SCHOOL

Site Identified Issues

Drainage at Upper Deck

Upgrade Locker Room

Upgrade MPR

Student Path of Travel Issues

Site Drainage

School Security Issues

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

Upgrade Telephone System

Signage

Fire Life Safety Issues

Upgrade Campus Fire Alarm

Site Water Pressure

Exterior Lighting

Upgrade Classroom Locks

Real Time Camera Monitoring

- Hawthorne School

- Site Identified Issues

- Improve Traffic/Parking

- Modify Sewage Ejector

- Upgrade Locker Room

- Upgrade MPR

- Access and Entry

- Student Path of Travel Issues

- Infrastructure Upgrades

- School Security Issues

- Site Water Pressure

- Exterior Lighting

- Upgrade Classroom Locks

- Real Time Camera Monitoring

- Upgrade Telephone System

- Signage

- Fire Life Safety Issues

- Upgrade Campus Fire Alarm

- Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

- Horace Mann

- Site Identified Issues

- Upgrade Locker Room

- New MPR

- Access and Entry

- Student Path of Travel Issues

- Upgrade Sewage Ejector

- School Security Issues

- Site Water Pressure

- Exterior Lighting

- Upgrade Classroom Locks

- Real Time Camera Monitoring

- Upgrade Telephone System

- Signage

- Fire Life Safety Issues

- Demo Annex w/Mitigation

- New Paving Play Yard at Annex

- Demo Rotunda- Replace Rotunda Core Spaces

- New Courtyard at Rotunda

- Mitigate Classroom 110

- Fire Sprinklers at Building A

- Upgrade Campus Fire Alarm

- Seismic Upgrades- Generalized upgrade of connections and lateral resistance. Tie decorative features and architectural elements safely to substructure.

3. There would be funding available from several sources for Green projects. OPSC will fund High Performance Schools with several hundred thousand dollars available for each of the K-8 sites. Savings by Design from Southern California Edison will pay incentives to the District and cover some of the design costs for Green schools. If the District wants to contract with a third party vendor they can have Photo Voltaics placed on their schools for free and then buy the power back from the provider at a fixed rate for the next 15 to 20 years.
4. The process from this point forward would include the following.
 - Workshops with each school site to include all stakeholders to confirm previous discussion about scope and priorities.
 - Interface with City about District/Municipal planning issues
 - Research existing documents to enhance background information
 - Re-confirm scope versus budget with estimator
 - Determine implementation strategy and impact on phasing of projects with District and site.
 - Prepare Schematic Design, Design Development and Construction Documents for first priority items to be submitted to DSA.
 - Determine timing of actual construction with District based on availability of funding.
 - Implement priority 1
 - Determine timing for subsequent priorities and phases.

El Rodeo School

Local Construction Funding	\$ 23,500,000
Phase 1	\$ 6,833,333
Phase 2	\$ 6,833,333
Phase 3	\$ 6,833,333
New MPR	\$ 3,000,000
Supplemental State Funding	
Joint Use MPR	\$ 1,500,000
Supplemental Local Funding	
Joint Use MPR	\$ 750,000
Subtotal of Construction Funding	\$ 25,750,000
Scoping Fees	\$ 128,750
Estimated AE Fees	\$ 2,575,000
Phase 1	
Phase 2	
Phase 3	
Construction	
Estimated Other Soft Costs	\$ 3,862,500

El Rodeo Totals

	\$ 32,316,250
District	\$ 30,066,250
Supplemental	\$ 2,250,000

Hawthorne
Master Plan

C.01
SCHOOL BACKGROUND

Hawthorne School

HISTORY

The original building of Hawthorne Elementary School had been standing for seven years when, in November, 1920, the Board of Trustees of the Beverly Hills School District authorized construction of an Auditorium Building designed by T. Beverley Reim, Jr. The building, which was later converted to a cafeteria, was completed in 1921. In June of 1922, the Board approved construction of a one room addition to the Main Building, to be used as a Kindergarten Room. This addition, designed by Rae and Garstang, was followed by another Rae and Garstang-designed addition to the Main Building, an eight room annex located on the east side of the structure. Construction by L. W. Odell was approved by the Board of Trustees in August, 1922.

The School District continued its building program in July 1924, when it approved construction of a Manual Training Building, designed by Gable and Wyant. In July of 1925, construction of a Primary Building, also designed by Gable and Wyant, was authorized. The structure was completed that same year. In July of 1928, the Board of Trustees approved the demolition of the old Main Building to make way for a new one, designed by Ralph C. Flewelling. Completed in March, 1929, it was of poured reinforced concrete construction; a fact which became important when the Long Beach Earthquake struck in 1933. Most of Hawthorne's buildings were made of hollow tile, and were damaged to the point of endangering the pupils. The Main and Domestic Science Buildings required some strengthening, which was approved in September, 1934. Flewelling designed a new Boiler Room, completed in December of that year; and then designed new Kindergarten, Cafeteria, and Manual Training Buildings. Construction of the new buildings was approved in January, 1935, and the condemned Primary, Cafeteria, and Manual Training Buildings were demolished in 1934, 1935, and 1937, respectively. No further

changes were made until June, 1948, when the Board approved an addition to the kitchen area of the school cafeteria. Designed by Allison and Rible, it was completed in November of that year. Allison and Rible then supervised alterations to the school including construction of the Gardening Storage Shed, moving the Scout House to the South Playground, paving that playground, and improving the Kindergarten Playground. These were authorized by the Board of Education in June of 1951, and were closely followed by the construction of a North Wing and a new Kindergarten Building, approved by the Board in December of that year. Allison and Rible designed the additions, whose completion was delayed to February, 1953, by the Korean War's restrictions on building materials. John Kewell designed an addition to the school Library and supervised a renovation of the Gardening Storage Shed as a part of a district-wide program approved in July, 1959. Kewell also designed the 140-141 Building, an addition to the North Wing, and the conversion of the Old Shop Building to classrooms. These changes were approved by the Board of Education in August, 1960, and completed by May of 1961. Massive changes were made in the school in the late 1960's. Daniel, Mann, Johnson, and Mendenhall designed a new Library Wing, as well as a modernization of a portion of the Main Building and a conversion of the old Library to a Home Economics Room. Approved in December, 1966, the project was completed by September of 1967; and was immediately followed by an enlargement and improvement of the North Playground. Approved in September, 1967, and also designed by Daniel, Mann, Johnson, and Mendenhall, it included the development of a turf area created by the demolition of two houses on Alpine Drive, adjoining the school property. In November, 1969, the Board of Education approved another addition. The old, Flewelling-designed Kindergarten Building was demolished to make way for a two story

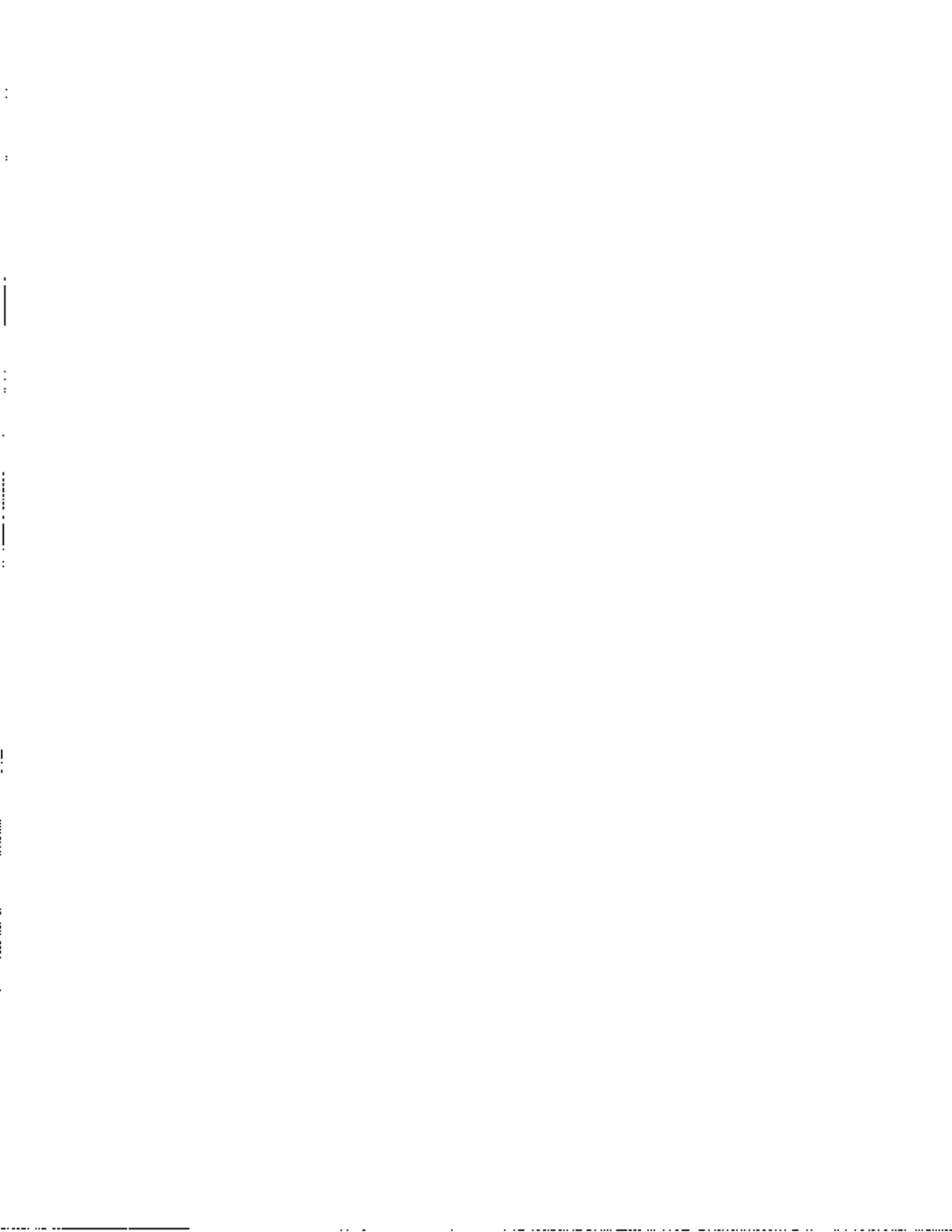
Hawthorne School

HISTORY

Primary Learning Center. Designed by Daniel, Mann, Johnson, and Mendenhall. The project was completed in February 1971. The next change at Hawthorne was the remodeling of the cafeteria. After problems with other architects, the firm of Friedman, Togawa, and Smith were asked to design cafeterias for Hawthorne, Beverly Vista, and El Rodeo. The contract was awarded to Levin construction co. And the remodeling was declared complete on March 24, 1981 at a total cost for all three schools of \$1,208,488.08.

Hawthorne School underwent a modernization in 2001 (parallel to El Rodeo and Horace Mann Schools). In 2004, the playground underwent a complete restoration, including new asphalt paving, concrete work, play equipment and surfacing, and artificial turf installation. In 2007-08, the auditorium and restrooms were modernized and received upgrades.

Recommendations



DRAFT

MASTER PLAN RECOMMENDATIONS

El Rodeo

Issue:

El Rodeo has inadequate interior eating area. Several water intrusion issues exist. The band and choral rooms are still located in portable classrooms. Site security and traffic are major issues.

Recommendation:

- Further investigate the water issues and develop a design solution
- Work with an architect to develop a design for a possible joint use project
- Implement the improvements/additions recommended in the facility assessments and infrastructure reports (after review with site and administration for relevancy)

Funding:

- Additional improvements/modifications will need to be funded through local bonds.
- Some items may qualify for Deferred Maintenance Extreme Hardship

Hawthorne

Issue:

Hawthorne school has some minor upgrades needed. For the most part Hawthorne is in good condition. Due to the date of construction and reconstruction minor upgrades are needed to improve the educational environment for today's programs.

Recommendation:

- Implement the improvements/additions recommended in the facility assessments and infrastructure reports (after review with site and administration for relevancy)

Funding:

- Additional improvements/modifications will need to be funded through local bonds.
- Some items may qualify for Deferred Maintenance Extreme Hardship

Horace Mann

Issue:

Horace Mann underwent several modifications from an addition in 1967 to a modernization in 2000. The addition of the "Rotunda building" in 1967 seems to have created a series of issues due to the design of the structure and its proximity to the existing Building A. Also during the 2000 modernization, it

DRAFT

appears that the contractor involved may have created a fire sprinkler issue that will need to be corrected during any future modernization effort.

The annex or building E has been closed since 2006 due to creosote saturated sleeper beams in the foundation. This building will need to be demolished and a new structure built to replace the 5 classrooms and 2 restrooms within the annex.

This site has a subgrade classroom that is not ADA accessible and has water penetration issues. Indoor air quality should also be examined.

Recommendation:

- Demo annex building and replace with temporary asphalt play area and rest room structure while a permanent solution and funding can be determined.
- Investigate the rotunda building for structural and educational adequacy.
- Work with OPSC and local community to develop a plan for replacement/repair of the rotunda building in conjunction with the annex replacement plan.
- Implement the improvements/additions recommended in the facility assessments and infrastructure reports (after review with site and administration for relevancy)

Funding:

- Horace Mann has OPSC joint use eligibility for partial replacement of the rotunda or annex structure
- Deferred maintenance extreme hardship of facility hardship funding through OPSC as possible demo or replacement funding of all non-conforming space
- Future local bond funds should be considered
- Some items may qualify for Deferred Maintenance Extreme Hardship

Beverly Vista

Issue:

Although the majority of BV has been rebuilt over the past few years, there are several issues that need to be addressed. Many of these issues stem from the design of the E wing and the change in design direction for the north end of the site. There is a deck on the south side of building E that slopes inward toward the building and terminates at an undersized drainage/expansion joint. There are also many other water intrusion and ADA issue present. On the north side of the building there is a "bridge to nowhere" that is the result of a change in design for the site. This is a danger and detracts from the overall flow of the site.

Additionally, BV has a parcel of land on the northwest corner of Charleville directly across from BV. This land should be analyzed for possible revenue generating development.

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Recommendation:

- Conduct further investigation of the water intrusion areas and develop design solutions.
- Develop a design solution for the "bridge to nowhere"
- Begin analysis of teachers parking lot parcel. Implement the improvements/additions recommended in the facility assessments and infrastructure reports (after review with site and administrator for relevancy)

Funding:

- Pursue deferred maintenance funding through OPSC for the water intrusion issues
- Work with the City and local developers to find a revenue generating solution for the teachers parking lot parcel
- Additional improvements/modifications will need to be funded through local bonds.
- Some items may qualify for Deferred Maintenance Extreme Hardship

High School

Issue:

The HS site houses many programs and functions that are not consistent with the operation of the HS and its educational program. These include Moreno HS, Adult Education, District M & O. Additionally the site is small and there is a true shortage of parking and adequate athletic facilities. There are also many small and poorly utilized spaces within the existing buildings. The site is also in need of a comprehensive safety and security plan.

Recommendation:

- Implement the HS master plan as developed by administration and LPA Architects. This should be done in conjunction with the study of the DO and Annex developed by SPGA Architects.
- Phasing for the implementation of the plans should be developed with the priorities established in the master plan.
- Items listed in the assessments and infrastructure reports should be included.

Funding:

- Funding for some improvements/modifications could come from mitigation measures from local developers.
- Additional improvements/modifications will need to be funded through local bonds.
- Possible funding for some additions and demolition of existing facilities may be provided by the State OPSC.
- Some items may qualify for Deferred Maintenance Extreme Hardship

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District Office

Issue:

The current DO space is inadequate and does not allow the proper support to the educational program. This building has received some modification over the years but as the District and its education program moves forward this building is beyond its ability to be reconfigured for the support serves. Additionally, programs such as Adult Education and Morenc HS are still located at the BHHS. These programs should be located other than on the HS campus.

Recommendation:

- Move the District Office functions to a temporary rental space within the BHUSD boundaries. Determine necessary space allocations and negotiate with local building owners for adequate office area.
- Modify the existing DO and annex to support the alternative education functions such as Moreno HS, Adult education, etc. on a temporary basis.
- Work with City and local developers to determine the permanent use of the DO site for a combination of Alternative education and revenue generating components. Possible inclusion of DO in the permanent solution.

Funding:

- Possible developer/District partnership for permanent solution
- Temporary modification to existing space may be funded as part of the HS master plan through a local bond.
- Some items may qualify for Deferred Maintenance Extreme Hardship

Appendix A-
Facilities Inventory



BEVERLY HILLS HIGH SCHOOL 9-12

Fields/Outer Areas	376,567	Building E		Total Students	2135
Total Sq. Ft.	376,567	First Floor	28,873	Male%/Female%	48/52
Building A		Second Floor	25,232	Total Teachers	100
Basement	31,536	Total Sq. Ft.	54,105	Teacher/Student Ratio	1:21
First Floor	83,179			Students Per Grade	
Second Floor	83,032			9th	527
Second Floor (Bridges)	10,722	Building F		10th	578
Second Floor (Parking)	59,963	Basement	15,029	11th	554
Third Floor	69,706	First Floor	20,223	12th	475
Total Sq. Ft.	338,158	Total Sq. Ft.	35,252		

Classrooms

Building B		Building H		Building Built	Dates	OSA No.
Basement	5,211	First Floor	15,163	Building "A"	1970	A28655
First Floor	76,181	Second Floor	7,965	Building "B"	1927	A28655
Second Floor	43,331	Total Sq. Ft.	23,128	Building "C"	1956	A145616
Third Floor	4,984			Building "D"	1959	A18303
Total Sq. Ft.	129,717			Building "E"	1936	A28655
				Building "F"	1939	A2771
				Building "G"	1936	A32756
				Building "H"	2007	A109478

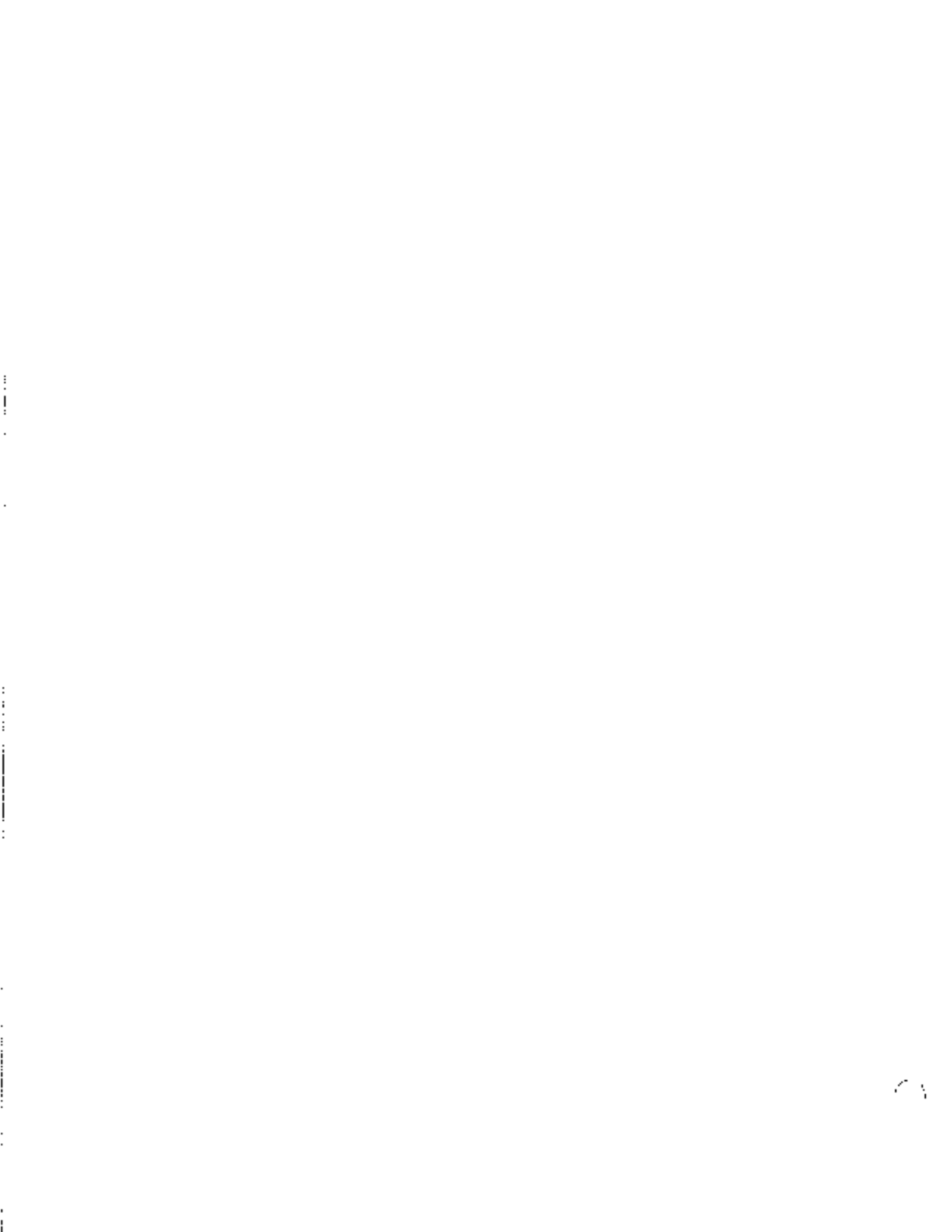
Building C		Building L			
Building	32,068	First Floor	18,212		
Parking & Driveway	1,170	Second Floor	17,315		
Total Sq. Ft.	33,238	Third Floor	17,318		
		Fourth Floor	17,318		
		Total Sq. Ft.	68,163		
Building D					
Building	25,437				
Parking & Driveway	5,786				
Total Sq. Ft.	31,223				

		Trailers			
		Maintenance & Operations	920		
		Planning & Facilities	1,960		
		Classroom 800	920		
		Total Sq. Ft.	3,800		
		Grand Total All Areas	1,083,351		

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BEVERLY HILLS HIGH SCHOOL 9-12

Building A - Basement Floor		Building A - Second Floor		Building A - Third Floor	
Location	Square Feet	Location	Square Feet	Location	Square Feet
Parking (Motorcycle)	1,710	Classroom 250	689	Classroom 359	2,889
Open Area	5,824	Classroom 252	1,994	Classroom 361	1,580
Driveway	2,540	Classroom 253	1,204	Classroom 357	870
Lockers	560	Classroom 255	1,324	Classroom 359	1,110
Offices (Total)	944	Classroom 256	1,228	Classroom 371	960
Restrooms (Total)	155	Classroom 259	2,482	Classroom 375	462
Corridors (Total)	1,747	Classroom 260	2,553	Classroom 382	840
Storage/Janitor/Electrical/Misc. (Total)	6,883	Classroom 262	3,484	Classroom 382	840
Stairs (Public/Private Total)	1,098	Classroom 263	810	Classroom 388	970
Elevator (Existing Elevator Rm Room)	387	Classroom 265	1,660	Kitchen including service prep kitchen, etc.	7,734
Total Square Footage Basement	31,638	Classroom 271	782	Student Dining	5,915
		Classroom 275	840	Staff Dining	2,740
		Classroom 277	840	Faculty Lounge	738
		Classroom 278	1,120	Lounge	720
		Classroom 279	780	Terrace	17,848
		Classroom 280	840	Open To Lower Level	3,740
		Classroom 281	1,500	Plaza/atrium (including offices, storage and lobby)	3,955
		Classroom 282	680	Offices (Total)	450
		Classroom 284	868	Restrooms (Total)	1,558
		Classroom 285	1,590	Corridors (Total)	6,510
		Classroom 286	863	Storage/Janitor/Electrical/Misc. (Total)	4,547
		Classroom 288	862	Stairs (Public/Private Total)	3,406
		Classroom 290	990	Elevator	180
		Classroom 292	868	Total Square Footage Third Floor	69,706
		Classroom 294	837		
		Classroom 296	888	Building A Grand Total	338,158
		Classroom 298	0,532		
		Library (including access)	1,337		
		Countywide	81,20		
		Offices (Total)	1,790		
		Restrooms (Total)	21,188		
		Corridors (Total)	1,666		
		Storage/Janitor/Electrical/Misc. (Total)	2,558		
		Stairs (Public/Private Total)	83,632		
		Total Square Footage Second Floor	83,632		
		Building A - Second Floor Parking	Square Feet		
		Location	58,803		
		Parking (P2)	286		
		Lobby	852		
		Storage/Janitor/Electrical/Misc. (Total)	1,822		
		Stairs (Public/Private Total)	510		
		Elevator			
		Total Square Footage Second Floor Parking	60,273		
		Building A - Second Floor Bridges	Square Feet		
		Location	1,223		
		Bridge (A-25)	1,071		
		Bridge (A-31)			
		Total Square Footage Second Floor Bridges	2,294		
		Building A - Second Floor (Bridge A-30)	Square Feet		
		Location	4,848		
		Offices (Total)	428		
		Restrooms (Total)	7,087		
		Corridors (Total)	388		
		Stairs (Public/Private Total)			
		Total Square Footage Second Floor Bridge A30	5,428		



BEVERLY HILLS HIGH SCHOOL 9-12

Building B - Basement Floor

Location	Square Feet
Dressing Rooms	691
Restrooms (Total)	95
Corridors (Total)	1,103
Storage/Janitor/Electrical/Misc (Total)	3,034
Stairs (Public/Private Total)	289

Total Square Footage Basement

5,211

Building B - First Floor

Location	Square Feet
Classroom 1-1	1,517
Classroom 1-2	1,512
Classroom 1-7	556
Classroom 1-8	759
Classroom 1-9	759
Classroom 1-20	823
Classroom 1-27	897
Classroom 1-23	570
Classroom 1-24	893
Classroom 1-25	930
Classroom 1-28	690
Classroom 1-27	830
Classroom 1-28	602
Classroom 1-29	692
Classroom 1-30	552
Classroom 1-32	644
Classroom 1-70	2,178
Classroom 1-72	770
Classroom 1-74	700
Classroom 1-76	690
Classroom 1-81	805
Classroom 1-82	725
Courtyard	3,813
K.L. Peters Auditorium	13,492
Litke Theater Lecture	4,078
Choral Room	2,256
Stage 17B	2,354
Box Offices	65
Phone Booth	35
Offices (Total)	9,708
Restrooms (Total)	2,452
Corridors (Total)	14,647
Storage/Janitor/Electrical/Misc (Total)	2,202
Stairs (Public/Private Total)	1,772
Elevators (Total)	187

Total Square Footage First Floor

76,191

Building B - Second Floor

Location	Square Feet
Classroom 201	984
Classroom 202	894
Classroom 203	817
Classroom 204	800
Classroom 205	823
Classroom 208	800
Classroom 210	717
Classroom 212	582
Classroom 228	1,142
Classroom 230	725
Classroom 232	690
Classroom 234	709
Classroom 236	540
Classroom 238	336
Classroom 240	693
Classroom 243	783
Classroom 245	1,136
K.L. Peters Auditorium (Balcony Area)	10,380
Offices (Total)	5,463
Restrooms (Total)	268
Corridors (Total)	10,377
Storage/Janitor/Electrical/Misc (Total)	930
Stairs (Public/Private Total)	1,745
Elevators (Total)	88

Total Square Footage Second Floor

43,331

Building B - Third Floor

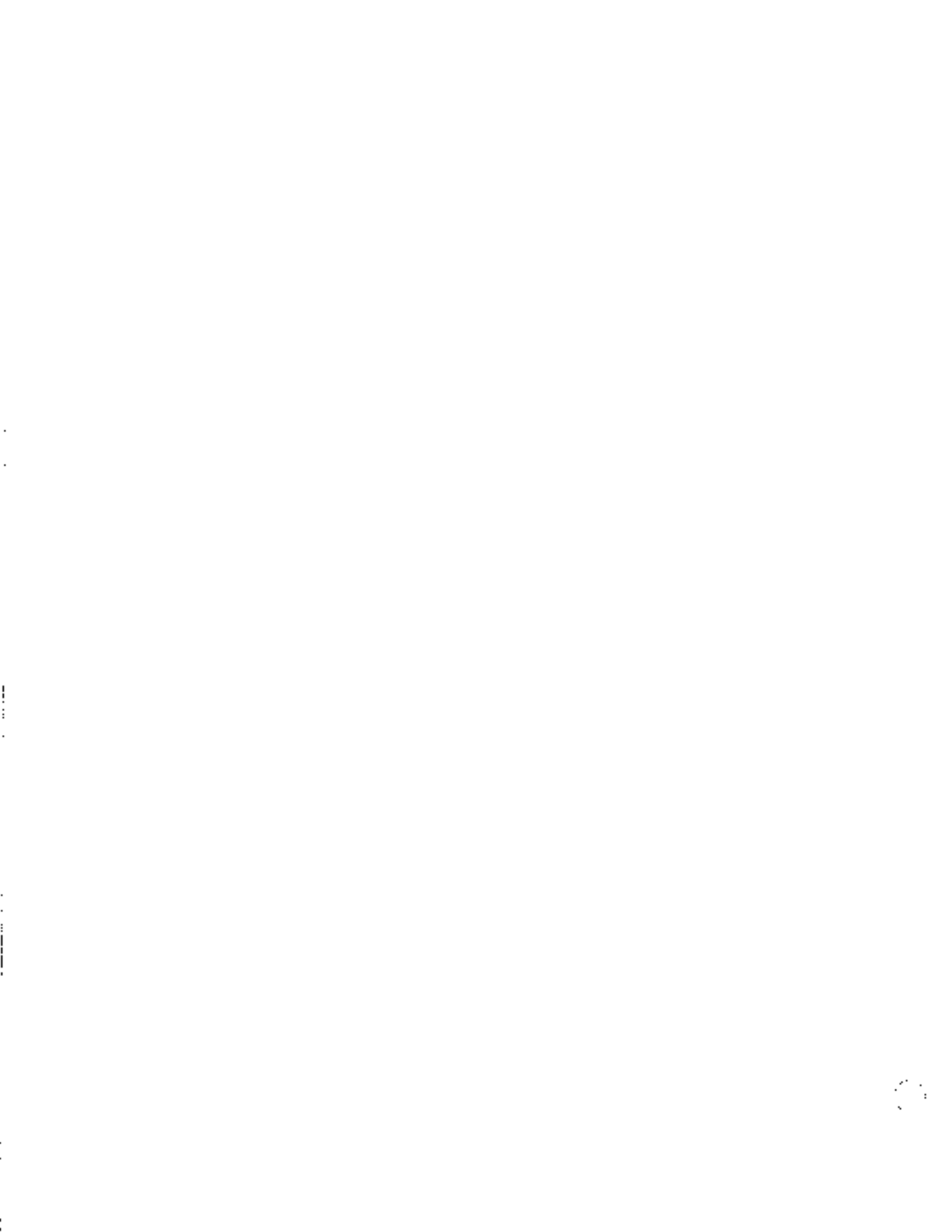
Location	Square Feet
Classroom 300	2,600
Classroom 301	952
Offices (Total)	512
Corridors (Total)	469
Storage/Janitor/Electrical/Misc (Total)	311
Stairs (Public/Private Total)	540

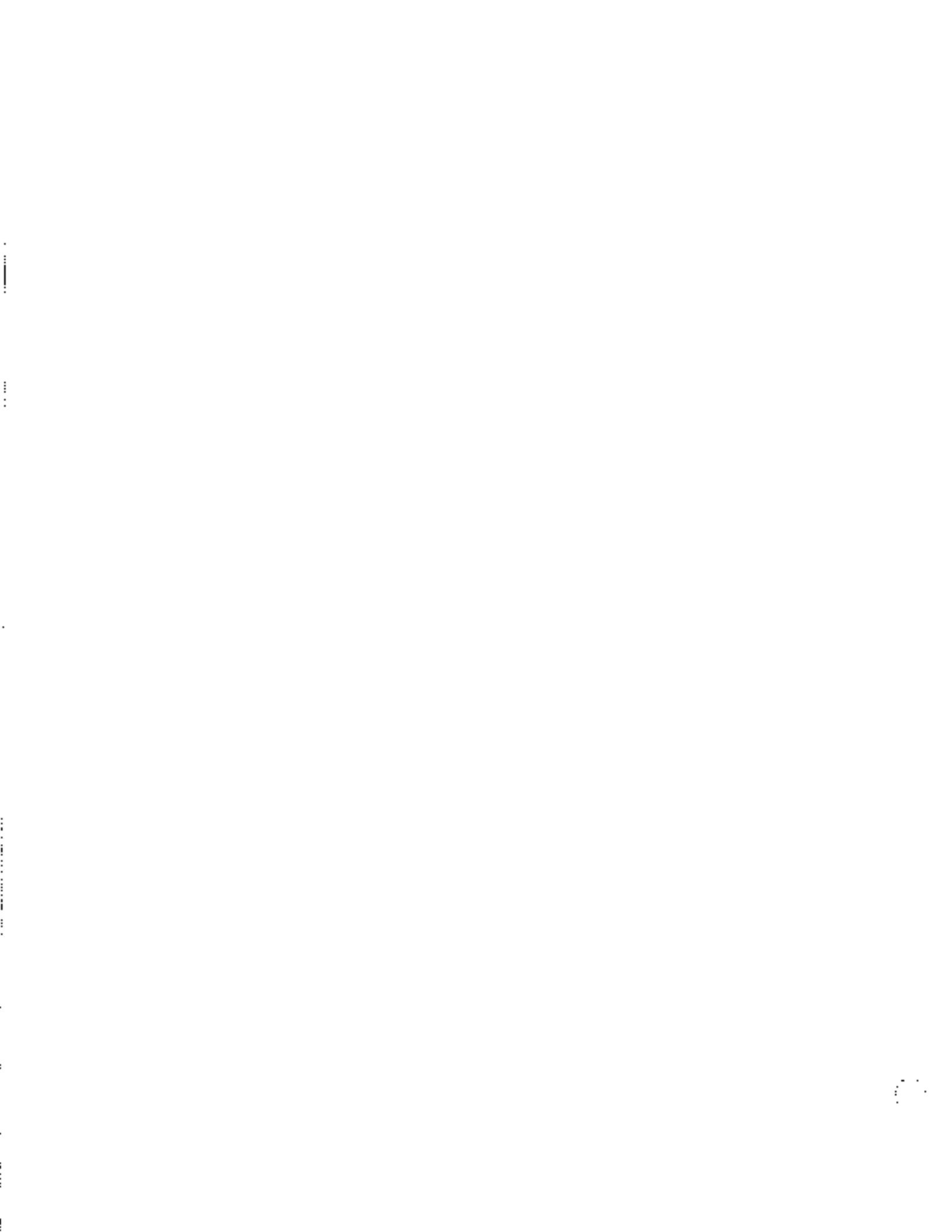
Total Square Footage Third Floor

4,984

Building B Grand Total Square Footage

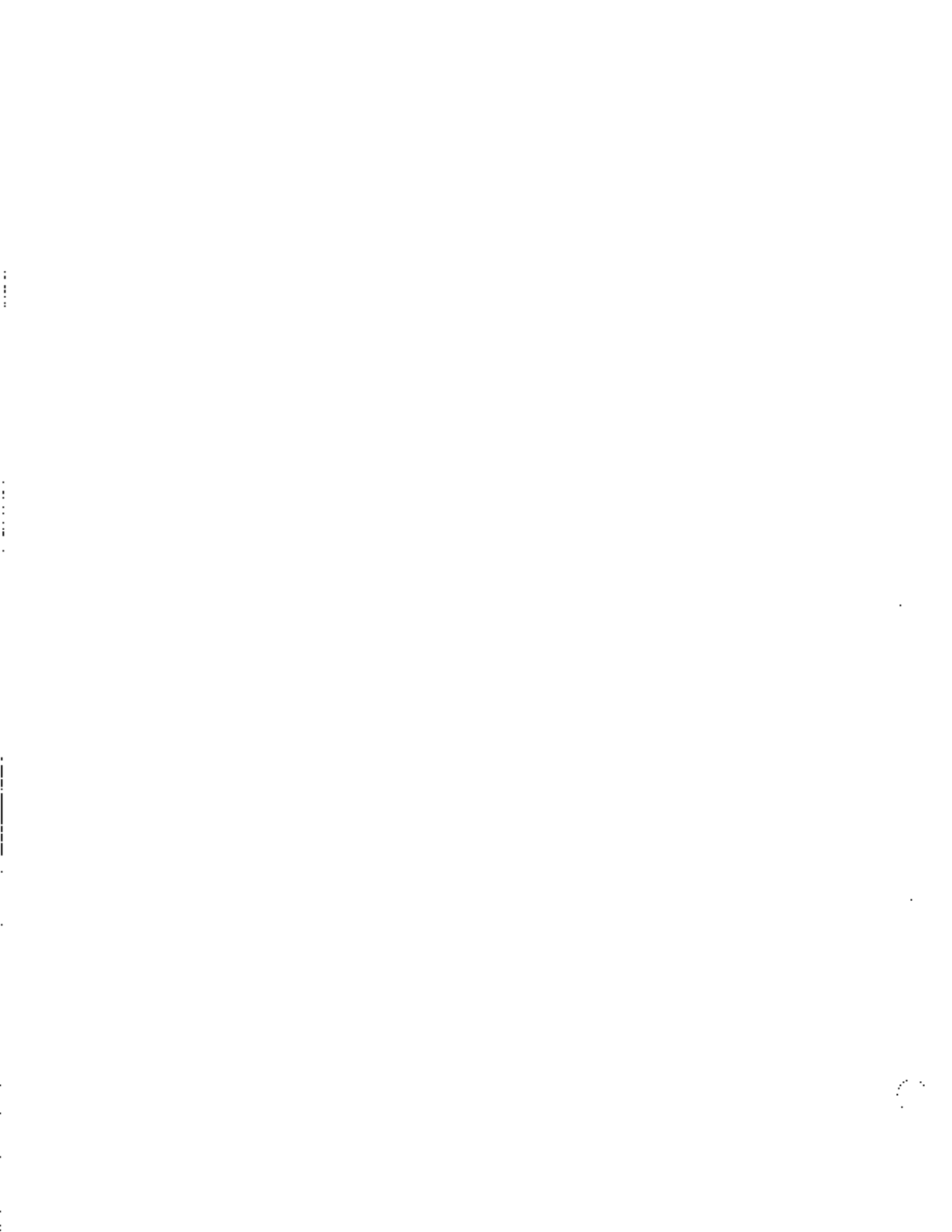
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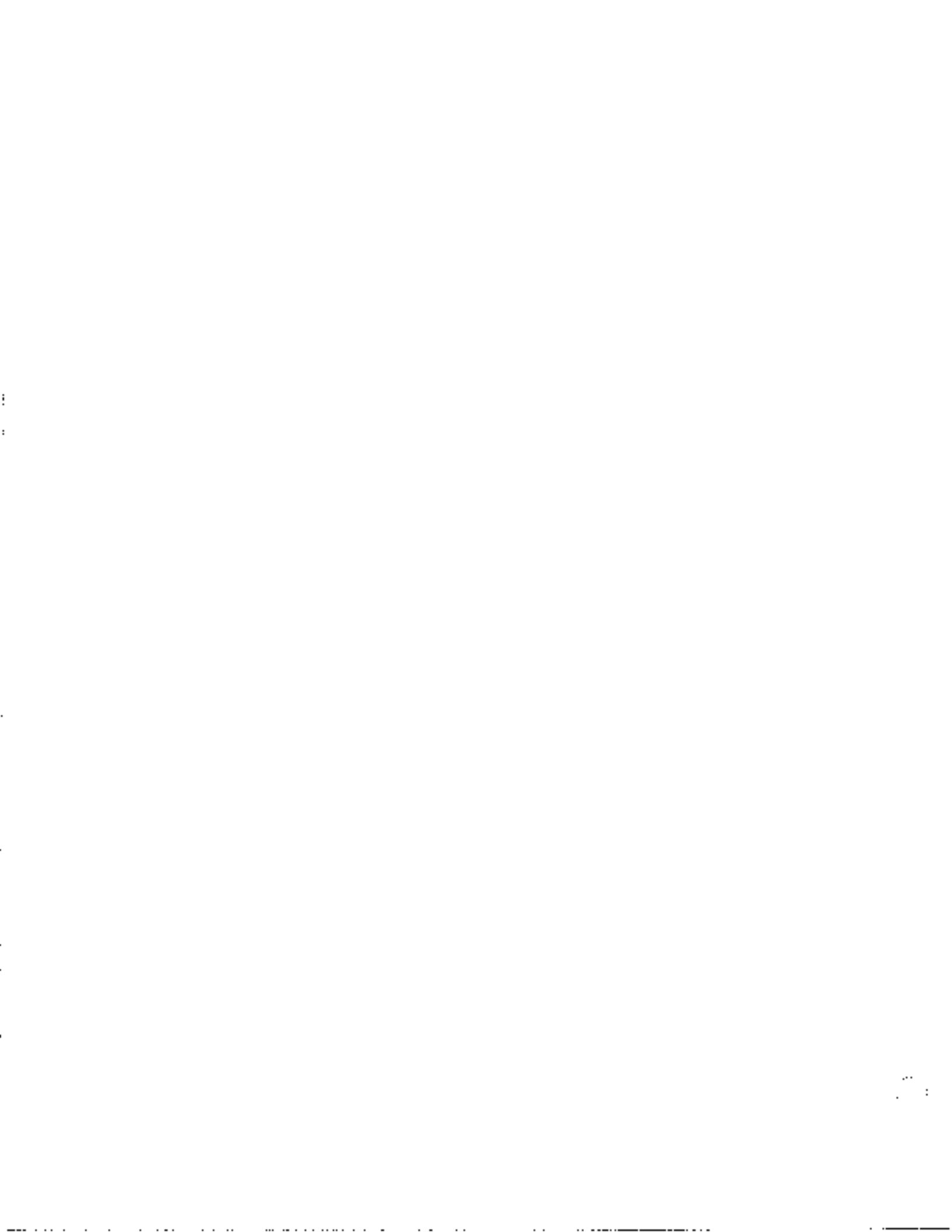
BEVERLY VISTA K-8 SCHOOL

Building B			Total Students	679	
Basement	1,268		Male%/Female%	53/47	
First Floor	16,839		Total Teachers	41	
Second Floor	9,564		Teacher/Student Ratio	1:18	
Total Sq. Ft.	27,671		Students Per Grade		Classrooms
Building C			Kindergarten	40	3
First Floor	12,360		First	57	4
Second Floor	9,632		Second	59	4
			Third	78	4
			Fourth	60	4
			Fifth	83	4
Total Sq. Ft.	21,992		Sixth	112	4
			Seventh	116	4
Building D			Eighth	116	4
First Floor	22,806				
Second Floor	20,108		Building Built	Dates	DSA No.
Third Floor	12,954		Building "B"	2008	
			Building "C"	2001	
Total Sq. Ft.	55,868		Building "D"	2001	
			Building "E"	2001	
Building E					
First Floor	12,473				
Second Floor	11,260				
Total Sq. Ft.	23,733				
Outside Areas	118,692				
Grand Total All Areas	247,956				



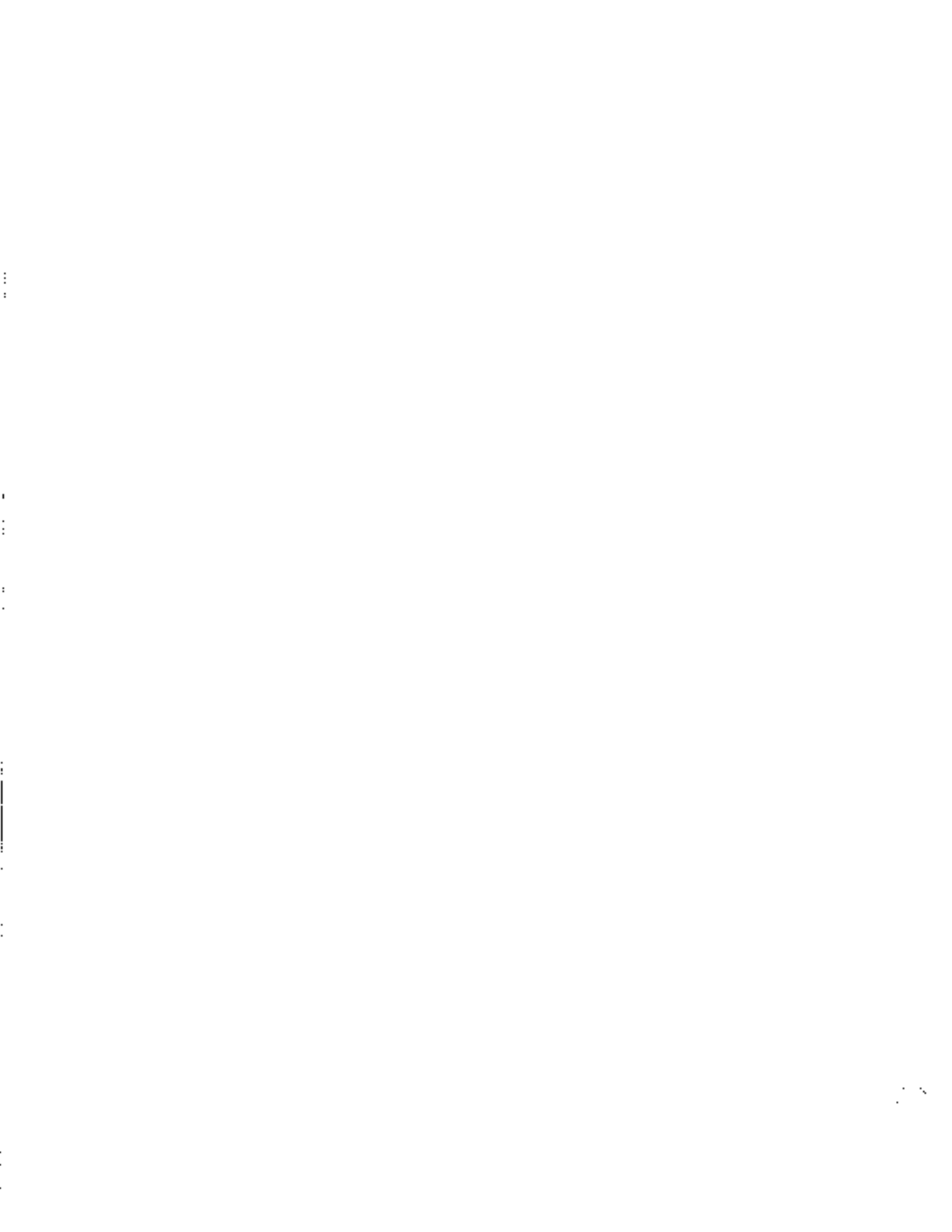
EL RODEO K-8 SCHOOL

Building A			Total Students	785	
Basement	3,113		Male%/Female%	51/49	
First Floor	10,254		Total Teachers	43	
Second Floor	6,160		Teacher/Student Ratio	1:18	
Total Sq. Ft.	19,527		Students Per Grade		Classrooms
Building B			Kindergarten	40	2
First Floor	13,198		First	59	4
			Second	76	4
Total Sq. Ft.	13,198		Third	75	3
			Fourth	86	3
Building C			Fifth	87	3
Basements	12,835		Sixth	111	4
First Floor	13,214		Seventh	117	4
Second Floor	13,024		Eighth	114	4
Third Floor	2,347				
Total Sq. Ft.	41,390		Building Built		Dates
			Building "A"	1927	1927
Building D			Building "B"	1927	A27533
Basement	7,679		Building "C"	'927	
First Floor	6,922		Building "D"	1962	A22744
Second Floor	6,794		Building "E"	1966	A27533
Total Sq. Ft.	21,395				
Building E					
Basement	8,217				
First Floor	6,188				
Second Floor	8,147				
Total Sq. Ft.	24,552				
Outside Areas	159,750				
Grand Total All Areas	289,812				



HAWTHORNE K-8 SCHOOL

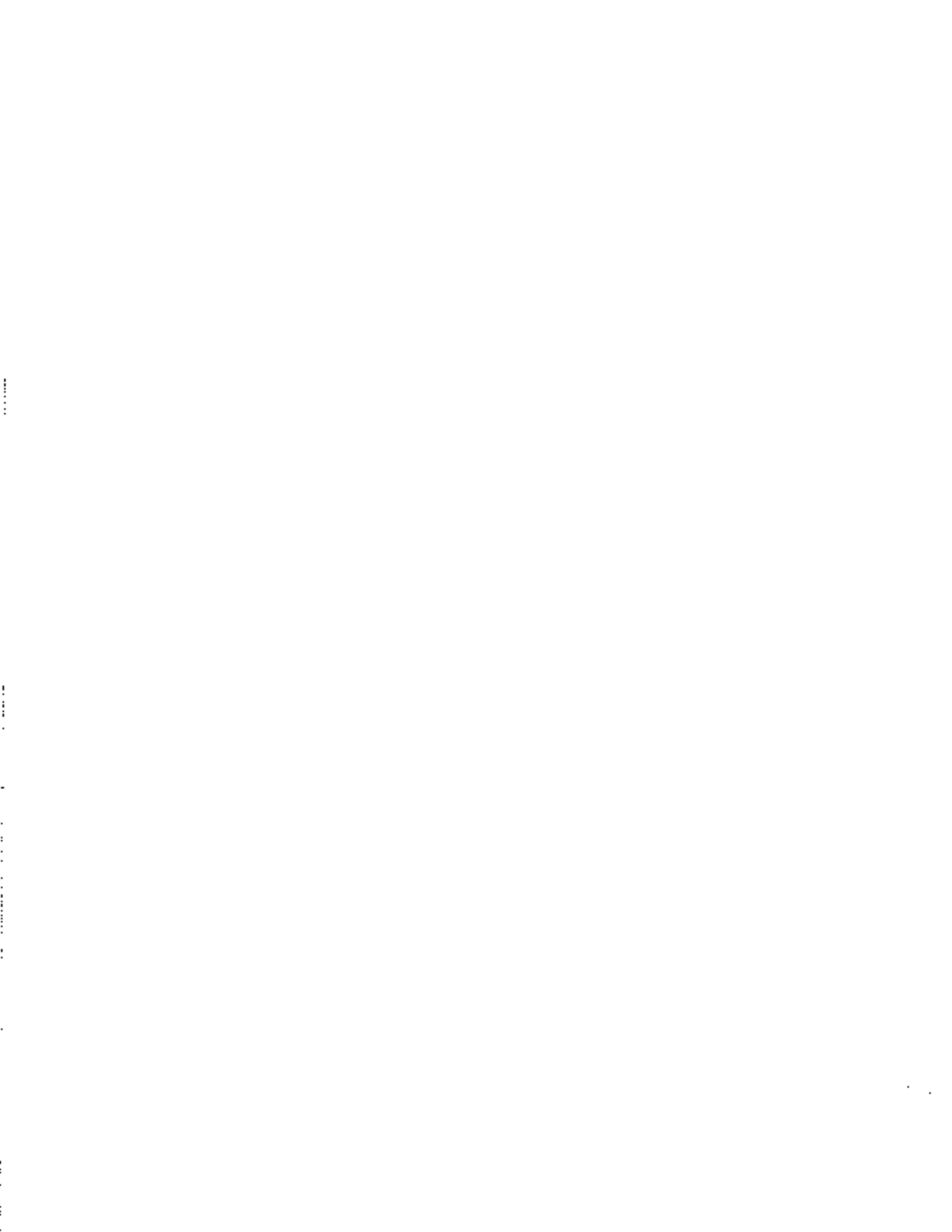
Building A			Building F		Total Students	775
Basement	1,121	First Floor	4,642	Male/Female%	49/51	
Second Floor	28,789	Total Sq. Ft.	4,642	Total Teachers	46	
Total Sq. Ft.	41,421	Building G		Teacher/Student Ratio	1:18	
Building B		First Floor	1,792	Students Per Grade		Classrooms
First Floor	4,303	Total Sq. Ft.	1,792	Kindergarten	57	3
Second Floor	8,180	Building H		First	55	3
Total Sq. Ft.	12,463	First Floor	2,716	Second	75	3
Building C		Total Sq. Ft.	2,716	Third	78	4
First Floor	2,340	Building I		Fourth	82	3
Second Floor	2,416	Total Sq. Ft.	3,353	Fifth	84	3
Total Sq. Ft.	4,726	Building J		Sixth	116	3
Building D		First Floor	3,353	Seventh	114	4
Basement	7,984	Total Sq. Ft.	3,353	Eighth	114	4
First Floor	11,751	Building K				
Second Floor	7,284	Basement	784	Building Built		Dates
Total Sq. Ft.	27,019	First Floor	5,703	Building 'A'	1926	1926
Building E		Second Floor	5,803	Building 'B'	1951	1951
Basement	576	Total Sq. Ft.	12,290	Building 'C'	1960	20181
First Floor	2,152	Outside Areas		Building 'D'	1966	29127
Total Sq. Ft.	2,730	North Lawn	36,000	Building 'E'	1934	494
		North Asphalt Playground	34,920	Building 'F'	1934	755
		South Asphalt Playground	37,800	Building 'G'	1934	755
		Shared Courtyard	4,339	Building 'H'	1960	20181
		Total Square Footage Outside Areas	113,059	Building 'J'	1951	9143
		Grand Total All Areas	226,213	Building 'K'	1969	32374





HORACE MANN K-8 SCHOOL

Building A			Total Students	713	
Basement	2,453		Male%/Female%	53/47	
First Floor	30,519		Total Teachers	45	
Second Floor	8,992		Teacher/Student Ratio	1:16	
Total Sq. Ft.	41,964		Students Per Grade		Classrooms
Building B			Kindergarten	56	3
First Floor	6,081		First	59	3
Second Floor	8,017		Second	59	3
Third Floor	7,337		Third	57	3
Total Sq. Ft.	21,435		Fourth	85	3
			Fifth	85	3
Building C			Sixth	85	3
Basement	2,520		Seventh	112	4
First Floor	8,422		Eighth	114	4
Total Sq. Ft.	10,942				
			Building Built		Dates
Building D			Building "A"	1929	A369
First Floor	39,284		Building "B"	1968	A27460
Second Floor	41,790		Building "C"	1937	A1971
Total Sq. Ft.	31,084		Building "D"	1974	A37361
			Building "E"	1934	A452
Building E					
First Floor	6,773				
Total Sq. Ft.	6,773				
Outside Areas	108,355				
Grand Total All Areas	220,553				



ADMINISTRATION OFFICES AND ADULT SCHOOL (ANNEX)

Building N1
Basement 819
First Floor 10,301
Second Floor 2,381
Total Sq. Ft. 13,501

Building N2
First Floor 13,884
Second Floor 8,506
Third Floor 6,295
Roof 1,380

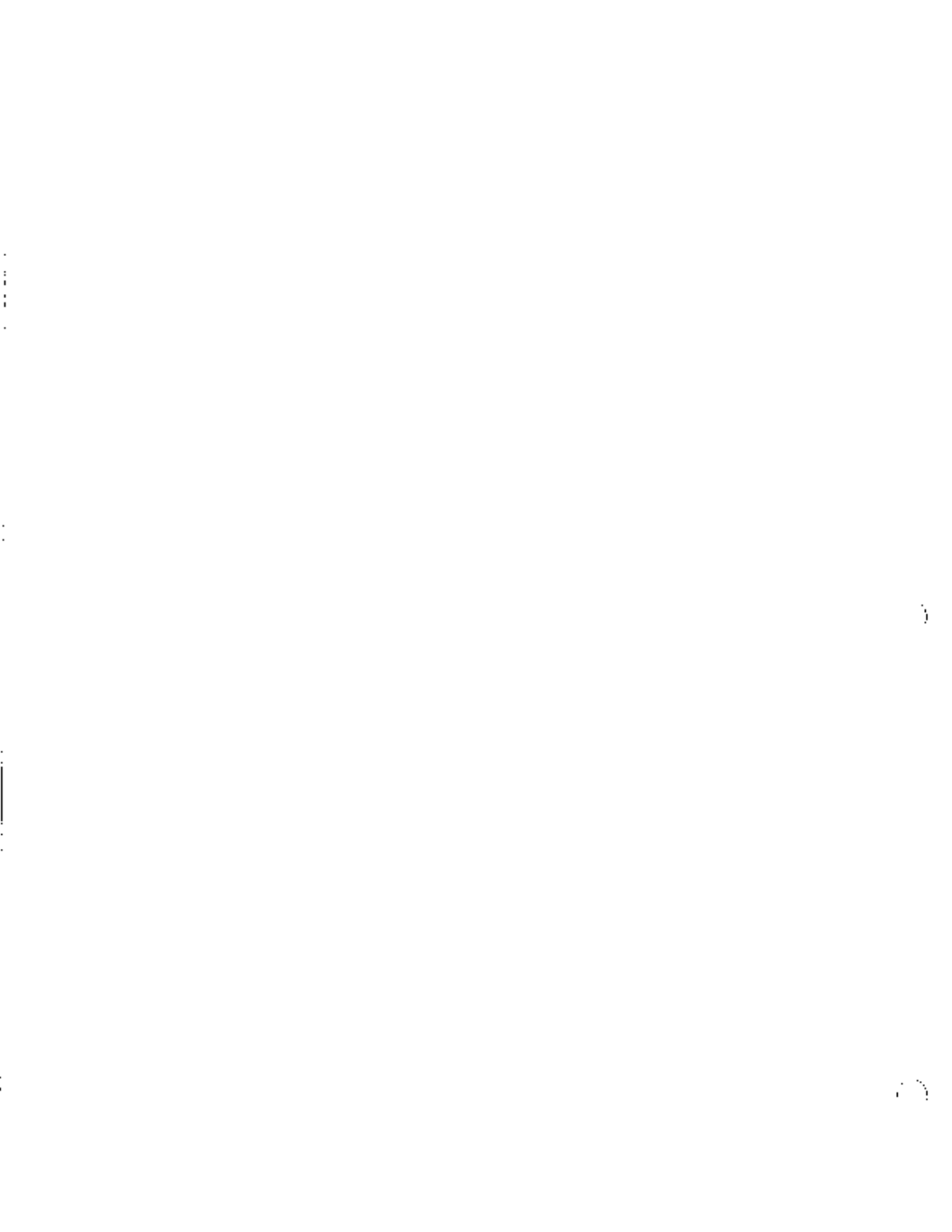
Total Sq. Ft. 28,105

Grand Total 41,606

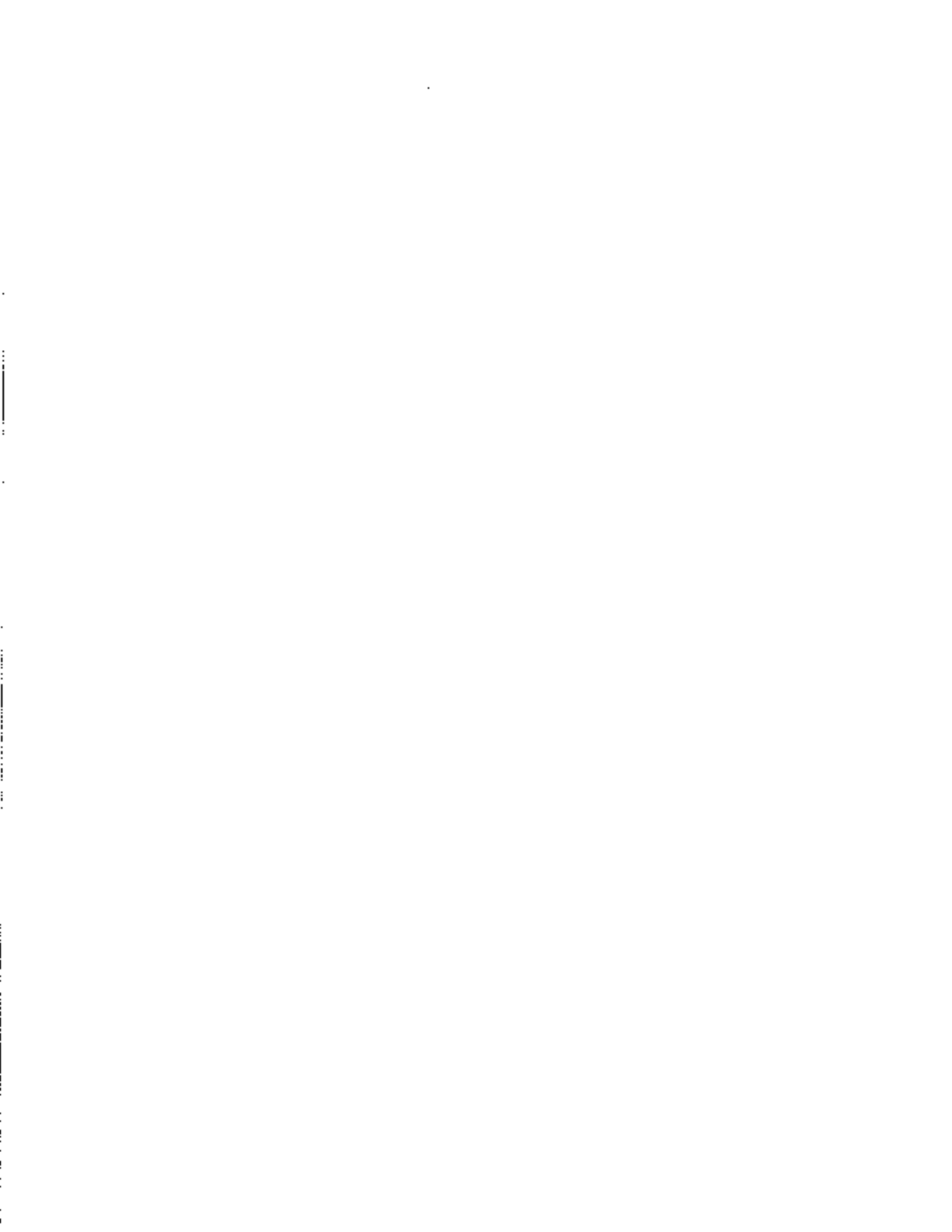
Building Built	Dates	DSA No.
Building N1	1970	A32757
Building N2	1962	A21463

ADMINISTRATION - ADULT SCHOOL

Building N1 - Basement Floor			
Location	Building N2 - First Floor	Square Feet	Square Feet
Storage	Parking (Total)	819	12,264
	Offices (Total)		350
Total Square Footage Basement	Storage/Janitor/Electrical/Misc (Total)	819	619
	Elevator		57
	Stairs (Total)		203
	Corridors and Lobbys		351
	Total Square Footage First Floor		13,884
Building N1 - First Floor			
Location	Building N2 - Second Floor		
Offices (Total)	Location	Square Feet	Square Feet
Storage/Janitor/Electrical/Misc (Total)	Classroom 207	4,986	500
Restrooms (Total)	Classroom 208	1,022	196
Stairs (Total)	Classroom 211	224	202
Corridors and Lobbys	Offices (Total)	153	4,499
	Storage/Janitor/Electrical/Misc (Total)	3,955	56
Total Square Footage First Floor	Restrooms (Total)	10,301	57
	Elevator		67
	Stairs (Total)		268
	Corridors and Lobbys		621
	Total Square Footage Second Floor		6,566
Building N1 - Second Floor			
Location	Building N2 - Third Floor		
Offices (Total)	Location	Square Feet	Square Feet
Storage/Janitor/Electrical/Misc (Total)	Classroom A30	1,767	2,463
Restrooms (Total)	Classroom A30A	22	189
Stairs (Total)	Offices (Total)	28	2,205
Corridors and Lobbys	Storage/Janitor/Electrical/Misc (Total)	190	60
	Restrooms (Total)	374	306
	Elevator		67
	Stairs (Total)		268
	Corridors and Lobbys		503
Total Square Footage Second Floor	Total Square Footage Third Floor		6,295
Grand Total All Areas	Building N2 - Roof		
	Location	Square Feet	Square Feet
	Storage/Janitor/Electrical/Misc (Total)	41,605.00	1,159
	Stairs (Total)		171
	Total Square Footage Roof		1,380.00
	Grand Total Square Footage Building "N2"		28,105.00



Appendix A-
ADA/Facilities
Assessments





CHICAGO BRUNSO
 Project: Beverly Vista ADA Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Renee A. Casella

ADA ASSESSMENT
 Priority Descriptions:

- 1) Immediate modification is recommended.
- 2) Modification should occur within one year or at next construction period.
- 3) Modification should occur within 2-5 years.
- 4) Modification recommended for added safety and convenience of disabled.

New assessment in bold and italics

Building/Room/Area	Item	Comments/Details	Priority	Priority 1 Cost Estimate	Priority 2 Cost Estimate	Priority 3 Cost Estimate	Priority 4 Cost Estimate
BLOG B	1	The entrance to room 202 balcony needs ADA accessible signage	2				
	2	The railing in this is only 27". Is this correct?	1				
	3	No ADA signage	2				
	3	No ADA signage on either the interior or exterior entrance doors.	2				
	3	No ADA signage	2				
BLOG C	3	Handrail not ADA compliant	1				
	3	Phone badge and entrance height is high for ADA	2				
	3	The threshold has a 3" to 4" step and is not ADA compliant.	2				
	3	The threshold has a 3" to 4" step and is not ADA compliant	2				
	3	The walkway leading to the trash area has a 2" step and is a trip hazard.	2				
BLOG D	3	Reception desk appears to be ADA-compliant	2				
	3	Vending machines height is high	2				
	3	Storage height is higher ADA	2				
	3	The 3 doors for the showers are only 28" wide and not ADA accessible.	1				
	3	Entrance door to locker room is not ADA compliant and too small for the amount of students going in and out.	1				
KINDER	3	Entrances door to locker room is not ADA compliant.	1				
	3	Entrance door to locker room is not ADA compliant.	1				
	3	Handrails to be installed in this is not available	2				
	3	Grate height of the quality cabinet	2				
	3	Restrooms appear to be accessible however height may not be correct for under-partner size children	2				
KINDER	3	Handrails to be installed in this is not available	2				
	3	Lockers heights are not for adults	2				
	3	Handrails to be installed in this is not available	2				
	3	Handrails to be installed in this is not available	2				
	3	Handrails to be installed in this is not available	2				



Client: BHUSO
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/26/09
 Completed By: Rene A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:
 1) Acoustic Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 5) Fire Life Safety

New Assessment in bold and Italics

Building/Room/Area	Item	Adequate	Upgrade	Needs Replacement	Comments/Details
Southeast Entrance Door	1, 6			X	The hardware on the door is broken. This could be a warranty issue.
	1, 6			X	The hardware on the door is broken. This could be a warranty issue.
Northeast Entrance Door	1		X		The boards that were placed on the stage are coming off and are a trip hazard.
	1		X		Some of the screws are also starting to stick out as well.
	1		X		The microphone inputs that were placed on the floor of the stage are not flush when in use and causes the cables to stick out causing a trip hazard.
Auditorium Stage	1		X		The face plates have become loose.
Auditorium South Wall	1		X		The round window closest to the stage is either missing the curtain that is suppose to cover it when needed or if it was installed, is not working.
Room 209	6		X		The door was installed without a handle on the outside. Door can only be opened from inside of the classroom. Safety hazard.
Corridor 211	1			X	Tile outside of door 207 in corridor needs to be replaced.
	5			X	Power outlets need face plates to cover them when not in use.
	5		X		No emergency lighting throughout the corridors on both levels on the center and east sides of the building.
Choir Room 103	1		X		Door was suppose to allow for the movement of a piano from the choir room to the stage and vice versa. Due to the door hardware, it will not allow the piano to fit through the doorway.
	1		X		No water pressure for sink in room.
	1		X		Carpet has stains.
Stage Door 103	1		X		Door was suppose to allow for the movement of a piano from the choir room to the stage and vice versa. Due to the door hardware, it will not allow the piano to fit through the doorway. Door does not close completely.
Corridor 117	1		X		Water damage on wear wall above Kinder cubby holes.



GENL. BUUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rene A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:
 1) Aesthetic Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
All Restrooms in Bldg B	1			X	The surface of the floors looks unfinished. Lower trim was left off as if she was going to be added.
	1, 5			X	Needs more 120V outlets and ethernet outlets. Teachers using power cords that kids can trip over or stick fingers into.
	1, 5			X	Needs more 120V outlets and ethernet outlets. Teachers using power cords that kids can trip over or stick fingers into.
	1, 5			X	Needs more 120V outlets and ethernet outlets. Teachers using power cords that kids can trip over or stick fingers into.
	1, 5			X	Rear door has not had the locking mechanism installed.
Playground Gates	1, 5		X		The kindergarten gates still have the construction locks on them and are missing the cylinders on the push bars.
	1, 5		X		There is a constant static sound emanating from the speakers throughout the building. Volume has been turned down all the way to eliminate the sound but now means the building does not hear the announcements.
Public Address System	1, 5		X		The wood chips used in the landscape around the kindergarten gates fall into the drains and clog them up.
Landscape Kinder Gates	5			X	During heavy rains, this area floods due to the three drain spouts all draining out onto the breezeway.
Breezeway Between "B" & "C"	1			X	The wall on bldg. "C" was left unfinished.
Breezeway Between "B" & "D"	1				Gate was removed but the metal attachments were left on.
Roof	1, 2		X		Drains on the roof drain onto the roof itself and will cause it to erode.
	1, 2		X		Seismic joint along the roof needs protection from being stepped on.
Bldg C	1		X		The corridor between buildings "C" & "D" has a access panel missing on the ceiling.
	1, 5			X	All the lights are out. (Principle informed me that they can not access the ballast due to the way they were installed.)
	5		X		No strobe on the Fire Alarm.
	1		X		Walls and doors need to be repainted.



Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/10/08
 Completed By: Ron A. Cealillo

FACILITY ASSESSMENT (PHYSICAL)

General & the review:

- 1) Aesthetic Needed
- 2) Structural Needed
- 3) ADA Review Needed
- 4) HAZMAT Review Needed.
- 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Adequate	Upgrade	Needs Replacement	Comments/Details
Bldg "C" 1st Floor Interior Corridor	1, 5			X	There are 120V power outlets that are exposed in the corridor.
	1, 5			X	Lighting needs replacement
	1		X		Carpet stains.
	5			X	Sprinkler head above entrance door needs to be fixed.
	1, 5			X	All the lights are out. (Principle informed me that they can not access the ballast due to the way they were installed.)
	6		X		No strobe on the Fire Alarm.
Bldg "C" 2nd Floor Exterior South Corridor	1		X		Walls and doors need to be repainted.
	1, 5			X	There are 120V power outlets that are exposed in the corridor.
	1, 5			X	Lighting needs replacement
	5		X		The security feature on the double doors was not replaced by R&S as it was supposed to be. They threw out the security hinge that use to be on it and replaced it with a cable that attaches to the door hardware. This trim was also never replaced along the
	1			X	The trim at the bottom next to the double doors was never replaced.
	1, 5			X	The two junction boxes above the doors do not have face plates on them and are exposed.
Bldg D	1		X		Patch and repaint including floors.
	1, 5		X		Administration desks need rerouting of power and ethernet cords. One has a carpet laying over it the other is exposed and is a trip hazard.
	1, 5			X	Rear counter needs more 120V outlets and ethernet outlets
	1		X		Patch and paint
	1		X		Patch and paint
	1		X		Tile has water damage.



Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/09
 Completed By: Reno A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General info review:
 1) Aesthetic Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 6) Fire/Life Safety

May assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
Mailroom	1		X		Corridor needs patch and paint.
	1, 5			X	Needs more 120V outlets.
Principle's Office	1		X		No fire alarm or strobe.
Principle's Conference Room	1, 5			X	Needs more 120V outlets.
	1		X		Patch and paint.
Counselor's Office	5		X		No fire alarm or strobe.
Psychologist/Counselor's Office	1		X		Carpet stained.
	5		X		No fire alarm or strobe.
	1		X		Needs new table top.
Deafblind Room	5		X		No fire alarm or strobe.
	1		X		Patch and paint.
Asst. Principle's Office	5		X		No fire alarm or strobe.
	1		X		Patch and paint.
Nurse's Office	1			X	Sink fixtures need to be replaced.
	1		X		Patch and paint.
	1		X		Base trim needs to be fixed.
	5		X		No fire alarm or strobe.
Treatment Room 1	1		X		No exterior label for room.
	1		X		Patch and paint.
	5		X		No fire alarm or strobe.
Treatment Room 2	1		X		No exterior label for room.



Client: BMUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rene A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:
 1) Aesthetic Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
	1		X		Patch and paint.
	1		X		No exterior label for room.
Treatment Room 3	1		X		Ceiling tile damaged.
Nurse Bathroom	1		X		Needs light cover.
	1		X		Patch and paint.
Janitor Room	1		X		Floor needs to be refinished.
	1		X		Crack on wall of corridor.
Corridor	1, 5			X	Sprinkler needs to be fixed.
	1		X		Patch and paint.
	5		X		No fire alarm or strobe.
Psychologist Office	1		X		Door drags to close.
	1		X		No label on exterior.
	1		X		Patch and paint.
	1, 5			X	Sprinkler needs to be fixed.
Faculty Bathroom 1	1		X		Toilet dispenser cover is missing.
Faculty Bathroom 2	1		X		Toilet dispenser cover is missing.
	1		X		Patch and paint.
Speech Room	5		X		No fire alarm or strobe.
	1		X		Patch and paint.
PTA Room	5		X		No fire alarm or strobe.
	1		X		Patch and paint.



Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rene A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:
 1) Asbestos Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed.
 5) Fire/Life Safety

New assessment in bold and Italics

Building/Room/Area	Item	Needs		Comments/Details
		Adequate	Upgrade	
	5		X	Grill covering A/C vent damaged.
Facility Lounge	1		X	Kitchen area needs patch and paint.
	1		X	Light enclosure needs to be fixed.
	1		X	Refinish floor.
Electrical Room	1		X	Patch and paint.
	1		X	Base board behind door needs to be fixed.
Workroom/Resources	5		X	No fire alarm or strobe.
Storage 1	6		X	No fire alarm or strobe.
Storage 2	1, 5			Door lock is damaged.
	1		X	Lights are out.
Northeast Corridor 1st Floor	6		X	No emergency lighting in corridor.
	1, 5		X	Water damage to sprinkler.
Amphitheater	6		X	Need railings on both sets of stairs leading to lower court yard
	1		X	Trim plate is missing on the light switch/photo cell.
Janitor D-149	1		X	Dryer vent needs a bouver on the exterior wall.
	1		X	Rusted vent-lover-on-ceiling-needs replacing
Electrical D-146	1		X	Ratch-and-repeat-walls.
	1		X	Clean and reseal the floor.
Trash Area Corridor	1		X	There is no A/C in this room and gets very hot inside
	5		X	No fire extinguisher. If one is needed, it may need to be placed on the outside due to the transformer that is inside of the room
	1		X	The sluice in the breezeway is cracked



FACILITY ASSESSMENT (PHYSICAL)

Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Ramo A. Castillo

General site review:

- 1) Aesthetic Needed
- 2) Structural Needed
- 3) ADA Review Needed
- 4) HAZMAT Review Needed
- 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
Trash Access Gate	1, 5			X	The hardware on the access gate to the trash area needs to be replaced or fixed.
	5		X		Railing along the rear loading entrance is rusting where it meets the concrete.
	1			X	Door handle leading from the serving area to the kitchen is broken.
	1			X	One of the columns has a hole in it.
	1, 6			X	One of the windows facing the atrium is broken.
	1, 6		X		Kitchen door to loading dock does not have a panic device on it.
Cafeteria	1			X	Storage 142—OK
	1, 5		X		Room has been converted into a classroom and will remain as one. There is no panic hardware devices on the doors.
Faculty Dining D-150	1		X		The left side columns along the breezeway expansion of the entrance have water damage to them. The area never dries up and the columns show water has seeped through.
	1		X		The expansion joint at the breezeway expansion of the entrance has a bulge where there is water damage.
	1, 5		X		A section for a bridge to connect buildings "D" and "B" was started but due to funding never completed. Now there is a bridge to nowhere that has to be blocked off with a fence.
School Entrance	1		X		Stairway from the 2nd floor of building "D" to lower courtyard leading to building "B" has a path a travel that requires students to take a longer route to their classes. Adding a few steps at the end to the landing and putting railing on the sides would
	1, 5		X		Steps leading to the main office need new skid resistant tape
	1, 5		X		Steps leading to the atrium need new skid resistant tape
School Entrance	1		X		Railing along the entrance breezeway needs to be repainted.
	1		X		The Techdome ceiling tiles on the second level of the southend of the building "D" need to be vacuumed.
	1		X		Floors needs to be refinished.



Client: BHSUD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: René A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General Info review:
 1) Acoustic Noised
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
2nd Floor Corridors	1, 5		X		Stucco walls on all exterior walls of the building need repatching and repainting.
	1, 5		X		Missing railing on wall separating elevator lobby and corridor.
Northeast Corridor 2nd Floor	1, 5			X	The gate is falling off of it's hinges.
Classroom D-228	5			X	Sprinkler needs to be fixed.
Central Stairwell	1		X		Rails need to be repainted.
2nd Floor Faculty Restrooms	1, 5			X	There are no locks on the restroom doors.
Classroom D-212	1, 5			X	Needs more 120V outlets.
Classroom D-226	1			X	Needs a lot of 120V and ethernet outlets. Currently connecting a lot of computers with power cords.
Library	1				Ceiling-tiles need to be replaced
Library Office	1, 5			X	Rear counter needs more 120V outlets and ethernet outlets
Classroom D-301	1, 5			X	Rear counter needs more 120V outlets and ethernet outlets
	1		X		Patch and paint.
Classroom D-302	5		X		No strobe on fire alarm.
	1		X		Patch and paint.
Classroom D-303	5		X		No strobe on fire alarm.
	1		X		Patch and paint.
Classroom D-304	5		X		No strobe on fire alarm.
	1		X		Patch and paint.
Classroom D-305	5		X		No strobe on fire alarm.
	1		X		Could not enter this room. Computer lab.
	1		X		Patch and paint.



Client: BHUSD
Project: Beverly Vista Facility Assessment
Site: Beverly Vista
Assessment Date: 07/03/08
Completed By: Rene A. Casillo

FACILITY ASSESSMENT (PHYSICAL)

General site review:

- 1) Acoustic Needed
- 2) Structural Needed
- 3) ADA Review Needed
- 4) HAZMAT Review Needed.
- 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
Classroom D-308	5		X		No strobe on fire alarm.
	1		X		Patch and paint.
	5		X		No strobe on fire alarm.
	1		X		Patch and paint.
	5		X		No strobe on fire alarm.
Classroom D-319	1		X		Patch and paint.
	5		X		No strobe on fire alarm.
Classroom D-320	1		X		Patch and paint.
	5		X		No strobe on fire alarm.
Room D-308	1		X		The air handlers in this room cause things to fly off desks and cabinets due to the vacuum that is caused whenever the door is opened.
	5		X		No fire alarm or strobe.
Janitor D-315	5			X	Sprinkler is being blocked by a metal shelf.
	6		X		Door does not close on it's own.
3rd Floor Boy's Restroom	1, 5		X		One of the sinks is not working.
	1		X		Soap dispensers were placed on the mirrors as opposed to the wall.
3rd Floor Girl's Restroom	1		X		Door cover is missing.
	1		X		Soap dispensers were placed on the mirrors as opposed to the wall.
3rd Floor Corridor (D-305 to D-307)	1, 5			X	The classroom corridor on the east end of the third floor is very dark. Most of the lights are out and the ballast can't be replaced because they have been installed in a way that they can not remove them.
	1		X		Stucco wall is cracked and needs repair.
	1			X	Ceiling adjacent to skylights has water damage.



Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Ron A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:
 1) Asahiabe Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed.
 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
Atrium	1		X		Plaster walls have water damage and cracks
	1		X		Water damage superficial at plaster
	1, 2			X	Cracks at expansion joint.
	6			X	Need exit signs.
	1		X		Acoustic ceiling tiles need to be repaired
	1			X	Ceiling tile damaged.
Room E-110 Multipurpose	1		X		There is damage to the folding partitions.
	1, 4			X	Verify whether flooring contains vinyl asbestos tile (VAT).
	1			X	Ceiling tile also water damaged.
	1		X		Walls need to be repainted
	1, 4, 5			X	Ceiling access panel is missing.
Storage E-106	1, 4, 6			X	Electrical panel cover is missing.
	1		X		Light not working (missing bulbs)
	1			X	Tile base is damaged as well as around shower areas.
	1, 5			X	Metal lockers are damaged. Some of the tops are flid off and have exposed edges
	1			X	Showers are used for storage and are not accessible. (Principle would like to have the area re-done to allow for more and better lockers to be installed instead.
1			X	Concrete floor is cracked and spalled.	
1		X		Walls need to be repainted	
1		X		Water-Bathroom could not be observed	
1		X		<i>Partition doors in the bathroom need to be readjusted.</i>	



Client: BNUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rene A. Castillo

FACILITY ASSESSMENT (PHYSICAL)
 General Site Review
 1) Aesthetic Needed
 2) Structural Needed
 3) ADA Review Needed
 4) HAZMAT Review Needed
 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs		Comments/Details
		Adequate	Upgrade Replacement	
Girls Locker E-124	1		X	Missing trash container on wall mount.
	1		X	Missing soap dispenser.
	1		X	There is no HVAC.
	4		X	Tile could be an asbestos type.
Office E-107	1		X	Door to bathroom needs to be replaced.
	5		X	Exposed wiring above entrance door.
	5		X	Thermostat is exposed.
	1		X	There is no HVAC.
	1		X	Light cover is falling.
Storage E-111	1		X	Ceiling tile has water damage.
	5		X	Electric trim plate is missing.
	1		X	Walls are water stained.
	5		X	Smoke detector is damaged.
	1		X	Concrete floor needs cleaning and resealing.
Electrical E-114	1		X	Ceiling access panel is missing.
	5		X	Light fixture lens has water damage.
Boys Locker E-115	1		X	Needs painting.
	5		X	Needs fire extinguisher.
	1		X	Light fixture covers are missing.
	1			Showers are used for storage and are not accessible. Principals would like to have the area re-done to allow for more and better lockers to be installed instead.



Client: GHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rene A. Capitillo

FACILITY ASSESSMENT (PHYSICAL)
 General site review:

- 1) Aesthetics Needed
- 2) Structural Needed
- 3) ADA Review Needed
- 4) HAZMAT Review Needed.
- 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
	5			X	Metal lockers are damaged. Some of the tops are lifted off and have exposed edges. Some of the lockers look to have been bashed in.
	1		X		Toilet Partitions need to be repaired.
	1		X		Water damage on the walls causing peeling paint.
	1		X		There is no HVAC.
	1		X		Light fixture lens is discolored
	1		X		Light fixture lens missing
	4			X	Possible asbestos vinyl tile.
	1		X		Bathroom needs wall repair at pocket door.
	1		X		Shower is used for storage.
	5			X	Termosafe is exposed and not working.
Office E-115	1		X		There is no HVAC.
1st Floor South Corridor	1, 5		X		There is a constant static sound emanating from the speakers throughout the building. This began when the new system of building B was connected with the system throughout the rest of the school.
	1		X		Expansion joint needs repair.
	1		X		Patio deck slopes to the joint expansion.
2nd Floor Patio	1		X		Water leaks from the patio into the Atrium and room E-204 below.
Elementary Student Play Area	1		X		One of the islands is shaped in a way that water collects in the center and does not drain anywhere.
Basketball Courts	1		X		The courts are sloped and provide an uneven running area.
	1, 5		X		Has a lot of cracks in which grass and weeds are growing out of. It has become a trip hazard.
Asphalt Field	1, 5			X	The hardware on the gate of the west side of the field is broken. Needs to be fixed or replaced.

Play



FACILITY ASSESSMENT (PHYSICAL)

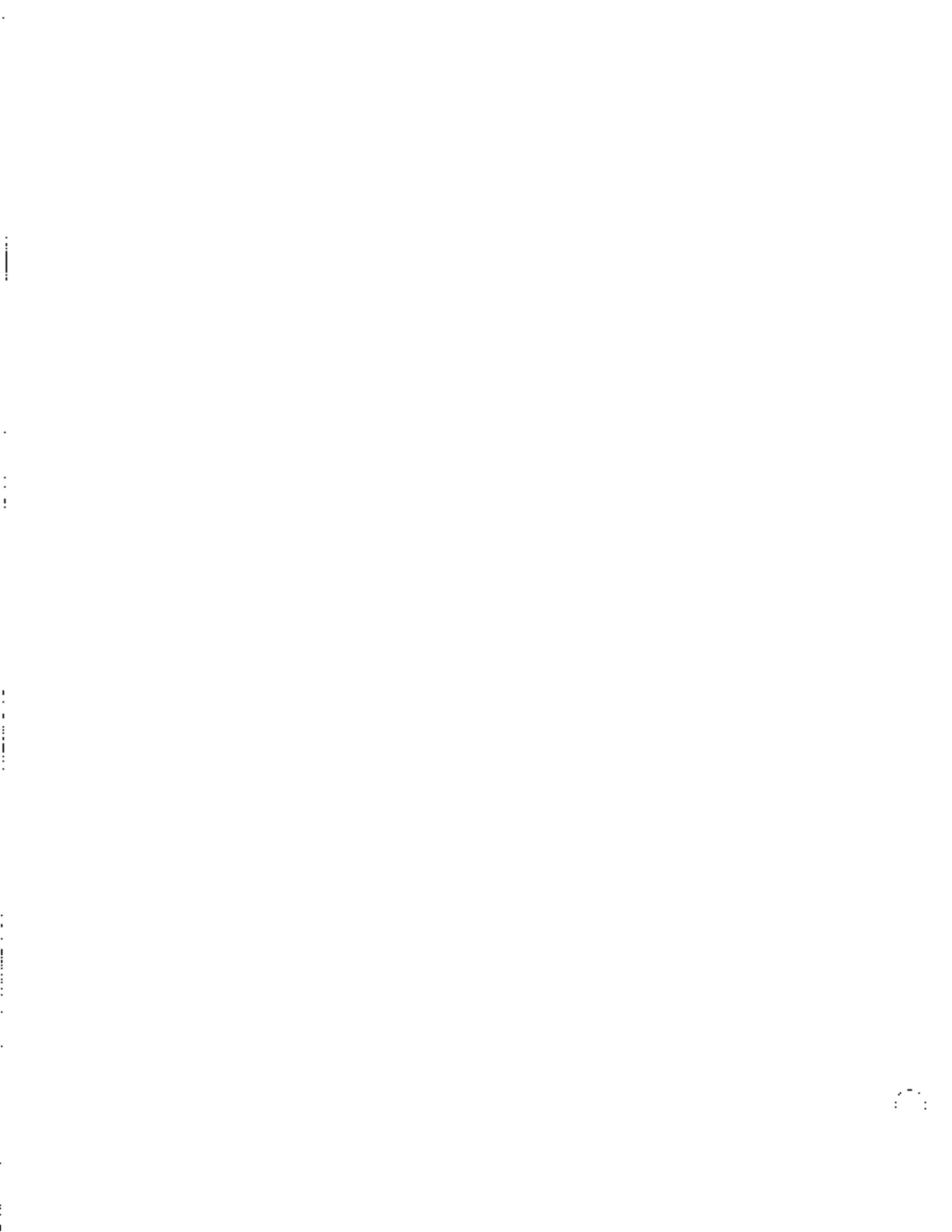
Client: BHUSD
 Project: Beverly Vista Facility Assessment
 Site: Beverly Vista
 Assessment Date: 07/01/08
 Completed By: Rono A. Castillo

- General site review:
- 1) Aesthetic Needed
 - 2) Structural Needed
 - 3) ADA Review Needed
 - 4) HAZMAT Review Needed.
 - 5) Fire/Life Safety

New assessment in bold and italics

Building/Room/Area	Item	Needs			Comments/Details
		Adequate	Upgrade	Replacement	
Turf Field	5		X		BHPD Sgt. Joe Chivillo has a concern that the there isn't an emergency exit gate located near the turf field. His concern is that if there was some type of event, the students on the field would have no way to escape.
	5			X	Fence off high voltage area on Rowford.
	5			X	Fence off water pipes on Rowford.

Exterior





Client: RHUSD
 Project: El Rodon
 Site: El Rodon
 Assessment Date: 1/8-1/10/07, 8:20/07
 Completed by: Alan Kong, David Hernandez, Shawn Oshiansky, Mike Miller

ADA ASSESSMENT

Priority Descriptions:
 1 Immediate modification recommended
 2 Modification should occur within one year or at next construction period
 3 Modification should occur within 2-5 years
 4 Modification recommended for added safety and convenience of disabled

BUILDING/ROOM/AREA	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building D, Boys Restroom, Girls Restroom	Toilet not ADA accessible. Need 60" for wheelchair accessibility Handrail not ADA compliant Primary ADA handrail must be 34"-38", existing is only 31" <i>Need to remove and replace hand rail, must have primary. Secondary handrail for elementary kids is ok with maximum height of 28"</i>	1				
Building D, Stair 1, 3 rd Floor	Pickets for the stair are currently 10 1/2" spacing. ADA and local code require that these pickets are less than 4"	2				
Building D, Stair 2 Building D, 2 nd Floor Boys and Girls Restroom	Non ADA Accessible by Wheelchair Clearances Remove handicap sign. Irrelevant to its purpose since there is no proper ADA access on the 2 nd floor <i>Entryway in to classrooms non compliant at the door thresholds concrete lip needs to be removed this is occurring at a number of locations.</i>	1				
Building D, 2 nd Floor, Corridor Building D, Adjacent Patio to Breezeway	Needs railing to protect students from falling over Handicap Signs Suspect. They apparently lead into a door which is locked. This means that the signs do not mean anything unless the door is readily accessible by a handicap person. Pair of double doors only 26" clearance not ADA compliant	1				
Building D, First Floor Corridor Building C, First Floor, Cafeteria		1				
		2				

BUILDING/ROOM AREA	I T F M	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
<i>Outside Path of Travel (General)</i>		COMMENTS/DETAILS/RECOMMENDATIONS <i>Repair cracks in concrete. Concrete in some areas needs to be replaced to provide cross slope less than 2% and abrupt elevation changes less than 1/8". Provide all new signage (inside and out).</i>					
<i>Outside drinking fountains</i>		<i>Need to Replace existing or provide new ADA compliant hi-low drinking fountains at all 4 playground areas.</i>					
Building C, First Floor, Stair 2		Median handrail not safe. Ends at post are pointed spears. Handrails do not meet ADA requirements	1				
Building C, West Corridor Doors, 2 nd Floor		Closers need to be adjusted to meet ADA pressure requirements. Doors are hard to open	2				
Building B, Rooms 105, 106, 107, and adjoining restrooms		Restrooms are not ADA compliant	1				
Building A, Auditorium		Seats are not designed for ADA unless seats are modernized and proper entrance and path are clearly documented by signs.	2				
Bungalow 1		Ramp leading up to bungalow is damaged Telephone and thermostat too high for ADA person to reach	2				
Bungalow 2		Pencil sharpener too high for ADA to reach	4				

BUILDING/ROOM/ AREA	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
J T E M Building C Parking Lot	<p>ADA Parking Lines need to be repainted to meet code Concrete and asphalt surfaces need to be repaired for wheelchair access.</p> <p><i>Add non-accessible parking stote. Redo asphalt to illuminate existing cross slope which currently exceeds 2%.</i></p> <p><i>Extend existing concrete ramp to eliminate curb at the bottom.</i></p>	2				
Building D Parking Lot	<p>Fix concrete cracks to meet ADA code This area does not provide ADA parking</p>	2,4				
Kindergarten Play area east of Building B	<p>Pedestrian Walk needs repair Various cracks on concrete floor needs patching and repaving</p>	2				
<i>North Playground access to Building B</i>	<p><i>Replace concrete ramp to reduce slope to 5% (currently 8.3%). Replace handrails.</i></p>					
Main courtyard between Buildings E, C, A and B	<p>Concrete in courtyard in need of patch and repair</p>	2				
Building E, First Floor (Ground Floor) Covered Lunch Area	<p>Door Thresholds exceed 1/4" allowed by ADA</p>	2				
Building E, First Floor, Boys Bathroom	<p>Bathroom not accessible by ADA Toilet Partition Door Missing Door Thresholds not ADA Compliant</p>	1				
Building E, Custodian, Room 124	<p>Threshold not compliant Mop Sink not compliant for ADA</p>	2				

BUILDING/ROOM/ AREA	I T E M	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building E, Girls Bathroom	1	Bathroom not ADA compliant for clearances	1				
Elevator Corridor, First Floor (Ground Floor)	1	Missing elevator signage	1				
Stair at West End Building E	1	Stair rails not ADA compliant at base Need rail at Drinking Fountain	1				
Library, Building J, Second Floor	2	Threshold at Library to Breezeway not compliant Breezeway rails damaged	2				
East Stairwell Building E	2	Stair rails need extensions	2				
Drop off Zone	1	<i>Required access curb-cuts with proper signage</i>	1				
Corridors	1	<i>The campus needs emergency lighting throughout the campus and site.</i>	1				
Exterior Doors	1	<i>Site Doors, frames and hardware need to be removed and replaced, framed openings need to be removed and replaced, terraces at specific locations need to be felt with accordingly.</i>	1				



Client: BEUSD
 Project: El Rodeo
 Site: El Rodeo

Assessment Date: 1/8-1/10/07, 8/3/07
 Completed by: Alan Kong, David
 Bushnell, David Hernandez, Shawn
 Oshminsky, Arturo Arce, Mike Miller

FACILITY ASSESSMENT (physical)

General site review:

- 1 Aesthetic needed
- 2 Structural needed
- 3 ADA review needed
- 4 HAZMAT review needed
- 5 Fire/Life Safety

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building C, Roof Area	1,2,5		X	X	Skylight glass cracked and rusting at the flashing (possible failure and leakage) Electrical panel covered in plywood (inappropriate cover) Another electrical panel is missing cover Wooden stair on Building Roof C needs to be repaired Access panel on roof does not have latch Tower needs patch and paint. Broken window outside of roof latch. Mesh surrounding windows in the tower has holes in it. See hive in the roof between bldg. d & e broken light fixture on roof.
Building D, Roof Area	1,2			X	Expansion Joint Assembly may need caulking and reworking HVAC Fan Assembly Rusted (Looks Inoperable) Disconnected Electrical Box needs to be capped by electrician Exhaust on Building D may require removal or re-flashing No gutters and down spouts, replace roofing system. There are two different roofing systems currently in place.
Building E and B, Roof Area	1,2	X			No gutters on bldg. D & E. Tiles on roof are not all the same most have mold build up.
Building A, Roof Area	2			X	Strap to support electrical pipe is undone.
Building A, Tower @ Roof	2			X	Casement Window stuck in open position
Building D, Boys Restroom, Girls Restroom	3		X		Toilet not ADA Accessible. Need 60" for wheelchair accessibility Water Stains on Ceiling. Ceiling Tiles need to be replaced Walls in need of patching and painting Lockers missing doors (damaged) Vinyl flooring needs to be replaced Handrail not ADA compliant
Building D, 3 rd Floor Corridor	1,2				Primary ADA handrail must be 34"-38", existing is only 31" Must have primary. Secondary handrail for elementary kids is ok if MAX 28"
Building D, Stair 1, 3 rd floor	3			X	

BUILDING/ROOM/AREA	ITEM	ADAPTABLE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D Corridor 326 3 rd Floor	5			X	Baseboard around north end is missing and damaged. Needs to be replaced Double doors leading into Building C are not latching properly Doors may not be correctly Fire Rated. It is only rated 30 mins Both sides of the double doors are missing smoke detectors. Replace vinyl floor cover, new glue-on ceiling tiles, new lockers, patch and paint walls, no emergency lighting. Door hardware not to code. Doors to the building are kept open because they are too heavy for most teacher and students to open. Pat had stated that the PTA is buying bulletin boards throughout the school.
Building D, CR 312	1,2			X	Replace damaged ceiling tiles, patch and paint walls, replace wall acoustic tiles. Door closer doesn't have adequate pressure to close the door.
Building D, Storage 312A	1,5			X	Patch and paint walls, new cabinets, replace ceiling tiles
Building D, CR 310	1,2			X	Replace damaged ceiling tiles, patch and paint walls, replace carpet, new cork boards, fix wiperhold.
Building D, Stair 3, 329	3		X		Pickets for the Stair are 10 1/2", ADA requires that these pickets are less than 4" by code. Replace vinyl floor cover, new glue-on ceiling tiles, more lighting, patch and paint walls, no emergency lighting.
Building D, Stair 1, 325	1,5			X	Replace vinyl floor cover, new ceiling glue-on tiles, patch and paint walls, more lighting, no emergency lights.
Building D, 2 nd Floor Boys and Girls Restroom	3		X		Not ADA Accessible by Wheelchair Clearances Broken Windows, Ceiling Tile Damaged, Doors and Louvers Damaged

BUILDING/ROOM/AREA	ITEM	ADAPTIVE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building C, Elev. Lobby 1S9	1.5			X	Patch and paint walls, replace vinyl floor cover. No emergency lights (throughout whole school) broken lockers.
Building C, CR 302	1.5			X	Replace damaged ceiling tiles, replace cabinets, new cork boards, patch and paint walls, two new sinks with associate plumbing, remount 120VAC outlets flush in floor. Need new lighting grid and cover/paint metal boards covering old windows.
Building C, CR 301, 303, 305, 307	1.5			X	Replace damaged ceiling tiles, replace cabinets, new cork boards, patch and paint walls, more 120VAC outlets. Water damage in ceiling tiled and in the floor. Floor very squeaky. Exposed wires in outlets.
Building C, CR 304, 306	1.5			X	Replace cabinets, new cork boards, patch and paint walls, more 120VAC outlets. Door doesn't close well. Needs new whiteboard, a/c grills, light covers.
Building C, CR 308	1.5			X	Replace damaged ceiling tiles, replace vinyl floor cover, replace cabinets, new white/cork boards, patch and paint walls, replace sinks with associate plumbing, replace two electric stoves. Very loud HV/AC teacher has been complaining for months. Teacher brought own electric power cords because of the shortage of outlets.
Building C, Stair 7 at upper level	1.5			X	Replace vinyl floor cover, new ceiling glue-on tiles, patch and paint walls, more lighting, no emergency lights. Stairs grips need to be replaced. throughout whole school.
Building C, Toilets 331, 331B	1.5	X			Replace toilet fixtures, new wall/floor ceramic tiles, patch and paint walls.
Building C, Corridor 332	1.5			X	New ceiling glue-on tiles, patch and paint walls, fix lockers, no emergency lights. replace (3) drinking fountains. Halfway needs patch and paint.
Building C, Custodian 330	1.5			X	Clean floor, patch and paint walls, new sink and associate plumbing, new light. Visual Strobe for Fire Alarm missing. Electrical Receptacles Blown Out. Photo sensor straps loose. Telephone on wall not functional.
Building D, CR 311	1.2.5			X	Patch and paint walls, replace damaged ceiling tiles, replace cabinets. replace cabinets.
Building D, CR 309	1.2			X	Fire Sprinklers heads are not any of the classrooms Fire Strobes are missing from some of the classrooms
All Buildings	5	X			Stair # 4 second floor 329 needs second rail for elementary kids, exit signs, patch work, stair grips especially yellow grips for top and bottom stair. Cackroach problem especially coming out of next to quad area in the courtyard.

BUILDING/ROOM/AREA	ITEM	ADAPTIVE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D, Custodian 228A	1			X	Replace vinyl floor cover, replace sink, patch and paint walls, replace light.
Building D, PE Office 227	1			X	Replace glue-on ceiling tiles, replace vinyl floor cover, patch and paint walls, add more 120VAC outlets.
Building D, Storage 227A	1			X	Replace vinyl floor cover, replace damaged ceiling tiles, patch and paint walls, replace cabinets, replace light.
Building D, 2 nd Fl, Corridor 225	3		X	X	Remove handicap sign. Irrelevant to its purpose since there is no ADA access on the 2 nd floor. Replace vinyl floor cover, replace one drinking fountain, patch and paint walls. Ceiling tiles have water damage.
Building D, Stair 1, 2 nd Floor	1		X		Walls need to be refinished and repainted
Building D, Art CR 208	1,2			X	Patch and paint walls, replace cabinets and sinks, replace white and cork boards, replace damaged ceiling tiles. Condensation pipe from A/C not in correct place and is not even functioning.
Building D, CR 209, 211	1,2			X	Replace vinyl floor cover, replace damaged ceiling tiles, replace movable partition, replace cabinets, patch and paint walls.
Building D, 2 nd floor breezeway	1,2,5			X	Handrail fencing missing protective wire mesh Glass facade adjacent to the doors for the breezeway should have wire mesh for fire rating
Building D, 2 nd Floor North End	1,5			X	Missing Door Closure, Missing astragal to keep smoke from traveling to adjacent building. Smoke detectors missing.
Building D, Adjacent Patio to Breezeway	2,3		X	X	Needs railing to protect students from falling to different elevation

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building C, Lounge 206	1,2,5			X	<i>Patch and paint walls, replace cabinets, replace cork boards, add more 120VAC for vending machines. a/c needs cover, no fire sprinklers, floor has water damage, door closer covers needed, stair railings not to height code.</i>
Building C, Workroom 206E	1,2,5			X	<i>Patch and paint walls, replace cabinets, replace sink, replace windows.</i>
Building C, Workroom 245A,B				X	<i>Replace carpet, replace cabinets, replace windows, patch and paint walls, add more 120VAC outlets.</i>
Building C, Storage 206C				X	<i>Patch and paint walls, replace cabinets.</i>
Building C, Copy Room 238	1			X	<i>Broken Window needs to be replaced. Replace vinyl floor cover, patch and paint walls.</i>
Building C, Custodian 235	1			X	<i>Clean floor, patch and paint walls, replace cabinets, replace sink.</i>
Building C, Room 200	1,2			X	<i>Water damaged ceiling tile. No fire sprinklers.</i> <i>Ceiling Tiles dislodged, potentially can hurt someone if not fixed</i> <i>One of the pair of doors is missing a flush bolt and stop</i> <i>Walls need patching and repainting Ceiling was fixed however wires are exposed throughout the whole corridor. Need a new door next to Stair # 7</i> <i>second floor 239 and light covers in the surrounding area. All lights need to go. Always broken balcon and lights need to be replaced more often than usual.</i>
Building B, Corridor	1,2			X	<i>HVAC after renovation does not work properly. Nurse is complaining that the HVAC is too loud preventing her from performing audible hearing tests to the school kids. Ceiling tiles need to be replaced.</i>
Building B, Health Office	2		X		
Building B, Room 100	1,2			X	<i>HVAC system not working properly in room</i>

BUILDING/ROOM/AREA	ITEM	ADROUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D, First Floor Corridor	1,2,3			X	Handicap Signs Suspect. They apparently lead into a door which is locked. This means that the signs do not mean anything unless the door is readily accessible by a handicap person. Damaged Lockers Missing Ceiling Tile
Building D, Boys Locker room, First Floor (Ground Floor)	1		X		Lockers generally worn and damaged Showers non-functional. <i>Horrible smell inside the locker room</i> Mirrors Scratched Light Lens missing Tiles missing
Building D, Rooms 112A, 112B, 111	1,2			X	Typical ceiling tiles missing in rooms Pair of double doors only 26" clearance not ADA compliant. Rubber base needed in various locations. Corner guards needed at various locations Floor electrical outlet needs cover. <i>Replace damaged ceiling tiles, patch and paint walls, replace food service equipment, remove or replace wooden storage, replace floor drain plumbing and still cover plates, replace vinyl floor cover. Bad odor coming from serving area in cafeteria (possibly from vinyl floor)</i>
Building C, First Floor, Cafeteria (Dining) 153	1,3			X	Patch and paint walls, clean floor. Fire suppression (ANSUL) system missing from kitchen hood. Water heater not strapped. Old electrical wires exposed. Fire sprinklers missing. <i>Replace vinyl floor cover, patch and paint walls, replace toilet room fixtures, replace lockers, replace old ventilator and associate wiring/switch, replace kitchen equipment, add more lights in lockers area.</i>
Building C, Room 153C					
Cafeteria	1,2,5		X		
Building C, First Floor, Elev. Rm. 148	1				<i>Patch and paint walls, clean floor. Most doors to enter the school have to be chain locked because hardware is old and non-functioning.</i>
Building C, First Floor, Storage 149					Locked

BUILDING/ROOM/AREA	ITEM	NEEDS	REPLACE	COMMENTS/DETAILS
Building B, CR 100, 101, 102, 103, 104	1,2,5		X	Typical fire strobe not present. Replace damaged ceiling tiles, refinish wooden panels, patch and paint walls. No fire alarm #104. Need exit signs, need panic bar leading to outside. Replace carpet, replace damaged ceiling tiles, replace vinyl floor cover, replace movable partition, patch and paint walls.
Building B, CR 105, 106	3,5	X		Need exit signs, need panic bar leading to outside. Replace carpet, patch and paint walls, replace damaged ceiling tiles, replace cabinets. Door closer needs to be replaced.
Building B, CR 107	3,5	X		Water ceiling damage. Non-sufficient lighting in room. Lighting and plumbing issues throughout the auditorium. Electrical wiring, suspect, exposure at staging area. Ceiling and walls need to be repainted due to prior rain damage. Back doors were non-operational (fire hazard) for egress. Flooring on the stage and below auditorium sealing in need of aesthetic repair. Seats are antiquated. Seats are not designed for ADA unless seats are modernized and proper entrance is clearly documented by signs. Building needs to be repainted and gutters are broken. Wooden door to the elevator room closest to the auditorium needs to be replaced. Has a big chunk missing out of it. Staircase at the North side of the auditorium not ADA compliant, the lower step has a 2" lift. Exterior lights are insufficient they need to be removed and replaced. Above auditorium ceiling requires structural retrofitting.
Building A, Auditorium	1,2,3,5	X	X	Patch and paint walls, no emergency lighting.
Building A, Auditorium Vest.				Need proper ADA railing leading up to playground. Concrete footing around existing railing damaged. Ramp grade too steep to accommodate handicap. Loggia area- walls need to be repainted. In need of some type of a tent or roof to provide children with shaded resting/working area. School was going to purchase tents but had an issue with holding them into asphalt and didn't want something temporary. All footings around playground need to be painted yellow (stripping hazard).
Building B, North side at Playground and Loggia	1,3	X	X	Replace damaged ceramic floor tiles, patch and paint walls.
Building B, Custodian 172	1			Clean floor, patch and paint walls, replace sink, add ceiling light.
Building B, Toilet 107A	1			Replace damaged ceramic floor tiles, replace toilet fixtures and partitions, patch and paint walls, replace ceiling light.
Building B, Office 174, 175	1			Replace vinyl floor cover, patch and paint walls, replace damaged ceiling tiles.
Building B, Health Office 170, 171	1			Replace vinyl floor cover, patch and paint walls, replace windows and blinds, replace cabinets. Remove old raceway on walls remove and replace corrugated glue on ceiling tile.
Building B, Corridor 167	1,3			Patch and paint walls, replace glue-on ceiling tiles, replace (3) drinking fountains.

BUILDING/ROOM/AREA	ITEM	APPROPRIATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building C, First Fl, CR 108	1,2			X	No fire strobe and no exit signage. <i>Patch and paint walls, replace damaged ceiling tiles, replace vinyl floor cover, replace cabinets, replace exiting light fixtures.</i>
Building C, First Fl, CR 109	1,2			X	No fire strobe and no exit signage. <i>Patch and paint walls, replace damaged ceiling tiles, replace vinyl floor cover.</i>
Building C, First Fl, CR 110	1,2			X	No fire strobe and no exit signage. <i>Patch and paint walls, replace damaged ceiling tiles, replace vinyl floor cover, replace vertical drain pipes and enclose with drywall, replace floor drain piping and steel cover plates.</i>
Building C, First Floor, Stair 2	1,3			X	Median handrail not safe. Ends at post are pointed spears. Handrails do not meet ADA requirements
Building C, Boys and Girls Restroom	1	X		X	Windows need replacement. Does not open. Toilet seat heights are lower for elementary school kids. Acceptable for ADA
Building C, West Corridor Doors, 2 nd Floor	3,5			X	Flush Bolt Stops need to be replaced Closers need to be adjusted to meet ADA pressure <i>No signs this building need site signs.</i>
Building C, Corridor 232	1,2			X	<i>Replace (4) light fixtures in front of Stair #4, replace (2) drinking fountains, replace glue-on ceiling tiles, patch and paint walls, replace damaged ceiling tiles in front of Stair #4, replace vinyl floor cover, no emergency lighting.</i> No Fire Sprinklers, Need Horn Strobe.
Building C, Room 200, 201, 202, 203, 205, 207	1,2,5			X	<i>Replace damaged ceiling tiles, replace cabinets, patch and paint walls, more computer network and 120VAC outlets, replace white and cork boards.</i> <i>Replace carpet, replace damaged ceiling tiles, replace cabinets, more computer network and 120VAC outlets, replace white and cork boards. Vent grills need to be replaced. Door closer needed. Outlet open and wires exposed.</i>
Building C, Room 204	1,2,5			X	

BUILDING/ROOM/AREA	ITEM	APPROPRIATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A, Administrative Offices, 177A, 177B, 177C	1			X	Generally in adequate condition. Entry exiting administrative office needs to be fixed. A corner guard would protect the corner from suffering further damage. <u>Replace carpet, replace damaged ceiling tiles, patch and paint walls, refinish wooden cabinets.</u>
Building A, Unisex RR 178					<u>Patch and paint walls, clean floor, replace toilet fixtures, replace lights.</u>
Building A, Storage 252					<u>Replace vinyl floor cover, patch and paint walls.</u>
Building A, Elev. Lobby 253					<u>Replace vinyl floor cover, patch and paint walls.</u>
Building A, Speech Office 254					<u>Replace carpet, replace damaged ceiling tiles, patch and paint walls, replace cabinets, replace white board.</u>
Building A, CR 257					<u>Replace vinyl floor cover, replace damaged ceiling tiles, patch and paint walls, replace cork/white boards, more 120VAC outlets, replace skylight.</u>
Building A, Storage 256					<u>Refinish hardwood floor, patch and paint walls.</u>
Bungalow 1	3.4			X	Odor-Indoor Air Quality is questionable Ramp leading up to hungalows is damaged HVAC not working properly Telephone and thermostat too high for ADA person to reach Carpeting needs to be replaced Pencil sharpener too high for ADA to reach Water damaged at ceiling tiles Lighting too dim.
Bungalow 2	1.3			X	
Basketball area behind Building A	2		X		Northwest side of basketball area excessively ponds after heavy rainfall. Install new drainage system ADA Parking Lines need to be repainted to meet code Concrete and asphalt surfaces need to be repaired Trash enclosure needs proper doors, curb, and design
Building C Parking Lot	1.3			X	
Building C Tool Shed in Parking Lot	1.2		X		No electricity in this shed Roof leaks, possible structural problems

BUILDING/ROOM/AREA	ITEM	ADDEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D Parking Lot	1.3			X	Fix concrete cracks to meet ADA code. This area does not provide ADA parking
Building A Corridor leading out to courtyard (South)	5		X		Exit Signs need to be modernized with a battery backup and hardwired
Building A Exterior	1		X		Painting needed at Exterior
Building B Exterior	1.2			X	Entry precast concrete work at entry needs repair. Numerous cracks around the entryway. <u>Painting needed</u>
Building C Exterior	1		X		Exterior should be repainted due to prior water damage
Building D Exterior	1		X		Repaint
Building E Exterior	4			X	Roof Area has mold

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Kindergarten Play area east of Building B	1,3		X		Pedestrian Walk needs repair Various Cracks on Concrete Floor needs patching and repaving
Main courtyard between Buildings E, C, A and B	1,3			X	Brick Repair at Tree Surrounds (Chipped and dislodged brick) Concrete in courtyard in need of patch and repair
Building E, Storage 134					<i>Replace vinyl floor cover, patch and paint walls.</i>
Building E, First Floor (Ground Floor) Covered Lunch Area	1,3			X	Door Thresholds exceed 1/2" allowed by ADA Door at SE Corner has broken pivot
Building E, First Floor Classroom 114 and 116	1,5			X	No Fire Sprinklers. Replace damaged ceiling tiles, patch and paint walls, replace vinyl floor cover, replace movable partition.
Building E, First Fl, Office 119					<i>Patch and paint walls, replace vinyl floor cover.</i>
Building E, 1st Fl Corridor 122	1,5			X	No Fire Sprinklers. <i>Replace damaged ceiling tiles, replace vinyl floor cover, replace drinking fountain, fix lockers. Patch and paint walls.</i>
Building D, Boys Locker 130B					<i>Patch and paint walls, clean floor, retile shower area, replace shower fixtures, replace lockers, replace lights, replace vinyl floor cover. No mirrors.</i>
Building D, Girls Locker 138D					<i>Patch and paint walls, clean floor, retile shower area, replace shower fixtures, replace lockers, replace lights, replace vinyl floor cover. Replace damaged glue-on ceiling tiles, replace mirrors.</i>
Building D, Cardio Ctr. 111					<i>Replace vinyl floor cover, replace damaged glue-on ceiling tiles, replace cabinets, patch and paint walls, clean HVAC registers, add more 120VAC outlets.</i>
Building D, Multipurpose 112					<i>Replace vinyl floor cover, replace damaged ceiling tiles, patch and paint walls, replace drinking fountain, replace hose cabinet.</i>
Building D, Corridor 139					<i>Replace vinyl floor cover, patch and paint walls, replace lockers, replace drinking fountain, replace hose cabinet.</i>

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
East Stairwell Building E	1,3			X	Light lenses missing or damaged Stair rails need extensions Acoustical wall tiles damaged
Building E, Room 318	1,5			X	No exit sign. Window latch not functioning. Mold. Minor water damage to ceiling tiles. No fire sprinklers Mold
Building E, Room 316	1,5			X	Electrical outlet needed adjacent to TV Minor Ceiling tile damage No fire sprinklers or smoke detectors Minor Floor Tile Damage at Old Floor Box Wind Latch Handles Missing
Building E, Room 315	1				Latch Handles Missing on Windows Minor Ceiling Tile Damaged
Building E, Corridor, Third Floor	1			X	Damaged Lockers
Building D, 3 rd Floor, Corridor					Replace vinyl floor cover, replace (1) drinking fountain, patch and paint walls, fix lockers, replace cork boards.
Building D, 3 rd Floor, Stair 2					Replace damaged ceiling tiles, patch and paint walls, clean floor, replace light fixtures.
Building D, 3 rd Floor, Storage 322					Patch and paint walls, replace vinyl floor cover.
Building D, 3 rd Floor, C/R 313, 314, 315, 316, 317, 318					Patch and paint walls, more computer network and 120V/AC outlets.

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS UPGRADE	NEEDS REPAIR/REPLACEMENT	COMMENTS/DETAILS
Building E, Custodian, Room 124	1,3			X	Light Lens Missing. Threshold not compliant. Floor Stained. Replace Map Sink. <i>Patch and paint walls, clean floor.</i>
Building E, Custodian, 126					<i>Patch and paint walls, clean floor.</i> <i>Replace damaged ceramic floor tiles, patch and paint walls, replace plumbing fixtures and partitions.</i>
Building E, RR 125, 123					Missing elevator signage
Elevator Corridor, First Floor (Ground Floor)	1,3			X	Light lens missing in elevator cab
Stair at West End Building E	3			X	Stair rails not ADA compliant at base
Building E, Cor. 220					<i>Patch and paint walls, replace vinyl floor cover, replace drinking fountain.</i>
Building E, Library Workrooms 214A, 214B	1			X	Secondary condensate leaking. Water damage from condensate in ceiling. Thermostat not working properly. <i>Patch and paint walls, replace carpet.</i>
Building E, Classroom 212	1			X	Minor water damage to ceiling tiles
					Minor ceiling damage due to water Sun from south windows is damaging books A/C filters need replacement No Fire Sprinklers Need Rail at Drinking Fountain Threshold at Library to Breezeway not compliant Breezeway Rails Damaged
Library, Building E, Second Floor	1,3,5			X	<i>Replace vinyl floor cover, replace damaged ceiling tiles, patch and paint walls.</i>
Building E, Library Storage 216					<i>Replace vinyl floor cover, patch and paint walls, replace damaged ceiling tiles, more computer network and 120VAC outlets.</i>
Building E, Library Computers 213					<i>Replace carpet, patch and paint walls, replace damaged ceiling tiles, more computer network and 120VAC outlets.</i>
Building E, Library Reading 219					<i>Replace carpet, replace damaged ceiling tiles.</i>
Building E, Library Workrooms 214, 215					<i>Replace carpet, replace damaged ceiling tiles.</i>





Client: BHUSD
 Project: Hawthorne
 Site: Hawthorne
 Assessment Date: 1/12/06, 8/20/07,
 6/27/08
 Completed by: Alan Kong, Andres
 Contreras, Roman Reicher

ADA ASSESSMENT

Priority Descriptions:

- 1 Immediate modification recommended
- 2 Modification should occur within one year or at next construction period
- 3 Modification should occur within 2-5 years
- 4 Modification recommended for added safety and convenience of disabled

BUILDING/ROOM/AREA	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building K, 153, 1 st grade (two classrooms)	Sink is not ADA accessible	2				
Building K, 152, 1 st grade (two classrooms)	Sink is not ADA accessible	2				
Building K, Stairwell/Corridor	Stair Rails are not ADA compliant	1				
Building K, 252, 2 nd grade	Sink is not ADA accessible	2				
Building K, 253, 2 nd grade	Sink not ADA accessible	2				
Building K, 151, Pre-K	Sink not ADA accessible	2				
Building K, 159, Pre-K	Sink not ADA accessible	2				
Building J, 150, Kindergarten	Dispensaries too high in boys restroom	2				
Building F, Unisex restroom	Restroom not ADA accessible	1				

BUILDING/ROOM/ AREA	ITEM	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building F, 148, Dining		Vending Machine not ADA compliant	2				
Building E, 148 Food Service		Sinks are not ADA accessible	2				
Building D, 184, Library		Bookshelf opening is 50"	2				
Building D, 187, textbook storage		Sink is not ADA compliant	2				
Building D, Unisex restroom		Dispensers too high, not ADA compliant	2				
Building D, unisex restroom		Dispensers too high, not ADA compliant	2				
Building D, 192, Classroom		Sinks not ADA compliant, dispensers too high	2				
School Access Curb Cut		Add truncated domes, repair deteriorated concrete to smooth road/curb cut transition.					
School main Entry Ramp		Needs to be replaced to achieve 2% or less cross slope. Provide required handrails.					
Path of Travel Breezeway and Auditorium Access ramps		Repair cracks in concrete. Concrete in some areas needs to be replaced to provide cross slope less than 2% and abrupt elevation changes less than 1/4". Provide all new signage (inside and out).					
Breezeway ramp Ramp to Building K elevator		Replace handrails to comply with current standards.					
Building A Breezeway entry door		Slope is 9.6%. Replace ramp to achieve 8.3% or less.					
		Slope is 9.2%. Replace ramp to achieve 8.3% or less.					
		Replace panic hardware.					

BUILDING/ROOM AREA	ITEM	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building D, vestibule		Handrails not ADA compliant	1				
Building D, 2 nd floor corridor		Water fountain does not have ADA bars	2				
Building D, 205, 6-8 th grade		Sink is not ADA accessible	2				
Building D, 2 nd floor, boys/girls restrooms		Restrooms are not ADA accessible, door entrance is 28"	1				
Building D, stairs 1 & 2		Handrails are not ADA compliant	1				
Building H, 119, 9 th grade		Sink not ADA accessible	2				
Building B, Corridor		Handrail/guardrails not ADA compliant	1				
Building B, 121, 9 th grade		Sink not ADA accessible	2				
Path of Travel to South Playground		Cross slope exceeds 2%. Rework concrete to achieve 2% or less.					
Path of Travel thru Courtyard between Building B and Building D Elevator		Cross slope exceeds 2%. Rework concrete to achieve 2% or less.					

I T E M	BUILDING/ROOM/ AREA	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
	Building B/C, 1 st Floor Corridor	Handrails/guardrails not ADA compliant	1				
	Rexford Drive sidewalk	Need repairs, cracks wider than 1/8" and taller than 1/4" tripping hazard	1				
	Rexford Drive entrance between Buildings A and H	Bricks are broken and misplaced, need repairs	1				
	South exterior of Building K	Exterior Drinking Fountain is not ADA compliant, no rails, wrong plumbing	2				
	Building A Unisex Bathroom, Adjacent to Waiting Area	No ADA Signage for Restroom	1				
	Building A Copy Room/Mail Room	Phone should be lowered to comply with ADA	2				
	Building A 176 Custodian	Sink needs to be lowered to be compliant with ADA Stage needs permanent Handicap Lift. Use of portable lift the school has now is impractical due to relocation difficulties	2				
	Auditorium, Stage Access		1				

BUILDING/ROOM/AREA	ITEM	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building A Courtyard	1	Bricks at the bottom landing of ramp are sinking. Bricks are in disarray and need to be fixed	1				
Building A, North-South Axis @ East End	1	Handrail not compliant with ADA. Only 29" high Room too small to be ADA compliant. Sink gutted out from floor. Sink will need to be ADA compliant as well	1				
Building A South Side Unisex Toilet	1	Wall partition is preventing proper ADA access into the restroom even though these particular restrooms have a proper stall	2				
Building A Sick Bay and Nurses Office with Restroom	1	Entrance to sick bay is non ADA compliant. There is a 5" level difference between room and outside corridor. Restroom is ADA non compliant	1				
Building A Room 124	2	Room is not accessible by ADA since the entrance is starting on a stair tread	2				
Building A Room 201	2	Sinks and closets are not ADA accessible	2				
Teacher's Lounge Area	2	Area completely non accessible to ADA. Only access is staircase which has incorrect stair rail heights	2				
Outside drinking fountains	1	Remove existing and provide new ADA compliant hi-low drinking fountains (6 locations).	1				





Client: BHUSD
 Project: Hawthorne School
 Site: Beverly Hills
 Assessment Date: 1-12-07/7-25-07. 6/27/08
 Completed by: Alan Kong, Andres Contreras/Roman Reischer

FACILITY ASSESSMENT (physical)
 General site review:
 1 Aesthetic needed
 2 Structural needed
 3 ADA review needed
 4 HAZMAT review needed
 5 Fire/Life Safety

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	REPLACE NEEDS	COMMENTS/DETAILS
Building H, 140, Kindergarten	1,2,5		X	X	No Fire Strobe, No sprinklers. Water penetrates exterior wall, Ceiling Tile Repair, Paint Repairs. <i>Replace carpet, floor tiles, and cabinets. New patio sliding door, new blinds.</i>
Building H, 140A, Boys Restroom	1,5		X	X	No Fire Sprinklers, replace windows.
Building H, 141A, Girls Restroom	1,5		X	X	No Fire Sprinklers, replace windows.
Building H, 141, Kindergarten	5		X		No Fire Strobe, No sprinklers. Water penetrates exterior wall, Ceiling Tile Repair, Paint Repairs. <i>Replace carpet, floor tiles, and cabinets. New patio sliding door, new blinds.</i>
Building K, 153, 157 1 st Grade (two classrooms)	1,3,5		X	X	No Fire Strobe. Sink is not ADA accessible, repair paint <i>Replace cabinets and associate plumbing, repair ceiling tiles, replace carpet, new white and post boards, relocate wall clock, remove/relocate 120VAC floor outlet, replace movable partition.</i>
Building K, 152, 158 1 st grade (two classrooms)	1,3,5		X	X	No Fire Strobe, Sink is not ADA accessible, repair paint <i>Replace cabinets and associate plumbing, repair ceiling tiles, replace carpet, remove/relocate 120VAC floor outlet, replace movable partition.</i>
Building K, Stairwell/Corridor on both sides	1,3		X	X	Stair Rails are not ADA compliant, paint repair <i>New cabinets, clean concrete floor, repair exit sign and emergency light.</i>
Building K, 252, 253, 2 nd grade	1,3		X	X	Ceiling Tiles damaged, Sink is not ADA accessible, Air Conditioning not functioning properly, Windows not operable. Need larger receptacle cover for microwave. <i>Replace carpet, wall cabinets. Provide new movable partition, remove/relocate 120VAC floor outlet. Paint repair.</i>

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building K, 257, 258, 2 nd grade	1,3		X	X	Ceiling Tiles damaged, Sink is not ADA accessible, windows not operable, Replace carpet, wall cabinets. Provide new movable partition. Paint repair.
Building K, 151, 159B, Pre-K	1,3,5		X	X	Sink not ADA accessible, No smoke detectors, Missing Light Covers. Repair wall paint. Replace cabinets, carpet, white board. Teacher asked to replace existing floor tiles with vinyl-microtapping.
Building K, 159, Pre-K	1,3,5		X	X	Sink not ADA accessible, no smoke detectors, repair paint. Replace cabinets and associate plumbing. Need new carpet. Teacher asked to replace existing floor tiles with vinyl-microtapping.
Building J, Passage way	1		X		Repair ceiling tile, repair paint, replace floor tiles.
Building J, 150, Kindergarten	2,3,5		X	X	Sliding door not functioning, no fire sprinklers, girls restroom not functioning, dispensaries too high in boys restroom, No Fire Strobe. Replace carpet and floor tiles.
Building F, Unisex restroom	3,5		X	X	Restroom not ADA accessible
Building F, 148, Dining	1,3,5		X	X	Replace Ceiling Tiles/Grid, no fire sprinklers, vending machine not ADA compliant, repair wall/paint. Remove/replace air curtain ventilators above entry doors. Need new floor tiles. Repair and add more 120VAC receptacles.
Building F, 148D, Storage					Need new floor tiles, cabinets, lighting.
Building E, 148, Food Service	3,5		X	X	No fire sprinklers, sinks are not ADA accessible. doors do not have panic hardware. Need new ceiling tiles, new more efficient lighting. Need more 120VAC receptacles. Replace existing ANSUL fire suppression system. Need new plumbing and floor drain. New floor tiles.

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building E, 145, E.L. Students	1,5	X	X		No Fire Strobe, No Fire Sprinklers, No Exit Signage, Paint Repair. New carpet floor tiles. <i>Remove/replace air curtain ventilators above entry doors. Requirredd more 120VAC outlets.</i>
Building F, 144, Special Ed	1,5	X	X	X	No Exit Signage, paint/wall repair. <i>Replace A/C unit, add more 120VAC outlets. New carpet. replace windows</i> No Exit Signage, no fire sprinklers. <i>Replace floor tiles. carpet, wall cabinets. Repair ceiling tiles. Replave sink and associate plumbing in storage room. Need more 120VAC outlets. Network cords need to be permanently relocated to the walls (or replaced with wireless?).</i>
Building F, 143, Computers Lab					No Exit Signage, no fire sprinklers. <i>Replace floor tiles, carpet, wall cabinets. Repair ceiling tiles. Fix electrical box in storage.</i>
Building E, 142, 3 rd Grade					No Fire Sprinklers, No Fire Strobe, no panic bar on doors. <i>replace ceiling grid/tile, no exit signage. Replace carpet, window curtains. Patch and paint walls. Repair and refinish wooden wall panels.</i>
Building D, 193, PC Lab	1,5	X	X	X	No fire sprinklers, replace ceiling grid/tile, book shelf opening is 50". <i>Replace carpet. Patch and paint walls. Repair and refinish wooden wall panels.</i>
Building D, 184, Library	3,5	X	X	X	Minor tile repair, no fire sprinkler, no fire strobe. <i>Replace carpet. Patch and paint walls.</i>
Building D, 185, office	1,5	X	X	X	No fire sprinklers, no fire strobe, no fire extinguisher, minor paint repair. <i>Replace carpet. Patch and paint walls.</i>
Building D, 186, office	1,5	X	X	X	No fire sprinkler, no fire strobe, replace ceiling tile, sink is not ADA compliant <i>Replace vinyl floor tiles. Patch and paint walls. Repair and refinish wooden wall panels.</i>
Building D, 187, textbook storage	1,3,5	X	X	X	No Ventilation, No fire extinguisher, No fire strobe.

BUILDING/ROOM/AREA	ITEM	ADRRUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D, 189, unisex restroom	1,3		X	X	Dispensers too high, not ADA compliant, paint/tile repair. <i>Repair ceramic floor tiles.</i>
Building D, 191, unisex restroom	1,3		X	X	Dispensers too high, not ADA compliant, paint repair, light not functioning. <i>Repair ceramic floor tiles.</i>
Building D, 190, Storage	5			X	Electrical panel open, exposed electrical wiring, mop sink too close to electrical equipment. <i>New vinyl floor tiles. Patch and paint walls.</i>
Building D, 197, Classroom	1,3,5		X	X	Sinks not ADA compliant, no fire sprinklers, dispensers too high, wall paper repairs, patch and paint walls. <i>New carpet and cork boards. Repair and refinish wooden wall panels.</i>
Building D, 183, classroom	1,5		X	X	Ceiling tile repair, no fire sprinklers, no fire strobe, no panic hardware on doors. <i>New carpet. Repair and refinish wooden wall panels. Patch and paint walls.</i>
Building D, 183-A, office	1,5		X	X	Tile rework, no fire sprinkler, no strobe. <i>Replace carpet.</i>
Building D, Entry area adjacent to Bldg. A	1		X	X	<i>Clean HVAC grill, repair door threshold, repair elevator threshold, replace vinyl in elevator car.</i>
Building D, 11J, Sewage Pump Room	2,4		X		<i>Ventilation system badly required to illuminate odors.</i>

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D, vestibule	1,3		X	X	Hand rails not ADA compliant, ceiling tile repair, paint repair
Building D, 2 nd floor corridor	1,3		X	X	Ceiling tile repair, locker damage, water fountain do not have ADA bars No sprinklers. <i>Replace vinyl floor tiles. Top of one of the lab tables needs to be replaced. Need more 120VAC and network outlets for computers. Patch and paint walls.</i>
Building D, 202, Science class	1,5		X	X	
Building D, 204, work room	1,5		X	X	No sprinklers. <i>Replace vinyl floor tiles. Patch and paint walls.</i>
Building D, 203, classroom	1,5		X	X	No sprinklers. <i>Replace vinyl floor tiles. Patch and paint walls. Repair existing and add more 120VAC and computer network outlets. Repair and refinish wooden wall panels.</i>
Building D, 205, classroom	1,5		X	X	No sprinklers. <i>Replace vinyl floor tiles. Patch and paint walls. Repair existing and add more 120VAC and computer network outlets. Repair and refinish wooden wall panels.</i>
Building D, 206, 6-8 th grade	1,5		X	X	Fire Extinguisher on floor, no fire strobe, no fire sprinkler, repair ceiling tile
Building D, 205, 6-8 th grade	1,3,5		X	X	No fire strobe, no fire sprinklers, sink is not ADA accessible, pencil sharpener too high. <i>Patch and paint walls. Replace vinyl floor tiles.</i>
Building D, 208, custodian	1,5		X	X	Electrical panel open, exposed electrical wires, no fire strobe, mop sink inadequate (too close to electrical equipment)
Building D, 2 nd floor, boys/girls RR 210, 211	1,2,3		X		Restrooms are not ADA accessible, door entrance is 28"
Building D, stairs 1 & 2	1,3		X	X	Hand rails are not ADA compliant, paint repairs

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building B, 119, 9 th grade	3,5		X		No fire strobe, no fire sprinklers, sink not ADA accessible. Replace windows. Resurface cabinets. New cork boards. Patch and paint walls. Replace windows blinds. Repair existing and add more 120VAC and computer network outlets.
Building B, Corridor	1,3	X		X	Ceiling tile repair, hand rail/guard rails not ADA compliant. No fire strobe, no fire sprinklers, sink not ADA accessible. Replace windows. Resurface cabinets. New cork boards. Patch and paint walls. Replace windows blinds. Repair existing and add more 120VAC and computer network outlets.
Building B, 121, 9 th grade	3,5	X			No fire strobe, no fire sprinklers, sink not ADA accessible. Replace windows. Resurface cabinets. New cork boards. Patch and paint walls. Replace windows blinds. Repair existing and add more 120VAC and computer network outlets.
Building B, 123, 9 th grade	3,5	X			No fire strobe, no fire sprinklers, sink not ADA accessible. Replace windows. Resurface cabinets. New cork boards. Patch and paint walls. Replace windows blinds. Repair existing and add more 120VAC and computer network outlets.
Building C, 122, band room	1,3	X		X	No sprinklers. Sink not ADA accessible, minor paint repairs. Replace wall tiles. Resurface floor. HVAC is not adequate.
Building C, 120, Practice room	1,3		X	X	Patch and paint walls. Replace windows. Replace carpet.
Building B, boys restroom 124	1,3	X		X	Not ADA compliant. Door entrance is less than 32"
Building C, 220, Performance Arts	1,3,5	X		X	No Fire sprinklers. Patch and paint walls. Replace carpet and blinds. Some ceiling tiles are missing. Need more 120VAC outlets.
Building C, 222, Art	1,3,5	X		X	No Fire sprinklers, Sinks not ADA accessible, Patch and paint walls. Replace cabinets. Replace wall tiles and cork boards.

BUILDING/ROOM/AREA	ITEM	ADDEQUATE	NEEDS UPGRADE	REPLACE	COMMENTS/DETAILS
ENTIRE SCHOOL	5		X		No emergency backup power in case of emergency. Replace arcade lighting, replace deteriorated arcade wooden elements, replace rails.
Rexford Drive sidewalk	3			X	Need repairs, cracks wider than 1/2" and taller than 1/4", tripping hazard
Rexford Drive entrance between A/11	3			X	Bricks are broken and misplaced, need repairs
South exterior of bldg K Building A Principal's Office A-101	3			X	Exterior drinking fountain is not ADA compliant, no rails, wrong plumbing
Building A Assistant Principal's Office A-100	1,5			X	No Fire Alarm Strobe, no sprinklers, Replace window blinds, cover old heater wall registers. Replace window blinds, cover old heater wall registers.
Building A Waiting Area A-104	5			X	Fire Extinguisher Needs to be hung on wall with appropriate sticker
Building A Office A-105					Replace damaged ceiling tiles
Building A Unisex Bathroom, Adjacent to Waiting Area A-107	3		X		No ADA Signage for Restroom

BUILDING/ROOM/AREA	ITEM	ADROUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building B, 223, 8 th grade	3.5	X	X		No fire sprinklers, sink is not ADA accessible, no fire extinguisher. Replace windows blinds. Resurface cabinets. Patch and paint walls. Need more computer network and 120VAC outlets.
Building B, 224, 8 th grade	3.5	X	X		No fire sprinklers, sink is not ADA accessible, no fire extinguisher. Replace windows blinds. Resurface cabinets. Patch and paint walls. Need more computer network and 120VAC outlets. Replace carpet.
Building B, 219, 8 th grade	3.5	X	X		No fire sprinklers, sink is not ADA accessible, no fire extinguisher. Replace windows blinds. Resurface cabinets. Patch and paint walls. Need more computer network and 120VAC outlets. Replace carpet.
Building B, 2 nd floor, corridor	1.5	X	X	X	Repair wall/paint, ceiling tile repairs, no exit signage
Building B/C, 1 st floor corridor	1.5	X	X	X	Repair wall/paint, handrails/guardrails not ADA compliant, missing cover for plumbing in wall
Building B, 226, custodian					Patch and paint walls. Replace cabinets. Clean floor.
Building D, 180, mechanical	1.5	X	X	X	Inadequate lighting, no fire strobe, no fire sprinklers

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS IMGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A Conference Room A-109	5		X		Need new blinds, paint repair, no fire sprinklers
Building A Vestibule A-102					Need combination fire strobe/alarm
Building A Copy Room/Mail Room A-108	3,5		X		Need combination fire strobe/alarm Phone should be lowered to comply with ADA <i>No sprinklers, damaged ceiling tiles.</i>
Building A Administration A- 103					<i>Need new floor tiles, carpet</i>
Building A Corridor South Doors Next to Mail Room	5			X	Doors do not close properly, Doors do not latch Missing flush bolt
Building A Corridor West-East Axis on North Side	5		X		No Exit Signage
Building A, 114, Office					<i>No sprinklers. Replace carpet, soiled ceiling tiles, replace blinds and cork board. Close old heater wall registers. Patch and paint walls.</i>
Building A Room 115 (Special Ed Classroom)	1,5			X	Fire strobe needed, ceiling tile soiled Replace carpet. Replace cork boards and blinds. Close old wall heater registers. Replace cabinets. Patch and paint walls.
Building A, Custodian 130A and Restroom					<i>New toilet fixtures, replace cabinets. Patch and paint walls. Clean floor</i>

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A, 116, lab	1.5			X	Fire Strobe Needed. Ceiling Tile Water Damage. Replace cork boards and blinds. Close old wall heater registers. Replace cabinets. Patch and paint walls.
Building A, 118, lab	1.5			X	Fire Strobe Needed. Ceiling Tile Water Damage. Replace cork boards and blinds. Close old wall heater registers. Replace cabinets. Patch and paint walls. One of the lab table tops is damaged and needs to be replaced.
Building A 175 Custodian	3		X		Repair floor, fix electrical wiring, patch and paint walls.
Building A 176 Custodian	3		X		Replace sink Repair floor, fix electrical wiring, patch and paint walls.
Building A Passageway South Doors Adjacent to Auditorium	1.5			X	Dangling Plastic Cover off ceiling. Doors not closing properly. No Exit Sign Doors do not appear to be fire rated.
Building A Courtyard	1,3			X	Bricks at the bottom landing of ramp are sinking. Bricks are in disarray and need to be fixed.
Building A Auditorium	1		X		Star Light Fixtures need to be secured in case of earthquake
North-South Axis @ East End	3		X		Hand rail not compliant with ADA Only 29"
Building A Workroom A-128					No sprinklers, need new carpet, repair/paint walls, move floor 120VAC receptacle to wall, replace blinds.
Building A Unisex A-128A					Need new plumbing/fixtures, new floor tiles, new exhaust system, new lighting.

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A Classroom A-131					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, need more 120VAC receptacles for computers, new blinds, replace some ceiling tiles.
Building A Classroom A-133					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, need more 120VAC receptacles for computers, new blinds, replace some ceiling tiles.
Building A Classroom A-135					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, need more 120VAC receptacles for computers, new blinds, replace some ceiling tiles.
Building A Classroom A-137					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, need more 120VAC receptacles for computers, new blinds, replace some ceiling tiles. Replace carpet.
Building A Classroom A-136					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, new blinds, replace some ceiling tiles. Replace carpet. Need new projection screen.
Building A Storage/Office A-138					Replace damaged ceiling tiles, replace floor tiles, no HVAC.
Building A Classroom A-134					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, new blinds, replace some ceiling tiles.
Building A Classroom A-132					No fire sprinklers. Need new cabinets, repair walls and paint, close old heater wall registers, new blinds, replace some ceiling tiles.

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A Classrooms South Side	1,5			X	Water damaged ceiling tiles and needs fire strobe
Building A South Side Unisex Toilet 130C	3		X		Room too small to be ADA compliant
Building A Sick Bay A-126	3		X		Paint walls, remove old heater wall registers. Repair ceiling tiles. No sprinklers. Install new blinds.
Nurses Office A-127	3		X		Entrance is non ADA compliant. There is a 5" level difference.
Building A Sick Bay A-126 and Nurses Office A-127 with restroom A-126A	3		X		Paint walls, remove old heater wall registers. Repair ceiling tiles. No sprinklers.
Building A Storage 124	3		X		Restroom is ADA non compliant. Paint walls.
Building A Classroom 200					Room is not accessible by ADA since the entrance is starting on a stair tread
Building A Workroom 200B	3		X		No sprinklers. Replace cabinets. Close old heater wall registers. Replace cork boards. Patch and paint walls
Building A Office 213	3		X		Replace vinyl floor tiles. Redo ceiling tiles. Patch and paint walls. Relocate light switch closer to entry door.
					Replace carpet. Patch and paint walls. Replace cork boards and blinds.

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A Classroom 201	3		X		Sinks and closets are not ADA accessible. No sprinklers. Replace cork boards and blinds. Repair existing and add more computer network and 120VAC outlets. Patch and paint walls.
Building A Storage 201A	3		X		Patch and paint walls.
Building A Workroom 201B	3		X		Patch and paint walls. Replace kitchenette and associate plumbing.
Building A Office 200A	1			X	Water damage at Ceiling – replace damaged tiles. Patch and paint walls.
Building A Workroom 200B	1			X	Water damage at Ceiling – replace damaged tiles. Patch and paint walls. Replace carpet, blinds. Replace cabinets. Close old heater wall registers.
Building A Classroom 215	1,5			X	No sprinklers. Water Damage at Ceiling Tiles. Fire Strobe Needed. Replace carpet. Replace cork boards, blinds.
Building A Classroom 217	1			X	No sprinklers. Faucet does not work- Not ADA accessible. Need Fire Strobe. Vents need to be cleaned. Replace carpet. Replace cork boards, blinds. Replace cabinets. Patch and paint walls.
Building A Classroom 216	1			X	No sprinklers. Faucet does not work- Not ADA accessible. Need Fire Strobe. Vents need to be cleaned. Replace cork boards, blinds. Patch and paint walls.
Building A Classroom 218	1			X	No sprinklers. Faucet does not work- Not ADA accessible. Need Fire Strobe. Vents need to be cleaned. Replace carpet. Replace cork boards, blinds. Replace cabinets. Patch and paint walls.
Building A Workroom 444					No sprinklers. Replace carpet and vinyl floor tiles. Patch and paint walls. Area completely not accessible to ADA. Only access is staircase which has incorrect stair rail heights
Teacher's Lounge Area A-230	1,3		X		Replace broken ceiling tiles – T-bar and glue-on. Sprinklers are missing. Replace carpet and cabinets. Patch and paint walls. No emergency lighting in staircase. Replace Balcony door.

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UP-GRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D Corridor 15					<i>Replace ceiling tiles and vinyl floor tiles. Replace two drinking fountains.</i>
Building C					<i>Replace drinking fountain outside Mechanical C-180</i>
Building D, corridor by Storage D-187					<i>Replace ceiling tiles and vinyl floor tiles.</i>
Building D, Library Foyer					<i>Replace ceiling tiles and vinyl floor tiles. Replace drinking fountains.</i>
Building B, corridor 178					<i>Replace ceiling tiles. Replace drinking fountain. Repair and refinish wooden hallway frame between corridors B-178 and A-177 at Stair #4. Repair and refinish wooden stair trim at CR B-123</i>
Building A, corridor 177					<i>Replace drinking fountain.</i>
Building A, corridor 112					<i>Replace drinking fountain.</i>
Building A					<i>Replace drinking fountain and rails outside Girls RR A-129</i>
Building A					<i>Replace drinking fountain outside Storage A-138</i>
Patio outside CR E-145					<i>Replace drinking fountain, sink, basement grill. Replace patio furniture.</i>
Kindergarten play yard					<i>Replace drinking fountain, resurface asphalt, repair fence and sliding gate.</i>
Building J, Hallway to CR J-150					<i>Replace ceiling glue-on tiles.</i>
Building B, corridor 227					<i>Replace drinking fountain and rails outside CR B-221</i>
Building B, corridor 227					<i>Repair and refinish wooden hallway frame at Stair #4.</i>
Building A					<i>Replace drinking fountain at Stair #6.</i>
Building A, corridor 214					<i>Replace vinyl floor tiles.</i>
Building B, corridor 209					<i>Replace drinking fountain at CR D-202</i>
Building B, Vest D-212					<i>Clean floor, replace outdoor furniture</i>

BUILDING/ROOM/AREA	ITEM	AD-EQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Auditorium					<i>Unused floor ventilation vents need to be covered</i>
Auditorium, Balcony					<i>Unused floor ventilation vents need to be covered</i>
Auditorium loading dock door					<i>Need to be repaired or replaced</i>
Auditorium, Green Room					<i>Currently used as a storage. Need appropriate furniture/cabinets to be used as a dressing room.</i>
Back alley					<i>Inadequate lighting, especially in the back of Auditorium</i>
Clock Tower					<i>Clock Tower can be considered as City Landmark, clock need to be operational</i>
School central yard by Auditorium					<i>Insufficient lighting</i>
Breath Way					<i>Insufficient lighting</i>
All exterior stairs					<i>Steps damaged, deteriorated striping</i>
All exterior doors					<i>Doors and hardware need to be replaced</i>
Building D, MDF room 111					<i>Ventilation is required, MDF is constantly overheated.</i>
All school plumbing					<i>Existing galvanized piping needs to be replaced with PVC/copper</i>
All school storm drains					<i>Cleaning required</i>
Buildings B, C, A, F					<i>Lighting electrical panels located in corridors, have no locks, and accessible for students</i>





Client: BHLISD

Project: Horace Mann

Site: Horace Mann

Assessment Date: 6/11/08, 6-26/08

Completed by: Alan Kong, David

Bushnell, David Hernandez, Roman

Reicher, Arturo C. Arce

ADA ASSESSMENT

Priority Descriptions:

- 1 Immediate modification recommended
- 2 Modification should occur within one year or at next construction period
- 3 Modification should occur within 2-5 years
- 4 Modification recommended for added safety and convenience of disabled

BUILDING/ROOM/AREA	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building A, Room 128E, First Floor	ADA Bathroom non-compliant for clearances Need Unisex Sign for Bathroom Need Small ADA sign on door jamb Room not large enough to turn wheelchair- non ADA compliant	1				
Building A, Room 121H and J	ADA Non-compliant for clearances Labeled men's and women's restrooms but these rooms are utilized as boys and girls restrooms respectively	1				
Building A, Bathrooms 131B and 137H	Bathrooms are ADA Non-compliant Too small for wheelchair maneuverability	1				
Building A, Room 136	Janitorial Room too small to be ADA accessible	3				
Building A, Room 109 Music Room	Room is not ADA accessible, multi level room All handrails are deficient. This school must have handrails that are 34" to 38" for adults. A secondary rail is optional for elementary school children age cohort. 28" max for secondary rail but minimum of at least 9" gap between the primary and secondary rail	2				
All Buildings		1				

BUILDING/ROOM/AREA	IT E	M. COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building A, 2003 Second Floor		Room is not ADA accessible Door and opening too small to meet ADA requirements 7 1/2" from the ground, not ADA compliant Women's restroom is not ADA compliant by virtue of its small size. Room threshold is 7 1/2" above exterior finish floor	2				
Building A, 200E Building B, Covered Lunch Area		Vending Machines are not ADA compliant Drinking Fountains are missing grab bars	2				
Building B, Bathrooms 145D, 146A, 149C		ADA Non Compliant Bathroom is too small	1				
Building B, Showers 145C and 149C		ADA Non Compliant Showers are too small to fit a wheelchair Also, there needs to be a seat to accommodate the ADA person	2				
Building B, Room 147 Multipurpose Room		Transition threshold of 1" is too high for wheelchair	2				
Accessible Entry from Hamel Dr.		Slope is 9.3%. Replace ramp to achieve 8.3% or less.	2				
Outside drinking fountains		Remove existing and provide new ADA compliant hi-low drinking fountains (4 locations)	1				
Building B outside drinking fountain		Cross slope is 4%. Re-grade to achieve 2% or less.	2				
Access ramp to Auditorium		Add handrails.	1				

BUILDING/ROOM/ AREA	I T E M	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Building B, Stairwell adjacent to elevator		Handrails are not ADA compliant and are substandard	1				
Building B, Room 250 Library		Workstation needs to have ADA counter	2				
Building C, Rooms 150B and C (Men's and Women's Toilet)		Non ADA Compliant Not enough wheelchair clearance	1				
Building C West Entrance		Ramp too steep for wheelchair accessibility No appropriate handrail for wheelchair to enter building	1				
Building C Room 150 Auditorium		Ramps down to the auditorium are too steep Egress from the northwest and northeast doors are blocked	1				
Building C East Entrance		Handrails are not ADA compliant	2				
Building D, Room 222, Classroom		Thermostat needs to be lowered for ADA	2				
Building D, Rooms 223 and 226 (Boys and Girls Restroom)		ADA non-compliant. Not enough clearance for wheelchair access. There is only 1 grab bar in the ADA accessible toilet	1				
Entry Doors at top of Auditorium Access ramp		Provide panic hardware.	1				
Cafeteria Entry		Replace handrails, replace panic hardware, re-work threshold to provide ½" level difference.	1				
Parking Garage		Parking has 59 stalls. Re-stripe to provide additional accessible parking space and required signage.	2				
Parking Garage		To provide convenient access to Auditorium ramp needs to be added in addition to existing stairs.	1				

BUILDING/ROOM/AREA	ITEM	COMMENTS/DETAILS/RECOMMENDATIONS	PRIORITY	PRIORITY 1 COST ESTIMATE	PRIORITY 2 COST ESTIMATE	PRIORITY 3 COST ESTIMATE	PRIORITY 4 COST ESTIMATE
Exterior courtyard between Buildings A and E		Safety Tree Grill at Tree Stumps for ADA Entry is not ADA accessible. There is no ramp. Also, office advised that ADA would enter through emergency exit that is always locked. Closure pressure is too harsh for ADA	1				
Building A Entry Courtyard 100		Exterior sidewalk along perimeter of building	2				
Building E Entry		Stairs need handrail leading to entrance	2				
Building E Exterior		Need proper floor grill, spacing exceeds 1/2"	1				
Building B, Room 142R		Needs ADA ramp due to elevation differential threshold of 8"	2				
Building B, Elevator		Elevator not ADA compliant	2				



Client: BHHSJ

Project: Horace Mann

Site: Horace Mann

Assessment Date: 6-11-08/6-26-08

Completed by: Alan Kong, David

Bushnell, David Hernandez, Roman

Reicher, *Suzanne C. Arce*

FACILITY ASSESSMENT (physical)

General site review:

- 1 Aesthetic needed
- 2 Structural needed
- 3 ADA review needed
- 4 HAZMAT review needed
- 5 Fire/Life Safety

BUILDING/ROOM/AREA	ITEM	ADAPTABLE	NEEDS UPGRADE PROGRAM	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building A, Room 128E, First Floor	3			X	ADA Bathroom Non-compliant Room does not have enough wheelchair clearance Light switch is too far from door jamb. Replace cabinets and ceramic floor tiles. <i>Air quality questionable.</i>
Building A, Room 107 Computers Building A, Room 128A, 128B, 128C, and 128D, First Floor, Nurses Office	1.5 1.5	X X			Replace vinyl floor, new cork boards, need more 120VAC and computer network outlets, patch and paint walls. Replace vinyl floor, refinish wooden panels, replace damaged ceiling tiles, new movable partitions, patch and paint walls. According to worker in room, independent company did air quality survey of the room. High concentrations of formaldehyde present. Replace vinyl floor, replace damaged ceiling tiles, patch and paint walls. <i>Need more computer network & 120V AC outlets, conduit placed haphazardly. Light enclosure missing, no fire sprinklers</i>
Building A, Room 123, Storage	4		X		Ceiling tile water damage, Fire Door Blocked, Fire rating on door missing, verify fire rating, Vending Machine not ADA Compliant Replace vinyl floor, refinish wooden panels, replace damaged ceiling tiles, clean HVAC registers, patch and paint walls. <i>Replace drinking fountain, exterior electrical panel cover damaged</i>
Building A, Room 121, 121B Dining	1.5			X	Replace ceiling tile (much discoloration) PhotoCell Loose, Patch and Paint, replace vinyl flooring
Building A, Room 121D, Serving	1			X	Ceiling Tiles need replacement. Patch and Paint, replace vinyl flooring.
Building A, Rooms 121E, 121F	F			X	
Building A, Room 121H and I	3		X		Need Unisex Sign for Bathroom, Need Small ADA sign on door jamb Lighting in area needs to be replaced. Room not large enough to turn wheelchair

BUILDING/ROOM/AREA	ITEM	ADUQATE	NEEDS UPGRADE	REPLACEMENT	COMMENTS/DETAILS
Building A, Rooms E21 C and D	5		X		Need exit sign and strobe. Needs fire extinguisher. Replace vinyl floor, replace damaged ceiling tiles, patch and paint walls. Replace drinking fountain.
Building A, Room 121A Classroom	1			X	Replace vinyl floor, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, clean HVAC registers. 120V AC outlet exposed. Fix wooden ceiling beams. replace drinking fountain, exterior electrical panel cover damaged
Building A, Classrooms 101, 102	1	X			Replace vinyl floor area, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls. No strobe on fire alarm Replace vinyl floor area, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls. Need more computer network & 120V AC outlets. Door threshold needs repair/patch, automatic door opener needs to be replaced on door with access to playground, ramp in door is also cracked.
Building A, Classroom 103	1,5			X	
Building A, Classroom 104	1,5	X			Replace vinyl floor area, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls. Need more computer network & 120V AC outlets. No strobe on fire alarm
Building A, Classroom 106	1,5	X			Replace vinyl floor area, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, replace cabinets and sink in storage area
Building A, Rooms 111 and 119 Boys and Girls Restroom	3		X		ADA Noncompliant Labeled as mens and womens but utilized as girls and boys restrooms respectively
Building A, Corridor 120	1			X	Replace vinyl floor, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, replace light fixtures by CR 101 and 116, replace two drinking fountains, repair lockers.
Building A, Classrooms 115, 117	1			X	Replace vinyl floor areas, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls. Door thresholds needs repair, no strobe on fire alarm need more computer & 120V AC outlets
Building A, Classroom 113	1			X	Replace vinyl floor areas, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, new cork boards, replace lighting fixtures. No strobe on fire alarm, replace door. Ceiling Tile is loose. Wall needs painting and repair. Bookshelf is blocking ADA clearance Heating does not work properly in classroom. Replace vinyl floor areas, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, new cork boards. Door threshold damaged, wires exposed, no strobe on fire alarm, automatic door opener missing cover
Building A, Room 114	1			X	Replace vinyl floor areas, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls, new cork boards, replace lighting fixtures, no strobe on fire alarm, exposed wires, second window from south east corner is leaking and has incurred water damage in the prep ..
Building A, Room 115	1			X	Replace vinyl floor areas, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls
Building A, Room 116	1,5			X	no strobe on fire alarm, need more computer & 120V AC outlets

BUILDING/ROOM/AREA	ITEM	ADQUATE	NEEDS UPGRADE	REFLECTOR ENT	COMMENTS/DETAILS
Building A, Room 110A and B	1			X	Light in rooms need to be replaced. <i>replace all lavatories, remove vinyl floor, no strobe on fire alarm, check for running hot water</i>
Building A, Room 110, MFP	1			X	Ceiling Tiles need to be replaced. Drywall need to be patched, wall damage HVAC Plumbing all exposed- T-bar ceiling needed to cover. Electrical panel at exterior needs a cover. New carpet, new sink.
Building A, Room 2	1,5			X	Needs hand rail, new carpet, new lighting, patch and paint walls, no strobe on fire alarm. Need many computer network & 120V AC outlets, air quality in room is questionable.
All Buildings- Stairways	5			X	All handrails are deficient. School must have a handrail that is 34"-38" for adult and not mandatory but advisable to have a secondary rail for younger children, 28" MAX but at least 9" gap minimum between the primary and secondary rail. Room is not ADA accessible.
Building A, 200B Second Floor	3		X		Door and opening too small to meet ADA requirement 7 1/2" from the ground, not ADA compliant
Building A, Classroom 201	1,5			X	New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. New cork boards. Replace vinyl floor areas. Need more computer network and 120VAC outlets. <i>No strobe on fire alarm</i>
Building A, Classrooms 202, 203, 205, 206, 207	1,5			X	New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. Replace vinyl floor areas. <i>No strobe on fire alarm</i>
Building A, Classroom 204	1,5			X	New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. Replace vinyl floor areas. <i>No strobe on fire alarm</i>
Building A, Classroom 207	1,5			X	New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. New cork boards. <i>No strobe on fire alarm</i>
Building A, Classrooms 208, 209	1,5			X	New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. New cork boards. <i>No strobe on fire alarm</i>
Building A, 2nd Floor Corridor	1,5			X	Damaged Lockers. Replace skylights. Replace paper exit signs with real exit signs. New drinking fountain. Women's restroom is not ADA Compliant Room is too small Room is 7 1/2" above the floor
Building A, 200H	3		X		Entire building has no emergency lighting, gutters need to be replaced, many miscellaneous wires exposed around building. Building can be repainted.
Building A	1,5			X	

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building B, Covered Lunch Area	3		X		Vending Machines are not ADA compliant. Replace two Drinking Fountains.
Building B, Toilet 145D	3		X		Retile shower, replace fixtures. Proper signage needed.
Building B, Room 146A, Boys Toilet	1.5	X			Proper signage needed. Floor tile needs lead testing.
Building B, Room 148A, Girls Toilet	1			X	Door does not completely close on its own. Floor tile needs lead testing.
Building B, Toilet 149D	3		X		Retile shower, replace fixtures. Proper signage needed.
Building B, Office 145B	3		X		Patch and paint walls, fix clock/intercom panel, clean floor.
Building B, Office 149B	3		X		Patch and paint walls, clean floor.
Building B, Room 145 Boys Locker Room	5		X		Need proper exit signage. Boys locker room used for storage. More lighting, new lockers, clean floor, retiling shower area. New shower fixtures, patch and paint walls, remove decorative tiles from ceiling and paint, replace mirrors, replace drinking fountain. New emergency lighting system.
Building B, Room 149 Girls Locker Room	5		X		Need proper exit signage. More lighting, new lockers, clean floor, retiling shower area, new shower fixtures, patch and paint walls, remove decorative tiles from ceiling and paint, replace mirrors, replace drinking fountain. New emergency lighting system.
Building B, Room 147 Multipurpose Room	3.5		X		Needs fire alarm and strobe. Transition threshold of 1" is too high for wheelchair. Replace vinyl floor, replace damaged ceiling tiles, replace cork/white boards, patch and paint walls.
Building B, Stairwell adjacent to elevator and Balcony 259	3		X		Handrails are not ADA Compliant and are substandard. Replace exit signs, replace hose cabinet, replace drinking fountain, need more lighting.
Building B, Room 250 Library and Office 250A	1.1			X	Workstation needs to have ADA Counter. Replace damaged ceiling tiles, new carpet, need more computer network and 120VAC outlets. Patch and paint walls. Exposed wires need to be ducted or run through conduit. No hot water. AC thermostat broken, doors need to be repaired.

BUILDING/ROOM/AREA	ITEM	ADDDU	UCRA	CFM	COMMENTS/DETAILS
Building A, Main Vestibule	1,5			X	Replace vinyl floor, refinish wooden panels, replace existing glue-on ceiling tiles, patch and paint walls. Existing light fixture needs to be replaced.
Building A, Conf Rm 128	1,5			X	New carpet, replace existing damaged ceiling tiles, patch and paint walls. No strobe on fire alarm
Building A, Office 129	1,5			X	New carpet, replace existing glue-on ceiling tiles, patch and paint walls. No strobe on fire alarm
Building A, Office 130	1,5	X			Replace carpet, new cabinets and ceramic floor tiles in toilet, patch and paint walls.
Building A, Office 131A	1,5	X			New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls.
Building A, Bathrooms 131B and 137B	3		X		Bathrooms are ADA Non-Compliant. Too small for wheelchair maneuverability
Building A, Room 136	3		X		Janitorial Room not ADA accessible, patch and paint walls, replace lavatory, replace cabinets, replace existing damaged floor, no strobe on fire alarm Ceiling Tile Needs to be replaced
Building A, Room 133	3		X		Replace vinyl floor, refinish wooden panels, replace damaged ceiling tiles, patch and paint walls. Need new light fixture. Need more computer network & 120V AC outlets No strobe on fire alarm
Building A, Workroom 131	5		X		New carpet, replace existing damaged ceiling tiles, refinish wooden panels, patch and paint walls. Replace cabinets. Need more computer network & 120V AC outlets. No strobe on fire alarm.
Building A, Custodian 134, 135, 136	1	X			Clean floor, replace cabinets, patch and paint walls.
Building A, Speech 137	1,5			X	Replace vinyl floor, patch and paint walls. Proper signage needed
Building A, 137A	1,5			X	Replace vinyl floor, patch and paint walls. No strobe on fire alarm, replace vinyl floor Proper signage needed
Building A, Office 137C	1,5			X	Replace vinyl floor, patch and paint walls. Refinish wooden panels, replace damaged ceiling tiles. No strobe on fire alarm. Proper signage needed
Building A, Room 109 Music Room	1,3		X		Room is not ADA Accessible. Multi Level Room. Possible water leakage problem at soffit. New carpet, replace vinyl floor, patch and paint walls. Refinish wooden panels. Need more computer network & 120V AC outlets. Replace lavatory. Air quality questionable.
Building A, Room 108, Art	1			X	Handles from exterior doors are missing. Replace vinyl floor, patch and paint walls. Replace ceiling glue-on tiles. New white and cork boards.

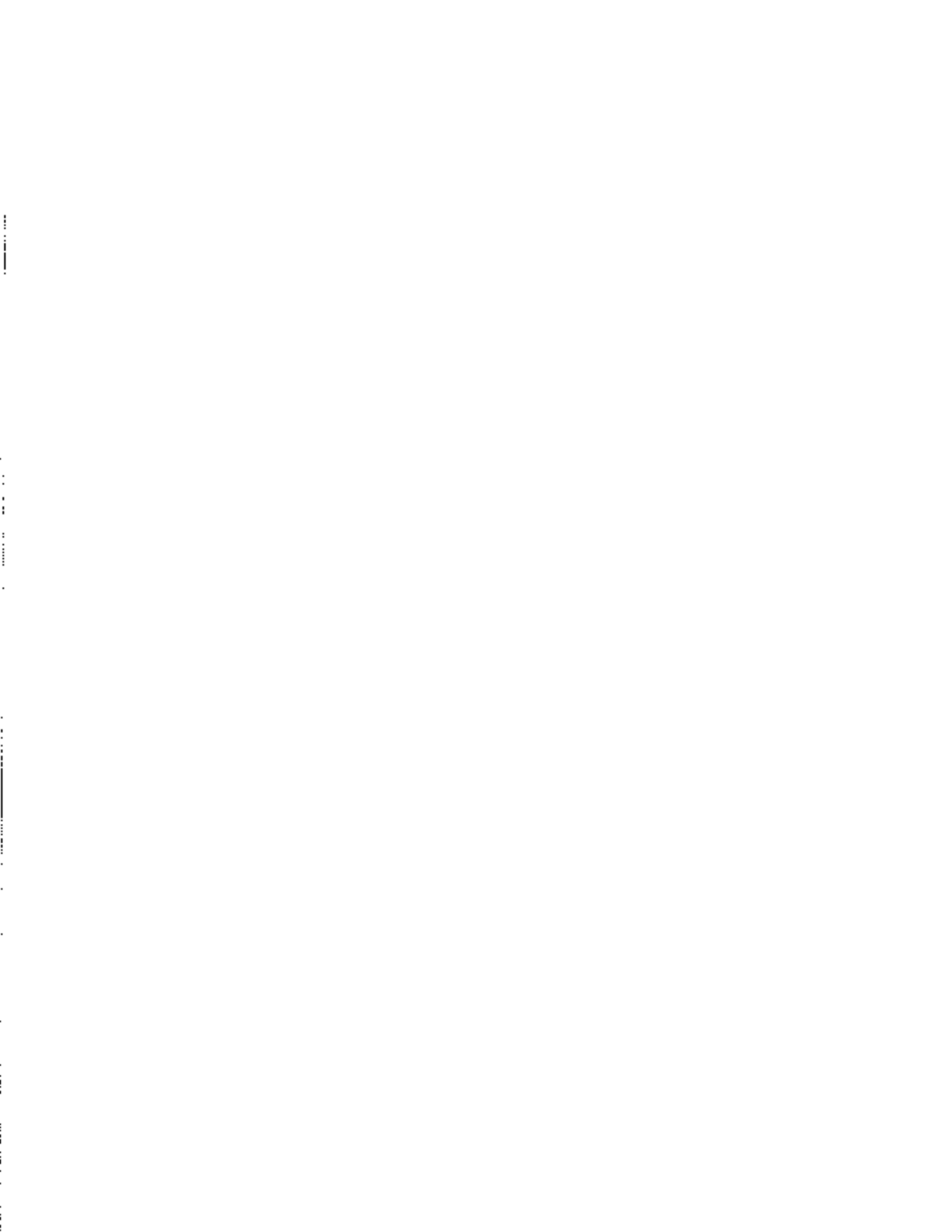
BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	REPLACE	COMMENTS/DETAILS
Building B, Classroom 251 Building B, Classroom 253A Teacher's Workroom and 253B Storage	1			X	Replace damaged ceiling tiles
	1			X	Replace damaged ceiling tiles. Sink not accessible to handicap. Replace vinyl floor cover, patch and paint walls, need more computer network and 120VAC outlets. No lighting switch by entry door.
Building B, Classroom 252	5			X	Need exit sign and strobe. Replace carpet, patch and paint walls.
Building B, 359, Men's Toilet	1	X			Janitor closet needs patch and paint, floor is damaged, & ceiling needs to be finished. Proper signage needed for restroom, fix door hinge and lock
Building B, 362, Girls Toilet	1,4			X	Replace existing damaged floor tile, floor tile needs lead testing, door lock needs repair, door needs to be repainted
Building B, 3 rd Floor, Balcony 363	1			X	Electrical panel needs proper lock
Building B, Classrooms 353	5		X		New drinking fountain, new exit signs, more lighting, replace hose cabinet. No fire strobe. Need more computer network & 120V AC outlets. In storage room replace existing damaged ceiling tile, replace lavatory cabinets, finish on floor needed. Patch and paint walls.
	5			X	Replace lavatory & cabinets, floor tile needs lead testing, replace missing ceiling tile, ceiling light enclosure missing, student computer(s) worn
Building B, Classroom 355	1,5			X	Replace existing damaged ceiling tiles, floor tile needs lead testing, door needs to be repainted, proper signage needed
Building B, Workroom/Storage 353A	1,5			X	Replace floor ceramic tiles, new cabinets and associate plumbing, patch and paint walls, replace damaged ceiling tiles.
	1			X	Patch and paint walls. Replace damaged ceiling tiles. Replace storage curtain door. Repair kitchen cabinets. Door at entrance damaged is damaged proper signage is needed, south east door not functioning, floor tile needs lead testing, replace damaged floor tile, remove miscellaneous nails on wall, no hot water.

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building B, Middle room between 353 and 355	5		X		Need fire alarm and strobe
Building C, Rooms 150 B and C Mens and Women's Toilet	3		X		Non-ADA Compliant Not enough wheelchair clearance
Building C West Entrance	3		X		Ramp too steep for wheelchair accessibility No appropriate handrail for wheelchair to entrance <i>Exterior lighting needed, Glass damage on second east entrance, concrete damage on floor. On main entrance south hand railing missing, replace grip support on steps, planers in need of stucco repair (sandblast, plaster), exterior lighting needed, step access to dumpster area missing hand rails, gate entrance needs paint & rust repair.</i>
Building C East Entrance	1,3			X	Replace damaged glue-on ceiling tiles, replace (4) drinking fountains, patch and paint walls. Remove old heat radiators (if not used). <i>Structural retrofit of ceiling needed</i>
Building C, Auditorium Vest.	1,5			X	Replace vinyl floor, reinstall damaged ceiling tiles, new cabinets, new windows, new cork and white boards. Unisex RR needs complete renovation. Patch and paint walls. No emergency lighting
Building C, Band Room	1,5			X	

BUILDING/ROOM/AREA	ITEM	ADEQUATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Building D, 1 st Floor Parking Lot	1,2			X	Ceiling Tiles need to be replaced. Ceiling T-bar structural integrity questionable, bowing downward. Water damage at ceiling. T-bar needs to be replaced. Lighting fixtures needs to be replaced. Flose cabinet to be replaced. New emergency lighting system. Some window opening grids damaged.
Building D, Terrace Area 221	1			X	Patching needed at joints between concrete slabs Room was converted from storage to a classroom Room does not have a window. Thermostat needs to be lowered. Replace vinyl floor cover, replace damaged ceiling tiles, replace corroded HVAC registers.
Building D, Room 222 Classroom	1,3		X		Typical: Damaged Ceiling Tiles need to be replaced. Wallpaper needs to be replaced due to age. Patch and paint walls. Replace corroded HVAC registers. Refinish wall cabinets.
Building D, Second Floor Tutor Rooms, 212A, 218A, 213A, 217A, 215A, 214A, 216A	1, 5		X	X	Fire alarm and strobe needed due to the fact that teachers cover windows Rooms are used for storage instead of Tutor usage. Patch and paint walls, refinish wall cabinets.
Building D, Rooms 223 and 226 Boys and Girls Restroom	3		X		ADA non-compliant Not enough clearance for wheelchair access There is only 1 grab bar in the ADA accessible toilet.
Building D, Custodian 225	1,5			X	Replace vinyl floor cover, patch and paint walls, new math sink and associate plumbing.
Building D, North Terrace 220	1			X	Lockers are damaged Need light fixture cover at solita. Need more lighting. New exit signs, replace hose cabinet, replace drinking fountains. <i>Needs additional parking, fire sprinklers, rodent & insect control, remove and replace downspouts and gutters, electrical upgrades to accommodate new technology, insufficient ventilation, remove and replace roof tile at select locations. Remove and replace storm drains that do not give water passage to sewer line engineer system). Proper signage needed</i>
Entire Facility	1,4,5			X	

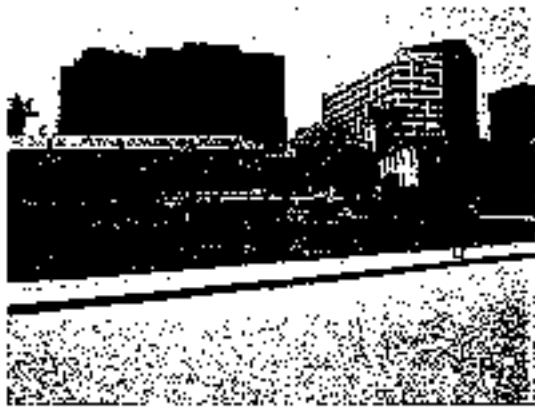
BUILDING/ROOM/AREA	ITEM	ADDPATE	NEEDS UPGRADE	NEEDS REPLACEMENT	COMMENTS/DETAILS
Exterior Courtyard between Buildings A and E	3		X		Safety Tree Grill at Tree stumps for ADA Entry is not ADA accessible. There is no ramp. Also, office advised that ADA would enter through emergency exit that is always locked. Closure pressure is too harsh for ADA
Building A Entry Courtyard 100	3		X		Sidewalk cracks and holes need to be patched Stairs need handrail leading to entrance Exit Sign needs to be illuminated
Exterior sidewalk along perimeter of building	3		X		
Building E Entry	3		X		Building looks to be in the process of being renovated. It looks abandoned Floor is stripped of everything Furniture is haphazardly placed everywhere Ceiling Tile falling and all over the place on the floor Building needs paint because of prior rust stains Missing crawl space vent Need proper floor grill, spacing exceeds 1/2" Electrical shut off panel easily accessible by anyone
Building E General	1			X	
Building E Exterior	1,3			X	
Building B, Room 142B	3		X		Needs ADA Ramp because difference in elevation is about 8"
Building A-D Exterior	1			X	Can be repainted

Appendix C-
URS Infrastructure
Reports



INFRASTRUCTURE ASSESSMENT

BEVERLY HILLS UNIFIED SCHOOL DISTRICT



Prepared for:
Karen Christiansen
Director of Facilities and Planning
Beverly Hills Unified School District
255 South Lasky Drive
Beverly Hills, California 91523

July 31, 2007
URS Project Nu. 29405045



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3. Infrastructure Assessment – Beverly Vista School

3.1. Power

The existing main electrical service is a GE 2500A, 277/480V, 3phase switchboard, which consists of main and distribution sections. It is located outside building B. The meter number is #V349E-003673. There are (4) buildings: B, C, D and E. Each building is served by 480V distribution boards with transformers for 120/208V panels. At time of survey, buildings B and C are under construction. Building C is served by a 400A, 277/480V, 3phase distribution board. Building D is served by a 1200A and 600A, 277/480V, 3phase distribution boards. Building E is served by a 400A, 480V, 3phase motor control center (MCC) and 400A, 277/480V, 3phase distribution panel.

The main switchboard is in fair condition. Most of the power distribution was replaced during modernization in 2000 and appears to be in good condition. The underground site distribution wiring was also replaced at the same time although conduits were re-used so it should be in good condition. The old MCC and distribution panel in building E should be replaced although most of the loads have been removed from the motor control center.

3.2. Telecommunications

The existing MDF is in the basement of building C with the main telephone backboard. It feeds several IDF's in each building with fiber optic cables. The MDF is in fair condition although space should be conditioned. The IDF's were installed during modernization in 2000 and appears to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2000 with new conduits and wiring and should be in good condition.

3.3. Fire Alarm

The main fire alarm control panel (FACP) is an FCI 2000 located in building D. The system is addressable with automatic detection in some areas only. The buildings are sprinklered. There are horns/strobes in common areas. The system was installed in 2000 as part of modernization and appears to be in fair condition. However, per BHUSD, the system always has a fault condition and is not maintained properly by First Fire Systems, an outside vendor. At time of survey, the FACP does indicate a fault condition. The underground site distribution was installed in 2000 with new conduits and wiring and should be in good condition.

3.4. Security

The security system is manufactured by Sonitrol and located in building D. The system consists of keypads, card readers, motion detectors, door contacts and (9) CCTV cameras. Most of the keypads, motion detectors and CCTV cameras are located outside the buildings. The CCTV monitor and multiplexer are located in the basement of building C. The CCTV output can also be viewed on any computer with internet access. The system is monitored remotely by Sonitrol and BHUSD does not have 24 hour security personnel so any alarm condition must be checked locally by BHUSD.

The security system appears to be in good condition. However, the CCTV monitor and multiplexer should be located in the administration area of building D. Also, one of the cameras needs to be checked since the video is not showing on screen. Finally, for optimum operation, it could be beneficial to have a local security company monitor the system so any alarm condition can be checked on-site by the security company's personnel.

3.5. Public Address

The public address (PA) system is a Simplex S100 with the head-end located in building D. The system is connected to the telephone system so any announcements are made thru the telephone. The system has speakers located throughout (interior and exterior), including at the portables. The system was installed in

2000, including underground site distribution, and appears to be in good condition. However, there are no PA speakers located in the remote playground areas but per BHUSD, the system can be heard thru the portables' speakers.

3.6. Miscellaneous (Electrical)

There is a master lighting control system by Lighting Control & Design (LC&D). However, per BHUSD, the system is problematic. At time of survey, there were exterior lighting fixtures that were on during the middle of the day. The system should be checked for correct programming. System was installed in 2000 modernization.

There is a large open playground area on the south side of the campus. There is currently no site lighting or any power capability in the area. For security and night time school events, light standards or floodlights should at least be provided for night lighting, as well as conduits and junction boxes for future power requirements.

There is a master clock system. It is a Simplex system located in the same rack as the PA system. The system appears to be in good condition. It was installed in 2000 modernization.

There is no program bell system. Per BHUSD, it is confusing with the different class schedules (kindergarten and elementary). After recess, students are called by teachers to go back into the classrooms.

3.7. Fire Protection

There are no reported fire protection water issues to report. The fire sprinkler water shut-off valve is located in an underground vault and was not accessible for observation. Piping was not inspected.

3.8. Storm Drainage

Based on discussions with school maintenance personnel, there are no storm drainage issues to report. Field observations concluded that existing grated drain boxes and drainage swales (including the staff parking lot) require annual maintenance prior to the rainy season. Several drain boxes were observed to be filled with debris (see photographs). Piping was not inspected.

3.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

3.10. Sanitary Sewer

Based on discussions with school maintenance personnel, there are no sanitary sewer issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

3.11. Pavement (Asphalt and Concrete)

Asphalt:

The asphalt paving for the play area and construction parking lot is in poor condition. Construction parking lot has been recently slurry sealed. Recommend crack filling, removal and replacement of failed areas and complete asphalt overlay for entire area.

The asphalt paving for the staff parking lot is in poor condition. Recommend crack filling, removal and replacement of failed areas and complete asphalt overlay for entire area.

Concrete:

Interior concrete is in generally good condition. Recommend complete inspection and grinding of raised joints. There is some concrete flatwork in planter box adjacent to the administration office that appears to be draining toward the building (see photograph) – recommend replacement of this concrete to ensure positive drainage away from building.

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled/risen and are trip hazards – recommend repair (grinding) or replacement (see photographs).

3.12. Irrigation

Based on discussions with school maintenance, personnel irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

3.13. Miscellaneous (Site Work)

The following are various site work items that are in disrepair and should be addressed:

- Small culverts in the curb and miscellaneous curb and driveway concrete on Rexford Drive are damaged and need repair (see photographs).
- Handrail on concrete ramp at cafeteria entrance on Rexford Drive is showing signs of corrosion and should be addressed (see photographs).
- Electrical and telephone pedestals in the staff parking lot should be properly abandoned and removed (see photograph).

4. Infrastructure Assessment – El Rodeo

4.1. Power

The existing main electrical service is a Siemens 3000A, 277/480V, 3phase switchboard, which consists of main and distribution sections. It is located in building C, basement level Room 158. The meter number is #V349E-003289. There is an emergency switch board "EMSB" 1600A, 240V, 3phase. There are (5) buildings: A, B, C, D and E. Each building is served by the 277/480V main distribution board with transformers: TR-MS, A, B, C for 120/208V panels. The buildings are served by (4) W.A. Benjamin Electric Co., 600A, 240/120V, 1phase, 3 wire distribution boards: MSP-1, MSA, MSB, and MSC, which are all in Room 158. Building D, Room 134B also has distribution boards DP-P, Zinsco, 400A, 240V, 3phase, 3wire and DP-C, Zinsco, 400A, 120/240V 1phase, 3wire. Building E, Room 126 also has distribution board DP-D, G.E., 600A, 120/240V, 1phase, 3wire. Building F, Room 121 has a motor control center "MCCA", 400A, 240V, 3phase.

The main switchboard is in fair condition. Most of the power distribution in Room 158: MSP-1, MSA, MSB, and MSC; Room 134, DP-C, DP-P; Room 126, DP-D; and Room 121 MCCA, appear to be in poor condition and should be replaced. The underground site distribution wiring should be replaced. In building A corridor, the Zinsco 125A Panel and Panel X-5 should be replaced. In building B corridor, the G.E. 225A Panel X-6 should be replaced. In building C, basement level, room 158, 100A Panel K, in corridor, Zinsco 225A Panel X-1, Zinsco 225A Panel X-3, and G.E. 225A Panel X-4 should be replaced. In building D, room 228A Zinsco 225A Panel, room 137 225A Panel M, Zinsco Panel EM, SQ, D Enclosed breaker 50A, and in room 327-A Zinsco 225A Panel H should be replaced. In room 137 the Jefferies 25kva transformer should be replaced and relocated. In room 208, Panel PP-S 240V, 3phase is no longer in use. In building E, room 126 G.E. 225A Panel A should be replaced.

4.2. Telecommunications

The existing MDF is in the basement of building C with the main telephone backboard. It feeds several IDF's in each building with fiber optic cables. The MDF is in fair condition although the space should be conditioned. The IDF's were installed during modernization in 2004 and appear to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2004 with new conduits and wiring and should be in good condition.

4.3. Fire Alarm

The main fire alarm control panel (FACP) is an FCI 7200 located in building C basement. The system is addressable with automatic detection in some areas only. There are horn/strobes in common areas. The system was installed in 2004 as part of modernization and appears to be in fair condition. However, per BHUSD, the system always has a fault condition and is not maintained properly by First Fire Systems, an outside vendor. At time of survey, the FACP does indicate a fault condition. The underground site distribution was installed in 2004 with new conduits and wiring and should be in good condition.

4.4. Security

There is no security system on campus.

4.5. Public Address

The public address (PA) system is a Simplex 5120-9180 with the head-end located in building C. The system is connected to the telephone system so any announcements are made thru the telephone. The system has speakers located throughout (interior and exterior), including at the portables. The system was installed in 2004, including underground site distribution, and appears to be in good condition. However, there are no PA speakers located in the remote playground areas but per BHUSD: the system can be heard thru the portables' speakers.

4.6. Miscellaneous (Electrical)

There is an open playground area on the south side of the campus. There is currently no site lighting or any power capability in the area. For security and night time school events, light standards or floodlights should at least be provided for night lighting, as well as conduits and junction boxes for future power requirements.

There is a master clock system. It is a Simplex system located in the same rack as the PA system. The system appears to be in good condition. It was installed in 2004 modernization.

There is program bell system that is tied into the Simplex system located in the same rack as the PA system. The system appears to be in good condition. It was installed in 2004 modernization.

There is CATV system. The terminals are located in the basement of building C. The underground site distribution was installed in 2004 with new conduits and wiring and should be in good condition.

4.7. Fire Protection

There is currently no fire protection system serving the buildings.

4.8. Storm Drainage

Based on discussions with school maintenance personnel, there are no storm drainage issues to report. Field observations concluded that existing grated drain boxes and drainage swales require annual maintenance prior to the rainy season. Several drain boxes were observed to be filled with debris (see photographs). Piping was not inspected.

4.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

4.10. Sanitary Sewer

Based on a report by North County Inspection Services, there are sanitary sewer issues at this school (see Plumbing Inspections Report, Exhibit B). Main piping to original building is approaching or beyond service life and may require replacement in the near future. Some clean-out covers are missing (see photographs). Piping was not inspected.

4.11. Pavement (Asphalt and Concrete)

Asphalt:

The asphalt paving for the play area is in fair to good condition (some minor cracking but recently slurry sealed). Recommend slurry seal again in 5 to 10 years.

The asphalt/concrete paving for the staff parking lot is in poor condition. Recommend complete removal and replacement of failed areas and complete asphalt overlay for entire area.

Concrete:

Interior concrete is in generally fair to good condition except at entrance to school. There are some areas that have settled/risen and are trip hazards - recommend repair (grinding) or replacement (see photographs).

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled/risen and are trip hazards - recommend repair (grinding) or replacement (see photographs).

4.12. Irrigation

Based on discussions with school maintenance personnel, irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

4.13. Miscellaneous (Site Work)

The following are various site work items that are in disrepair and should be addressed:

- Chain link fencing around perimeter requires minor repair (see photographs). Fencing along staff parking lot is old and worn - recommend replacement within 5 years.
- Retaining wall behind trash bins in staff parking lot needs repairing (see photograph).
- Planter walls around school entrance need repairing (see photograph).
- Handrail from playground needs repairing (see photograph).

5. Infrastructure Assessment – Hawthorne

5.1. Power

The existing main service "MS" is a 4000A, 277/480V, 3phase switchboard, which consists of main and distribution sections. It is served from a pad-mounted transformer located inside the SCE chain link fence enclosure. The switchgear "MS" is located at the northeast rear corner of building B accessible thru the back alley. The electrical service serves (10) buildings: A, B, C, D, E, F, G, H, J and K. The main buildings (A, E, and K) have electrical rooms, which are served by 480V distribution boards with step-down transformers for 120/240V distribution boards and panels. Buildings A, B and Auditorium are served by old, original Federal Pacific 120/240v switchboards "PHA" and "PHB" in the basement via a 167.5Kva step down transformers "MS1" and "MS2" installed in 2004 modernization. It is located in the first floor electrical room. An 800A 120/208v square D switchboard "E" serves the recently installed 225A-120/208V-distribution panel "DP", which provides power to new sub panels in these buildings.

Buildings C and D are served by an old Federal Pacific 400A, 120/240v, 1 ph switchboard "PHC" via 100 kva step down transformer "MS3" located in building A. Buildings E, F, J and cafeteria are served by an old 600A, 120/240v, 1ph, Federal Pacific switchboard at the basement boiler room. Buildings G and H are served by Square "D" 600A-120/208v, 3ph distribution board "MA1" via a 225 kva step-down transformer "MS7", installed during 2004 modernization. Building K is served by an old General Electric switchboard 800A, 120/208v, 3phase, 4w installed in 1967.

The main switchboard "MS" is in good condition. Most of the 120/240v, 1ph power distribution switchboards and panels were not replaced during 2004 modernization and appears to be in poor condition. All Federal Pacific and Bulldog electrical switchboards are original to the building since 1927 and should be replaced. All the Square D 120/208v, 3ph switchboard, panels, MCM step-down transformers, feeder conductors and conduits that were added during the 2004 modernization are in good condition. The original 120/240v underground site distribution wiring was never replaced and appears to be in poor condition. The old General Electric MCC and distribution panels in building E should be replaced as well. All the original sub panels installed in 1927 should be removed and replaced.

The school has an old natural gas 20 Kw, 120/240v Daytona generator system located at Building A, in the original electrical room in the basement. It serves a 100A panel for the emergency egress lighting in the Administration building and fire alarm system. The generator is in poor condition and was never tested for more than 10 years. The generator system should be replaced or an alternate source of emergency back power should be installed (inverter or UPS system).

5.2. Telecommunications

The existing MDF is located in MDF-Phone Room 187 in building C with the main telephone backboard. It feeds several IDF's in each building with fiber optic cables. The IDF's were installed during modernization in 2004 and appear to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2004 with new conduits and wiring and should be in good condition. The telephone system is NEC NEAX 2000 IVS integrated voice system installed in the 2004 modernization. The system appears to be in good condition.

5.3. Fire Alarm

The main fire alarm control panel (FACP) is an FCI 7200 located in basement of building A. The system is addressable with automatic detection. Some of the buildings have fire protection. There are notification devices such as horn/strobes in common areas. There are initiation devices such as smoke detectors, heat detectors, duct detectors and pull stations in classrooms, hallways and support areas. The system was installed in 2004 as part of modernization and appears to be in fair condition. However, per BITUSD, the system always has a fault condition and is not maintained properly by First Fire Systems, an outside vendor. At time of survey, the FACP does indicate a fault condition. The underground site distribution

was installed in 2004 with new conduits and wiring and should be in good condition. The remote annunciator is located in the administration reception counter.

5.4. Security

The security system is manufactured by Sonitrol and located in building A. The system consists of keypads, card readers, motion detectors, door contacts and (2) CCTV cameras located in the admin building.

The security system appears to be in good condition. However, the system is not currently being used. More cameras need to be installed in some areas including the south playground near building K and the back alley. Finally, for optimum operation, it could be beneficial to have a local security company monitor the system so any alarm condition can be checked on-site by the security company's personnel.

5.5. Public Address

The public address (PA) system is a Simplex 5100 Building Communication System with the head-end located in room 187 in building C. The system is connected to the telephone system so any announcements are made thru the telephone. The system has speakers located throughout interior and exterior buildings. The system was installed in 2004, including underground site distribution, and appears to be in good condition.

5.6. Miscellaneous (Electrical)

There are two-clock systems. Both systems are Simplex systems. One is located in the same rack as the PA system and the other is located in the at the telephone backboard. The systems appear to be in good condition. It was installed in 2004 modernization.

5.7. Fire Protection

Some of the buildings on the campus are sprinklered. There are no reported fire protection water issues to report. Piping was not inspected.

5.8. Storm Drainage

Based on discussions with school maintenance personnel, there are no storm drainage issues to report. Field observations concluded that existing grated drain boxes require annual maintenance prior to the rainy season. Several drain boxes were observed to be filled with debris (see photographs). Recommend re-grading of planter box next to PLC building (soil is within 6" of building weep screed). Piping was not inspected.

5.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

5.10. Sanitary Sewer

Based on a report by North County Inspection Services, there are sanitary sewer issues at this school (see Plumbing Inspections Report, Exhibit C). Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

5.11. Pavement (Asphalt and Concrete)

Asphalt:

The asphalt paving for the play area is in fair to good condition (some minor cracking but recently slurry sealed). Recommend slurry seal again in 5 to 10 years.

Concrete:

Interior concrete is in generally fair to good condition. Recommend complete inspection and grinding of raised joints. There is some concrete flatwork in adjacent to the boiler room that has settled and needs repair (see photograph). Brick pavers near flagpole are in poor condition – recommend replacement or repair.

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled and are trip hazards – recommend repair (grinding) or replacement (see photographs).

5.12. Irrigation

Based on discussions with school maintenance personnel, irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

5.13. Miscellaneous (Site Work)

The following are various site work items that are in disrepair and should be addressed:

- Chain link fencing around perimeter requires minor repair (see photographs).
- Rubber playground surfacing is showing signs of wear – recommend maintenance.

6. Infrastructure Assessment – Horace Mann (Horace OCA)

6.1. Power

The main electrical service "MSB" is an old Zinsco 1600A, 277/480V, 3ph, 4w switchgear which consists of main/meter section (meter SCE #V345N-000590) and a distribution section. It is located at the basement electrical and mechanical room 1 in building A. The meter is connected to GPS antenna, which transmits the meter reading to SCE office. The main electrical service also provides power to remote distribution boards for different buildings B, C (auditorium) and D.

Building A is served by an old 167.5Kva, Jefferies dry type step down transformer (T4) that converts 277/480v to 120/240v. The transformer serves an old General Electric 1200A, 120/240v distribution board. There are also (2) 100Kva Jefferies 480v to 120/240v, 1ph step down transformers in the basement that serves (2) old 400A distribution panels "1" and "2" connected to 120/240v, 1 ph sub panels in building A. There is also (1) 75Kva, 480v to 120/208v, 3 ph step-down transformer that serves an old 225A air conditionings panel in this building.

Building B is served by an old dual or split bus distribution board with an 800A, 277/480v, 3ph bus and a 1200A, 120/208v, 3ph, bus via a 300 Kva step-down transformer located in the janitor's closet near the mechanical room. The 800A 277/480v distribution board serves the air conditioning units, elevator machine room and distribution panels. The 120v distribution panels serve the 120v sub panels in building B.

Building C (auditorium) is served by (2) 100A Square D load center sub-panels in the janitor's room. Building D is also served by (2) old 225 A Zinsco panels inside the electrical closet. Building E has its own power feed from SCE. It has is an old 600A, Cutler hammer switchgear located outside building E. It also serves the 5 portable classrooms.

The school has an old natural gas 20 KW, 120/240v Daytona generator system located at Building A electrical room in the basement. It serves a 100A panel for the emergency egress lighting in the Administration building and fire alarm system. The generator is in poor condition and was never tested for more than 10 years. The generator system should be replaced or an alternate source of emergency back power should be installed (inverter or UPS system).

The main switchboard "MSB" is in poor condition. Most of the 120/240v, 1ph power distribution switchboards and panels were not replaced during 2000 modernization and appears to be in poor condition. The main service should be upgraded to a 2500A service for future construction of building E. Presently building E is served from a different metered service. All Federal Pacific and Bulldog electrical switchboards are original to the building since 1967 and should be replaced. The 277/480v Cutler Hammer 3ph switchboard "DP1", panels, MGM step-down transformers; feeder conductors and conduits that were added during the 2000 modernization are in good condition. The original 120/240v underground site distribution wiring was never replaced and appears to be in poor condition. All the original sub panels installed in 1967 are in poor condition should be removed and replaced.

6.2. Telecommunications

The MDF is located in mezzanine of vestibule 134 in building A with the main telephone backboard. It feeds several IDF's in each building with fiber optic cables. The IDF's were installed during modernization in 2004 and appear to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2004 with new conduits and wiring and should be in good condition. The telephone system is NEC NEAX 2000 IVS integrated voice system installed in the 2004 modernization. The system appears to be in good condition.

The MDF Room is small and hard to access thru a mezzanine stairs. The room has all the communication equipment, cabinets, racks, PA system, bell system, and clock system. This can be a fire hazard and an

electrical code violation due to non-working clearance compliance. It is highly recommended that a new MDF room be relocated to a new location.

6.3. Fire Alarm

The main fire alarm control panel (FACP) is an FCI 7200 located in basement electrical and mechanical room 1 of building A. The system is addressable with automatic detection. All of the buildings have fire protection. There are notification devices such as horn/strobes in common areas. There are initiation devices such as smoke detectors, heat detectors, duct detectors and pull stations in classrooms, hallways and support areas. The system was installed in 2004 as part of modernization and appears to be in fair condition. However, per BHUSD, the system always has a fault condition and is not maintained properly by First Fire Systems, an outside vendor. At time of survey, the FACP does indicate a fault condition. The underground site distribution was installed in 2004 with new conduits and wiring and should be in good condition. The remote annunciator is located in the administration reception counter.

6.4. Security

There is no CCTV security system in the school. There are only intrusion devices installed in the main hallway of building A.

It is recommended to have security cameras installed in the buildings and in the perimeter of the school. The security system shall include CCTV monitors, keyboard, recorders, hard drives and cameras. For optimum operation, it could be beneficial to have a local security company monitor the system so any alarm condition can be checked on-site by the security company's personnel.

6.5. Public Address

The public address (PA) system is a Simplex 5100 Building Communication Systems with the head-end located in vestibule 134 mezzanine area in building A. The system is connected to the telephone system so any announcements are made thru the telephone. The system has speakers located throughout interior and exterior buildings. The system was installed in 2004, including underground site distribution, and appears to be in good condition.

6.6. Miscellaneous (Electrical)

There are two clock systems. Both systems are Simplex systems. One is located in the same rack as the PA system and the other is located in Simplex Time Control Center tied in to the Latham system. The systems appear to be in good condition. It was installed in 2004 modernization.

6.7. Fire Protection

There are no reported fire protection water issues to report. Piping was not inspected.

6.8. Storm Drainage

Based on discussions with school maintenance personnel, there are no storm drainage issues to report. Field observations concluded that existing grated drain boxes require annual maintenance prior to the rainy season. Several drain boxes were observed to be filled with debris (see photographs). Piping was not inspected.

6.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

6.10. Sanitary Sewer

Based on a report by North County Inspection Services, there are sanitary sewer issues at this school (see Plumbing Inspections Report, Exhibit D). Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

6.11. Pavement (Asphalt and Concrete)

Asphalt:

The asphalt paving for the play area is in fair to good condition (some minor cracking but recently slurry sealed). Recommend slurry seal again in 5 to 10 years.

Concrete:

Interior concrete is in generally good condition. Recommend complete inspection and grinding of raised joints.

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled and are trip hazards – recommend repair (grinding) or replacement (see photographs).

6.12. Irrigation

Based on discussions with school maintenance personnel, irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

6.13. Miscellaneous (Site Work)

The following are various site work items that are in disrepair and should be addressed:

- Electrical conduits to mobile units are exposed but protected by a temporary fence - recommend a permanent solution to protect conduits (new fencing or under-grounding conduits).
- Chain link fencing around perimeter requires minor repair (see photographs).

7. Infrastructure Assessment – Beverly Hills High School

7.1. Power

The main electrical service "MSA" is RSE Sierra 800A, 4160v, 3ph, 4w system with a 1200 A/3p frame with a 720A main fuse in the main fuse bay. It also has 4 600A frame fuse bay that supplies the different buildings in the school. It is located at the main electrical room at the basement of Building A. There are also high voltage step-down transformers from 4160v to 277/480v wye systems and switchboards in the room. The SCE meter is V349N-003974.

Building A is served from a 200A fuses in the 600A fuse bay, 4160v system. There is a MGM 1000Kva, 4160v to 277/480v step-down transformer located in the basement electrical room. An old 1600A-277/480v main distribution board "AA" serves each floor's 277/480v distribution boards, 120/208v distribution boards and panel boards, 277/480v lighting panels and 480v to 120/208v step down transformers. Most of the electrical system in the building are old and are at the end of the equipment's life. There is also a MGM 1500 Kva step-down transformer that serves the main distribution switchboard "AB" for all motor control centers and HVAC equipment. The 4160v switchgears and step-down transformers appear to be new and installed during the modernization in 2000.

Building B is served by a Cutler Hammer 400A-4160v fuse from main service "MSA". There are also three-fuse bays with a MGM 1000 Kva step-down transformer located next to the high voltage switchgears which serve buildings B, H, F and D. The building electrical room is located in the basement. The distribution boards located in the mechanical /electrical room are fed via a 750 Kva, 480v to 120/208v step-down transformer. Most of the main switchboards in the basement are new and installed during the modernization in 2000. Most of the lighting panels and power panels in different floors are old and need to be replaced.

Buildings C and D are served from a 200A-4160v-interrupter switch located in the southwest of building A. The existing switchboards are old but are not required for an upgrade due to future demolition of the building.

Building E is served from Switchboard "B", 3phase, 240V, 400A and Switchboard "C", 1phase, 120/240V, 800A, and 50A Main and transfer switch, all located in building F, Rm. F-7A. All are fed from ABB transformers located in the basement level of Building F, which are fed by FS-B1 4160V in Building B. The existing motor control centers are old and should be replaced. Most of the lighting panels and power panels in different floors are old and need to be replaced.

Building F is served from a 50A-4160v-interrupter switch in building B electrical room. Most of the lighting panels and power panels in different floors are old and need to be replaced. Switchboards A, B, & C located in Rm. F-7a are old and need to be replaced.

Building H is served from a utility vault adjacent to building H. It is fed from a 100A/4160v interrupter switch at the basement of building B. There are old Federal Pacific 800A-277/480v distribution board and old Bulldog Switchboard 1200A-120/208v that need to be replaced. The new 480v to 120/208v step-down transformers located in the utility vault were installed during the modernization in 2000. There are at least 6-120/208v sub-panels that are original to the building and need to be replaced.

Building K is served from Switchboard "A", 1phase, 120/240V, 600A located in building F, Rm. F-7A. It is fed from an ABB transformer located in the basement level of Building F, which is fed by FS-B1 4160V in Building B. Panel K, 100A, 120/240V in building K appears to be in fair condition and should remain.

Building J is served from Switchboard "A", 1phase, 120/240V, 600A located in building F, Rm F-7A. It is fed from an ABB transformer located in the basement level of Building F, which is fed by FS-B1

4160V in Building B. Panel J, 100A, 120/240V in building J appears to be in fair condition and should remain.

7.2. Telecommunications

The MDF is located in room A-18 telecom room in building A with the main telephone backboard. It feeds several IDF's in each building with fiber optic cables. The IDF's were installed during modernization in 2000 and appears to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2000 with new conduits and wiring and should be in good condition. The telephone system is NEC NEAX 2000 IVS integrated voice system installed in 2000 modernization.

The MDF Room is in good condition. This room has all the communication equipment, cabinets, racks, PA system, bell system, and clock system. The telephone system appears to be in good condition. All IDF cabinets in each floor and different buildings are in good condition.

7.3. Fire Alarm

The main fire alarm control panel (FACP) is an FCI 7200 located in basement electrical and mechanical room of building B. The system is addressable with automatic detection. All of the buildings have fire protection. There are notification devices such as horn/strobes in common areas. There are initiation devices such as smoke detectors, heat detectors, duct detectors and pull stations in classrooms, hallways and support areas. The system was installed in 2004 as part of modernization and appears to be in fair condition. However, per BHUSD, the system always has a fault condition and is not maintained properly by First Fire Systems, an outside vendor. At time of survey, the FACP does indicate a fault condition. The underground site distribution was installed in 2004 with new conduits and wiring and should be in good condition. The remote annunciator is located in the school nurse reception counter.

7.4. Security

There is no CCTV security system in the school. There are only intrusion devices installed in the main hallway of building A.

It is recommended to have security cameras installed in the buildings and in the perimeter of the school. The security system shall include CCTV monitors, keyboard, recorders, hard drives and cameras. For optimum operation, it could be beneficial to have a local security company monitor the system so any alarm condition can be checked on-site by the security company's personnel.

7.5. Public Address

The public address (PA) system is a Simplex S100 Building Communication Systems with the head-end located in A-18 telecom room in building A. The system is connected to the telephone system so any announcements are made thru the telephone. The system has speakers located throughout interior and exterior buildings. The system was installed in 2000, including underground site distribution, and appears to be in good condition.

7.6. Miscellaneous (Electrical)

There are two-clock systems located in A-18 telecom room. Both systems are Simplex systems. One is located in the same rack as the PA system and the other is located in Simplex Time Control Center. The systems appear to be in good condition. It was installed in 2000 modernization.

7.7. Fire Protection

There are no reported fire protection water issues to report. The fire sprinkler backflow preventers appeared to be in good condition. Piping was not inspected.

7.8. Storm Drainage

Based on discussions with school maintenance personnel, there are significant storm drainage issues to report. Roof drains from Building B overflow at ground level indicate plugged underground piping. In addition, I was informed that some of the storm drain pipes were encountered and damaged during underground construction activities and not repaired properly. Recommend complete assessment of existing storm drain system and repair as required. Field observations concluded that existing grated drain boxes and drainage swales require annual maintenance prior to the rainy season. Several drain boxes were observed to be filled with debris (see photographs). Piping was not inspected.

7.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

7.10. Sanitary Sewer

Based on discussions with school maintenance personnel, there are no sanitary sewer issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

7.11. Pavement (Asphalt and Concrete)

Asphalt:

- Main road through campus is in fair condition. Recommend crack filling, removal and replacement of failed areas and slurry seal.
- Parking lot between tennis courts and swim gym is in fair condition except for back portion which is in poor condition. Recommend crack filling, removal and replacement of failed areas and slurry seal, and complete removal and replacement of asphalt for back portion.
- Parking lot next to tennis courts and boys gym is in fair condition. Recommend crack filling and slurry seal in next 5 years.
- Paving behind girls gym is in poor condition. Recommend crack filling and slurry seal.
- Paving at upper tennis courts (near softball field) is in poor condition. Recommend crack filling and slurry seal.
- Paving (asphalt and concrete) around weight room is in poor condition. Recommend crack filling, removal and replacement of failed areas and slurry seal.
- Parking lot at upper campus and road along back side of parking structure is in fair to poor condition. Recommend crack filling, removal and replacement of failed areas and slurry seal.

Concrete:

Interior concrete is in generally fair to poor condition. Recommend complete inspection and grinding of raised joints. There are some areas that have settled/risen and are trip hazards – recommend repair (grinding) or replacement (see photographs).

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled/risen and are trip hazards – recommend repair (grinding) or replacement (see photographs).

7.12. Irrigation

Based on discussions with school maintenance personnel, irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

7.13. Miscellaneous (Site Work)

The following are various site work items that are in disrepair and should be addressed:

- Abandoned electrical compound behind swim gym needs to be removed (see photograph).
- Fencing on retaining wall along Olympic Boulevard is showing signs of corrosion and damage it wall is visible (see photograph). Recommend repairing.
- Electrical handholes at south end of track are damaged and should be repaired (see photograph).
- Bridge from mid campus to gym is in good condition but waterproofing on deck is showing signs of wear. Recommend annual maintenance to recoat with waterproofing.
- Stairs (wood) from the softball field to the upper campus are in fair condition and require some maintenance to repair metal tread grips (trip hazard). Recommend replacing with concrete stairs within 5 to 10 years.
- Stairs from mid to lower campus (near modular buildings) have no handrails. Recommend installing handrails.
- Court yard planter walls (near Work Room/Team Teaching) are in poor condition. Recommend repairing wall.
- Metal stairs in court yard (near Work Room/Team Teaching) is in poor condition (signs of corrosion). Recommend complete assessment of damage, repair and paint.

8. **Infrastructure Assessment – Admin. Bldg.**

8.1. **Power**

The main electrical service "MSA" is a new Square D 1600A, 277/480V, 3ph, 4w, switchgear which consists of main/meter section and a distribution section. It is located at the ground floor by the parking lot in a weatherproof enclosure. The main electrical service also provides power to the annex building and administration building.

The main switchboard "MSA" is new and in excellent condition. The old panels and transformers were replaced recently. The building electrical system is in good condition.

8.2. **Telecommunications**

The MDF is located in the telephone room of the annex building. It feeds several IDF's in each building with fiber optic cables. The IDF's were installed during modernization in 2000 and appears to be in good condition. The underground site distribution cables (telephone copper and fiber optic cables) were installed in 2000 with new conduits and wiring and should be in good condition. The telephone system is NEC NEAX 2000 IVS integrated voice system (installed in the 2000 modernization) is located in the basement of the new server room with the telephone backboard. The system appears to be in good condition.

There is a new server room in the administration building that is under construction.

8.3. **Fire Alarm**

The main fire alarm control panel (FACP) is an FCI 7200 located in basement of the server room in building A. The system is addressable with automatic detection. All of the buildings have fire protection. There are notification devices such as horns/strobes in common areas. There are initiation devices such as smoke detectors, heat detectors, duct detectors and pull stations in classrooms, hallways and support areas. The system was installed in 2000 as part of modernization and appears to be in fair condition.

8.4. **Security**

There is no CCTV security system in the school. There are only intrusion devices installed in the main hallway of building A.

It is recommended to have security cameras installed in the buildings and in the perimeter of the school. The security system shall include CCTV monitors, keyboard, recorders, hard drives and cameras. For optimum operation, it could be beneficial to have a local security company monitor the system so any alarm condition can be checked on-site by the security company's personnel.

8.5. **Public Address**

The public address (PA) system is a Simplex 5100 Building Communication Systems with the head-end located in telephone room. The system is connected to the telephone system so any announcements are made thru the telephone.

8.6. **Miscellaneous (Electrical)**

There is no master clock system in the building.

8.7. **Fire Protection**

There are no reported fire protection water issues to report. Piping was not inspected.

8.8. Storm Drainage

Based on discussions with school maintenance personnel, there are no storm drainage issues to report. Field observations concluded that existing grated drain boxes and drainage swales require annual maintenance prior to the rainy season. Piping was not inspected.

8.9. Potable Water

Based on discussions with school maintenance personnel, there are no potable water issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

8.10. Sanitary Sewer

Based on discussions with school maintenance personnel, there are no sanitary sewer issues to report. Main piping to original building is approaching or beyond service life and may require replacement in the near future. Piping was not inspected.

8.11. Pavement (Asphalt and Concrete)

Asphalt:

The asphalt paving for the interior parking lot/yard is in poor condition. Recommend removal and replacement of asphalt for entire area.

Concrete:

Interior concrete is in generally fair condition. Recommend complete inspection and grinding of raised joints. There are some areas that have settled/risen and are trip hazards - recommend repair (grinding) or replacement (see photographs).

Exterior concrete (city sidewalk) is in generally fair condition. There are some areas that have settled/risen and are trip hazards - recommend repair (grinding) or replacement (see photographs).

8.12. Irrigation

Based on discussions with school maintenance personnel, irrigation is old with mixed systems and material, and does not serve parkways as required by the city. Recommend complete system upgrades.

8.13. Miscellaneous (Site Work)

No issues.

9.1. Electrical Infrastructure Recommendations - Beverly Vista

Item	Building	District Scope	Recommendation	Cost
E-1B	Building B	Electrical upgrade	None	
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

9.1. Electrical Infrastructure Recommendations - Beverly Vista

Item	Building	District Scope	Recommendation	Cost
E-1D	Building D	Electrical upgrade	None	
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1A	Bldg A	Electrical upgrade in Building A	None	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1B	Building B	Electrical upgrade	None	
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1C	Bldg C RM 157	Electrical upgrade for distribution board at basement floor electrical room	Replace old W.A. Benjamin Electric Co. 600A - 240V, 3ph, 3w switchboard "MSP-1" with a new 600A switchboard disconnect switch served from switchboard "EMSB" thru 1600A, 240V, 3ph, 3w served from a 225 Kva stepdown transformer "TR-M5" located ground level next to BLDG "A". MSP-1 served 250A breaker to "DP-P", 100A breaker, 100A breaker for Auditorium H/V, 400A breaker Spare, 225A breaker for "DP-Base", and 100A breaker office A/C.	\$ -
E-2C	Bldg C RM 157	Electrical upgrade for distribution board at basement floor electrical room	Replace old W.A. Benjamin Electric Co. 600A - 120/240V, 1ph, 3w switchboard "MSA" with a new 600A switchboard disconnect switch served from a 100 Kva stepdown transformer "A" located ground level next to BLDG "A". MSA served 225A breaker for Auditorium L.L, 100A breaker for Panel AP-1, 225A for Panel X-1, 100A for Panel X-3	\$ -
E-3C	Bldg C RM 157	Electrical upgrade for distribution board at basement floor electrical room	Replace old W.A. Benjamin Electric Co. 600A - 120/240V, 1ph, 3w switchboard "MSB" with a new 600A switchboard disconnect switch served from a 100 Kva stepdown transformer "B" located ground level next to BLDG "A". MSA served 400A Panel DP-C, 225A breaker for Kitchen Hotwater, 100A Panel Be, 50A Panel X-5, 150A Panel X-6, 100A Panel K, 70A Panel X-4	\$ -
E-4C	Bldg C RM 157	Electrical upgrade for distribution board at basement floor electrical room	Replace old W.A. Benjamin Electric Co. 600A - 120/240V, 1ph, 3w switchboard "MSC" with a new 600A switchboard disconnect switch served from a 100 Kva stepdown transformer "C" located ground level next to BLDG "A" MSC served 400A Panel DP-D, 125A breaker, 125A breaker, 125A breaker for KILN, 100A breaker	\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
ELECTRICAL INFRASTRUCTURAL
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1D	Bldg D RM 134B	Electrical upgrade for distribution board at first floor electrical closet	Replace old Zinsco 400A - 240V, 3ph, 3w switchboard "DP-P" with a new 400A switchboard disconnect switch served from Bldg. C "MSP-L". "DP-P" served 70A breaker to Dish, 15 A breaker to shop for a.bl, 70A breaker to shop power p.p.s, 200A breaker to MCC, 400A Main, 70A breaker to cafeteria, 70A breaker, 15A breaker to E-S, 40A breaker to AC	\$ -
E-2D	Bldg D RM 134B	Electrical upgrade for distribution board at first floor electrical closet	Replace old Zinsco 400A - 240V, 3ph, 3w switchboard "DP-C" with a new 400A switchboard disconnect switch served from Bldg. C "MSC". "DP-C" served 70A breaker to Panel M, 200A to Panel HM, 150A to Panel H, 400A Main, 20A Spare, 175A Spare, 150A Panel J.	\$ -
E-3D	Bldg D RM 137	Electrical upgrade for transformer at basement floor custodial closet	Replace and relocate old Jefferys Transformer 25kva 240-120/208V with new 25kva transformer	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
U-11E	Bldg E RM 126	Electrical upgrade for distribution board at first floor	Replace old GE 600A - 120/240V, 1ph 3w switchboard "DP-D" with a new 600A switchboard disconnect switch served from Bldg. A "MSc", "DP- P" served (4) 100A breakers and a main.	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1A	Bldg A Classroom	Electrical upgrade for distribution board at first floor electrical room	Replace old Bullog Electric 800A-120/240V, 3ph, 3w switchboard "PH1" with a new 800A switchboard disconnect switch served from a 167.5 Kva stepdown transformer "MS1" located in the first floor electrical room. PH1 served distribution board "PHA"	\$ -
E-2A	Bldg A Classroom	Electrical upgrade for distribution board at first floor electrical room	Replace old Bullog Electric 800A-120/240V, 3ph, 3w switchboard "PH2" with a new 800A switchboard disconnect switch served from a 167.5 Kva stepdown transformer "MS2" located in the first floor electrical room. PH2 served distribution board "PHB"	\$ -
E-3A	Bldg A Classroom	Electrical upgrade for distribution board at first floor electrical room	Replace old Bullog Electric 400A-120/240V, 3ph, 3w switchboard "PH3" with a new 400A switchboard disconnect switch served from a 100 Kva stepdown transformer "MS3" located in the first floor electrical room. PH3 served distribution board "PHC"	\$ -
E-4A	Bldg A Classroom	Electrical upgrade for distribution board at first floor electrical room	Replace old Bullog Electric 800A-120/240V, 3ph, 3w switchboard "PHC" with a new 800A distribution board from "PH3" located in the first floor electrical room. This served building D and B.	\$ -
E-5A	Bldg A Classroom	Electrical upgrade for distribution board at basement floor electrical room	Replace old Federal Pacific 800A-120/240V, 3ph, 3w distribution board "PHA" and provide new distribution breakers: 175A/3P for auditorium panels, 1-225/3P for Panels A and 3, 1-250A/3P for Panels A and B. Provide new feeder wires and conduits.	\$ -
E-6A	Bldg A Admin. Building	Electrical upgrade for distribution board at basement floor electrical room	Replace old Federal Pacific 800A-120/240V, 3ph, 3w distribution board "PHB" and provide new distribution breakers: 1-50A/3P for Panel P, 1-70/3P for Panels JJ; 1-125A/3P for Panels D, 1-150A/3P for Panels B and C; 1-200A/3P for Panel AA; 3-15/3p.	\$ -
E-7A	Bldg A Admin. Building	Electrical upgrade for emergency distribution board at basement floor electrical room	Replace old Federal Pacific 600A-120/240V, 3ph, 3w distribution board "E" and provide new distribution breakers in new distribution board. Replace 500A/3p with 600A/3p for MCC switchboard "AM", 1-125A/3p, 1-100A/3p, 1-80A/3p, 70A/3p. Provide new feeder wires and conduit. Served from 37.5 Kva Transformer "MS-4".	\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

E-8A	Bldg A Admin. Building	Electrical Upgrade for Emergency System	Replace old 20Kw-120/240, 1 ph, natural gas Dayton Generator. Generator is old and never tested in 10 years. Install new 25Kw diesel fuel generator in outdoor location. Replace 100A-120/240, 1 ph, 3w panel- 24 circuits. Replace feeder conductors and conduits. Provide manual transfer switches and accessories.	\$ -
E-9A	Bldg A Admin. Building	Electrical Upgrade for Inverter Emergency System (alternate source)	Alternate source of emergency system is to provide 40 Kw - 120/240v inverter back up unit for emergency lighting instead of providing emergency generator. Less maintenance required.	\$ -
E-10A	Bldg A Admin. Building	Electrical upgrade for panels in first	Replace old 2- Bulldog Electric 225A-120/240v, 1 ph panels in first floor corridors. Replace feeder conductors.	\$ -
E-11A	Bldg A Admin. Building	Electrical upgrade for panels in second floor corridors	Replace old 2- Bulldog 225A,120/240v 1ph Panels in second floor corridors. Replace feeder conductors.	\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1B	Bldg B Classrooms	Electrical upgrade for panels in first.	Replace old Bulldog 225A-120/208v, 3ph, 30circuits Panel "A" along corridors near stairs.	\$ -
E-2B	Bldg B Classrooms	Electrical upgrade for panels in second floor.	Replace old Bulldog 225A-120/208v, 3ph, 30circuits Panel "B" (no tag) along corridors near stairs.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Contingency		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1C	Bldg C	Fire Alarm Systems	New fire alarm monitoring system shall be service by an outside vendor for 24 hours monitoring system.	\$ -
E-2C	Bldg C	Security Upgrade	There are no security cameras in the facility. There is a intrusion detection in the administration bldg.	\$ -
E-3C	Bldg C	Clock / Bell Upgrade	No upgrade	\$ -
E-4C	Bldg C	Building Communication system or Public Address Upgrade.	No Upgrade	
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1D	Bldg D Classroom	Electrical upgrade for panels in first.	Replace old (3) Federal Pacific 400A-120/240v 1 ph Panels "AB" (two sections) and 100A-120/240v Panel "AE".	\$ -
E-2D	Bldg D Classroom	Electrical upgrade for panels in second floor.	Replace old (1) Federal Pacific 225A-120/240v 1 ph Panels "AD" . 42circuits in janitors,	\$ -
E-3D	Bldg D Classroom	Electrical upgrade for panels in basement multipurpose room	Replace old (1) Federal Pacific 225A-120/240v 1 ph . 42circuits in janitors,	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1E	Bldg F Classroom	Electrical upgrade for distribution board at basement boiler /electrical room	Replace old Federal Pacific 600A-120/240V, 3ph, 3w distribution board "MS" and provide new distribution breakers: (6)-100A/3P, (1)-225/3P, (1)-1-200A/3P, 90A/2P, 50A/2P, 1-400A for MSE1. Replace old feeder conductors and conduits	\$ -
E-2B	Bldg E Classroom	Electrical upgrade for panels in first floor	Replace old (1)Challenger 225A-120/240v, 1ph, 42circuits.	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1F	Bldg F Classroom	Electrical upgrade for kitchen panels	Replace old (3) Benjamin Electric Co panels: (1) 400A-120/240v, 3ph, 42circuits for panel "KHA", (1) 225A-120/240v, 3ph, 42circuits for panel "KH", (1) 60A-120/240v, 3ph, 42circuits. Panel "KHB" Replace old feeder conductors.	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1G/H	Bldg G and H Classroom	Electrical upgrade for buildings	None	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1K	Bldg K classroom	Electrical upgrade for electrical panels	Replace old GE R00A-120/200v 3 ph distribution board "E" and provide new distribution breakers: (3)-225A/3P for panel MC, J, (2)-175/3P for panel A and C, (2)-150A/3P for panel B and PR1, Provide new feeder conductors.	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-11	Bldg J Classroom	Electrical upgrade for single panel	Replace old (1) Federal Pacific 225A-120/240v, 1 ph , 30circuits panel .	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1AUD	Auditorium	Electrical upgrade for auditorium	Replace old (1) Federal Pacific 225A-120/240v, 1ph, 42circuits panel at back stage.	\$ -
E-1AUD	Auditorium	Electrical upgrade for auditorium	Replace old (1) Federal Pacific 100A-120/240v, 1ph, 12 circuits panel for emergency. Feeders to remain	\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1A	Bldg A Admin. Building	Electrical Upgrade for main service at basement	Replace old Zinsco 1600A-277/480V, 3ph, 4w main switchgear and metering section. New upgraded switchgear shall include new overhead pullsection, meter, 2000A bus, main service disconnect switch and 2000A rated distribution board. Provide circuit breakers in the main distribution boards to relief existing loads. Main utility feeder conductors shall be upgraded per SCE requirements.	\$ -
E-2A	Bldg A Admin. Building	Electrical Upgrade for site infrastructure for future building E construction	Provide new 17"x30" electrical pull box with 2-4" conduits from main electrical switchgear at the basement to planter area west of Building A for future electrical feed future building or portables. (at Building E location).	\$ -
E-3A	Bldg A Admin. Building	Electrical Upgrade	Replace old 167.5 KVA Jefferies step down transformer 480v = 240/120v, 1 ph, 3w. Provide new feeder conduits and conductors approximately 5-10 ft. from main distribution board.	\$ -
E-4A	Bldg A Admin. Building	Electrical Upgrade	Replace old 1200A, 120/240v, 1ph, 3w General Electric distribution board serving the following panels: 100A Panel AC (HVAC units), 400A Panel K (kitchen panels), 400A auditorium panels, and a 70A emergency panel. Replace old feeder conductors and conduits.	\$ -
E-5A	Bldg A Admin. Building	Electrical Upgrade for Generator Emergency System	Replace old 20Kw-120/240, 1ph, natural gas Daytona Generator. Generator is old and never tested in 10 years. Install new 25Kw diesel fuel generator on outdoor location. Replace 100A-120/240, 1 ph, 3w panel- 24 circuits. Replace feeder conductors and conduits. Provide manual transfer switches and accessories.	\$ -
E-6A	Bldg A Admin. Building	Electrical Upgrade for Inverter Emergency System (alternate source)	Alternate source of emergency system is to provide 40 Kw -120/240v inverter back up unit for emergency lighting instead of providing emergency generator. Less maintenance required.	
E-7A	Bldg A Admin. Building	Electrical Upgrade for distribution board at basement	Replace old General Electric Panel "I"-400A, 120/240V, 1ph, 3w with new distribution board served by "Jefferies" 100Kva step down, 1 ph transformer (to remain). Panel "I" serves panels A, B, and D with 100A/3p breakers each. Replace feeder conductors and conduits.	\$ -

**BEVERLY HILLS UNITED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

E-8A	Bldg A Admin. Building	Electrical Upgrade for distribution board at basement	Replace old General Electric Panel "2" 400A, 120/240V, 1ph, 3w with new distribution board served by "Jefferies" 100Kva, 1 ph, step down transformer (to remain). Panel "2" serves 225A Panel C and F, 150A Kitchen panel, 100A IDF panel, and boilers.	\$	-
E-9A	Bldg A Admin. Building	Electrical Upgrade for distribution board at basement	Replace old General Electric Panel "3" 225A, 120/208V, 3ph, 4w with new distribution board served by "Jefferies" 75Kva, 3 phase step down transformer (to remain). Panel 2 serves 225A Panel C and F, 150A Kitchen panel, IDF panel, and boilers. Replace feeder conductors and conduits.	\$	-
E-10A	Bldg A Admin. Building	Electrical Upgrade for panels in first floor	Replace old GE 100A and 225A-120/240v, 1 ph, 42 circuits panel in custodian room (Panel A and A1). Replace existing GE 225A, 120/240v 1ph Panel "B" in Room 123. Replace feeder conductors and conduits.	\$	-
E-11A	Bldg A Admin. Building	Admin. Building (Bldg B)	Replace old 225A-120/240v, 1ph, 42 circuits panel "K". Replace feeder conductors and reuse existing feeder conduits.	\$	-
E-12A	Bldg A Admin. Building	Electrical Upgrade for panels in second floor	Replace existing Zinsco (3) 225A-120/240v, 1 ph, 42 circuits Panel C, S and P in second floor. Replace feeder conductors.	\$	-
E-13A	Bldg A Admin. Building	Fire Alarm Systems	Provide new 12"x 17" electrical pull box with 1-2" conduits from main PACP at the basement to planter area west of Building A for future fire alarm connection to future building or portables. (at Building E location).	\$	-
E-14A	Bldg A Admin. Building	Fire Alarm Systems	New fire alarm monitoring system shall be service by an outside vendor for 24 hours monitoring system.		
E-15A	Bldg A Admin. Building	Telecomms Upgrade	Provide new 12"x 17" electrical pull box with 1-4" conduits from main MDF room to planter area west of Building A for future telecom connection to future building or portables. (at Building E location).	\$	-
E-16A	Bldg A Admin. Building	Security Upgrade	There are no security cameras in the facility. There is a intrusion detection in the administration bldg.		

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

E-16A	Bldg. A Admin. Building	Building Communication system or Public Address Upgrade.	Provide new 12"x 17" electrical pull box with 2-2" conduits from main MDF room to planter area west of Building A for future signal connection to future building or portables. (at Building E location).	\$	-
E-17A	Admin. Building (Bldg A)	Clock / Bell Upgrade	Provide new 12"x 17" electrical pull box with 2-2" conduits from main MDF room to planter area west of Building A for future clock/bell connection to future building or portables. (at Building E location).	\$	-
E-18A	Admin. Building (Bldg A)	Upgrade MDF Room	Relocate MDF Room, relocate all telecom. server, telephone blocks and patch, PA systems, clock and electrical panels.		
		SUBTOTAL OF ALL WORK			
		5% For Construction Phasing		\$	-
		10% For Construction Contingency		\$	-
		TOTAL OF ALL WORK		\$	-

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1B	Bldg B Science Bldg	Electrical Upgrade for panels in janitor's room	Replace old dual bus main distribution board 800 A - 277/480v and 1200 A -120/208v, 3ph, 4w system. Replace all existing distribution breakers. Replace with new separate 800A-277/480V and 1200A- 120/208Vdistribution boards. Install new distribution circuit breakers to refeed existing loads. Existing 300 KVA transformer to remain. Replace old feeder conductors and conduits.	\$ -
E-2B	Bldg B Science Bldg	Electrical Upgrade for panels in first floor	Replace old Zinsco 225A-120/208v, 3ph, 42 circuits Panel "GB" in electrical room 147A and GE Panel "GD" in janitors closet. Replace feeder conductors.	\$ -
E-3B	Bldg B Science Bldg	Electrical Upgrade for panels in second floor	Replace old Zinsco 225A-120/208v, 1 ph, 42 circuits Panel "2B" in second floor classroom. Replace feeder conductors.	\$ -
E-4B	Bldg B Science Bldg	Electrical Upgrade for panels in third floor	Replace old Zinsco 225A-120/240v, 1 ph, 42 circuits Panels "3C" and "3P" in science classroom vestibule. Replace feeder conductors.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	Electrical Scope	Recommendation
E-1C	Bldg C Auditorium	Electrical Upgrade for panels in auditorium	Replace (2) old Square-D load center in auditor closet Replace existing feeder conductors.
		SUBTOTAL OF ALL WORK	
		5% For Construction Phasing 10% For Construction Contingency	
		TOTAL OF ALL WORK	

BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS

Cost
\$
\$
\$
\$
\$

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
1E-1D	Bldg D Classroom Bldg	Electrical upgrade for panels in second floor electrical closet	Replace old Zinsco 225A-120/208v, 3ph, 30 circuits Panel "2C". Provide new lighting contactor and timeclocks. Replace feeder conductors.	\$ -
1E-2D	Bldg D Classroom Bldg	Electrical upgrade for panels in second floor electrical closet	Replace old Zinsco 225A-120/208v, 3ph, 42 circuits "2D" in electrical closet. Replace existing feeder conductors approximately 100 ft. Replace feeder conductors.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY UNIFIED SCHOOL DISTRICT
 HORACE MANN SCHOOL
 ELECTRICAL INFRASTRUCTURE
 RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
F-1E	Bldg F Classroom Bldg	No electrical upgrade inside building	Building will be demolish in the future	\$ -
F-2E	Bldg E Classroom Bldg	Electrical site upgrade for Portables	Replace old 600A 120/208V distribution board serving building E Provide new 600A 120/208V distribution board near portables. It is required to reconnect power to portable building feed from the old electrical switchgear in building E. Provide new feeder conductors and conduits near portables.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1A	Bldg. A	Electrical upgrade for emergency system	Replace old emergency distribution board "A5" -225 A-277/480v and all distribution breakers circuits breakers with a 400A-277/480v. Replace and upgrade old feeder conductors and conduits. Replace old Sorgel 30 kva transformer with K-rated 75 Kva transformer.	\$ -
E-2A	Bldg. A	Electrical upgrade for emergency system	Replace old La Marche 225A -277/480v transfer switches with 400A-277/480v,3phase, 4w.	\$ -
E-3A	Bldg. A	Electrical upgrade for emergency system	Replace old and none commission Kohler emergency generator,75 kw, 93.75 Kva, 277/480v 3ph , 4w . Install new 150Kva generator system to serve building A ,B, and new tech building.	\$ -
E-4A	Bldg. A	Electrical upgrade for emergency system	Replace old and upgrade emergency generator control panel and Annunciator.	
E-5A	Bldg. A	Electrical upgrade for emergency system	Provide new sub base diesel fuel tank at least 120 gallons storage.	
E-6A	Bldg. A	Electrical upgrade for emergency system	Replace all 100A- 277/450 v emergency panels typical 8 in building A	\$ -
E-7A	Bldg. A	Electrical upgrade for substation A located in Bldg. A southwest corner of parking garage	Replace old GE 800A-277/480V, 3ph, 4w distribution board "DS" coming from 200A-4160V Substation via a 500Kva step down transformer. Provide new distribution breakers: (1) 350A/3p, (1) 300A/3p, (1) -225A/3p, (1) 150A/3p , (3)-100A/3p, (2) -50A/3p. Provide new feeder conductors and conduits.	\$ -

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BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

E-8A	Bldg A	Electrical upgrade for panels in first floor room A-198	Replace old GE distribution panel "A2HB" -400A-277/480v, with GE distribution panel "2DP"-600A-120/208v, and (3) 225A-120/208v panels A25A, A21A AND A21A. Replace old 150Kva transformer with K-rated 150 kva transformers. All 120V panels shall be replaced.	\$	-
E-9A	Bldg A	Electrical upgrade for panels at basement floor electrical room at hallway.	Replace old GE 277/480v lighting distribution panels "A1HA", "A2HA", and 120/208v panel A1LA.	\$	-
E-10A	Bldg A	Electrical upgrade for panels in 4th floor electrical equipment room A-18A	Replace old GE distribution panel "A4HH" -400A-277/480v, with GE distribution panel "4DPB"-400A-120/208v, and (3) -120/208v panels A4LF, A41B, A4LF and A4LG. Replace old Jefferies 112.5Kva transformer with K-rated 112.5 kva transformers. Replaced old feeder conductors and conduits.	\$	-
E-11A	Bldg A	Electrical upgrade for panels in first	Replace old GE panels "A2LB"-225A 120/208v, 3ph, 4w, 42 circuits located in room 191. Replace old GE panel "A2LC"-225A two section panels 120/208v, 3ph,4w 84 circuits located in Room 194.	\$	-
E-12A	Bldg A	Electrical upgrade for panels in second floor.	Replace old GE panels "A4LF"-225A panel, two section panels 120/208v, 3ph,4w- 84 circuits located in Room 260.	\$	-
E-13A	Bldg A	Electrical upgrade for panels in 4th floor electrical equipment room north 2/9.	Replace old GE distribution panel "A4HA" -400A-277/480v, with GE distribution panel "4DPA"-600A 120/208v, and (3) -120/208v panels A41A and A41B. Replace old Surge 150.5Kva transformer with K-rated 150 kva transformers. Replaced old feeder conductors and conduits.	\$	-
E-14A	Bldg A	Electrical upgrade for panels in second floor.	Replace (3) -225A -120/208v, 3ph old GE panel "A5LF", "A5LG" and "A5LH".	\$	-
E-15A	Bldg A	Electrical upgrade for panels in kitchen .	Replace old GE panels "A4LF"-225A panel, two section panels 120/208v, 3ph,4w- 84 circuits located in Room 260.	\$	-

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BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

E-16A	Bldg A	Electrical upgrade for panels in 5th floor electrical equipment room north A-44A.	Replace old GE distribution panel "ASHC" -400A-277/480v, with GE distribution panel "SDP"-600A-120/208v, and (3) -120/208v panels ASLE, ASLG, ASLH and ASLB. Replace old Sorgel 150.5Kva transformer (T11) with K-rated 150 kva transformers. Replaced old feeder conductors and conduits.	\$ -
E-17A	Bldg A	Electrical upgrade emergency panels in floors.	Replace old GE emergency lighting panel "ASEB"-100A, 277/480v. Typical 6 emergency panels	\$ -
E-18A	Bldg A	Electrical upgrade for panels in rm A-35A mechanical equipment room	Replace old GE distribution panel "ASHB" -400A-277/480v, with GE distribution panel "ASLB"-400A-120/208v, and (3) -120/208v panels ASLE, ASLG, ASLH and ASLB. Replace old Sorgel 150.5Kva transformer (T11) with K-rated 150 kva transformers. Replaced old feeder conductors and conduits.	\$ -
E-19A	Bldg A	Electrical upgrade for panels in fifth floor.	Replace (2) 225A -120/208V, 3ph old GE panel "ASLC" and "ASLD".	\$ -
E20A	Bldg A	Electrical upgrade for roof top motor control centers	Replace old and corroded motor control center - 277/480v, 3 ph, 4w : MCSA (3-500A sections), MCSB (200A), MCSC (50A) and MSSF (250A).	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNITED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1B	Bldg B	Electrical upgrade for electrical distribution board and panels locate rm 177B	Replace old GE 1200A-120/208V, 3ph, 4w distribution board "BDP". Replace old Sorgel 300Kva step down transformer with a K-rated transformer serving panels for the delicate equipment in little theater, auditorium and studios. Provide new distribution breakers: 1-400a/3p, 1-225A/3p, 1-150A, 3-100/3P, 2-90/3P, 2-70A/3P.	\$ -
E-2B	Bldg B	Electrical upgrade for panels	Replace old GE 120/208v panels such as 400A dimming back stage Panel DBA, 225A little Theater panel "DBB". Replace 150A panel "ND", 125A panel "HLA, 100A bus panel HLB, BA, BC, BF, and BB.	\$ -
E-3B	Bldg B	Electrical upgrade for panels along first floor and second floor corridors	Replace (10) 200A old Federal Pacific 120/208v lighting panels namely, BF, IG, BA, BA2, B6, 2G, 2H and panels by room 126 and 137, second floor panel by room 225.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1C	Bldg C	Electrical upgrade	None. Building to be demolished per BHUSD maintenance engineer in the near future. Building is served by 100Kva stepdown transformer serving 600A 120/240v, 3ph. 3w distribution board and subpanels A, B, C, D, E and heat units.	\$ -
E-1C	Bldg C	Electrical upgrade	None. Building to be demolished per BHUSD maintenance engineer in the near future. Building is served by 400A 120/240v, 3ph. 3w distribution board "DPC" to remain.	\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Piling		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1D	Bldg D	No Electrical upgrade	None. Building to be demolished per BHUSD maintenance engineer in the near future. Building is served by 600A -120/240v, 1ph. 3w distribution board and panels A, B AND C WITH subpanels A1, A5, B22, C13 and C1 to remain.	\$ -
E-2D	Bldg D	No Electrical upgrade	None. Building to be demolished per BHUSD maintenance engineer in the near future. Building is served by 600A -120/240v, 3ph. 3w distribution board "J" to remain.	\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

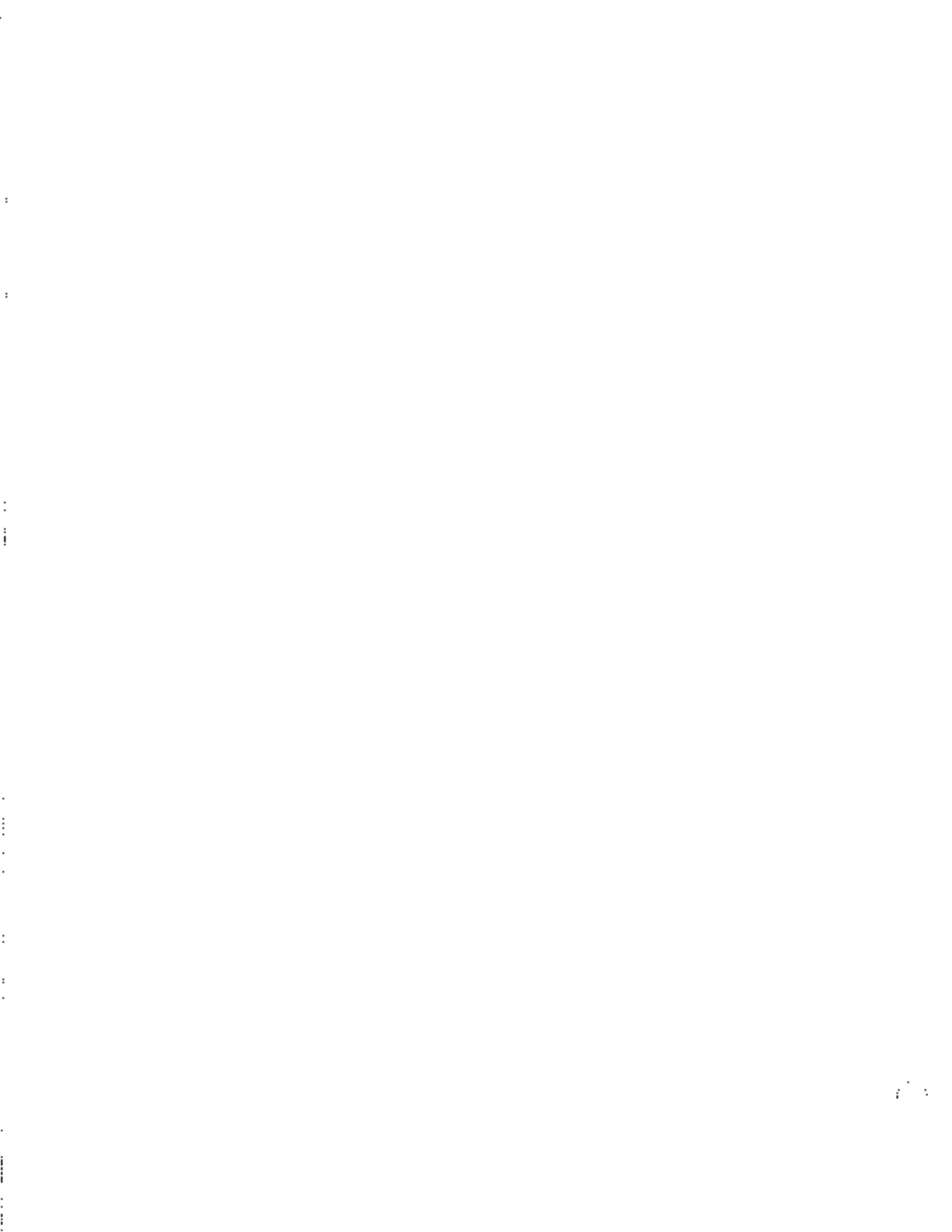
Item	Building	District Scope	Recommendation	Cost
E-1E	Bldg D: GYM	Electrical upgrade for Rm 666 electrical system	Replace old motor control switchboard "MCS- EA"-225 A, 240v, 3phase, 3wire and all distribution circuits breakers. Replace and upgrade old feeder conductors and conduits.	\$ -
E-2E	Bldg D: GYM	Electrical upgrade for Rm 615 electrical system	Replace old motor control switchboard "MCP- EB"-225 A, 240v, 3phase, 3wire and all distribution circuits breakers. Replace and upgrade old feeder conductors and conduits.	\$ -
E-3E	Bldg E: GYM	Electrical upgrade for Rm 615 electrical system	Replace Panel "NAB"-120/240v, 1ph, 3w	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1F	Bldg F Swim Gym	Electrical upgrade for Rm F-7A electrical system	Replace old switchboard "A" G.F. 120/240V, 1phase and distribution circuit breakers 600A for Main, 400A for PNL A, 300A for Gutter Assembly, 100A for PNL J and K. Replace and upgrade old feeder conductors and conduits.	\$ -
E-2F	Bldg F Swim Gym	Electrical upgrade for Rm F-7A electrical system	Replace old switchboard "B" 240V, 3phase and distribution circuit breakers 400A for Main, 300A for spare, 225A for spare, 225A for MCS-EA, 70A for fan sys, Bldg F, 200A for PNL PA, 175A for spare. Replace and upgrade old feeder conductors and conduits.	\$ -
E-3F	Bldg F Swim Gym	Electrical upgrade for Rm F-7A electrical system	Replace old switchboard "C" 120/240V, 1phase and distribution circuit breakers 800A for Main, 400A for spare, 400A for E1b, 400A for E1a, 225A for E2a, 225A for E1a. Replace and upgrade old feeder conductors and conduits.	\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1B	Bldg H	Electrical upgrade for electrical distribution board at electrical room/ utility vault	Replace old Federal Pacific distribution board 600A-120/240V, 1ph, 4w distribution board. Provide new distribution breakers: (5) 200A/3p, (1) 15A/3p. Provide new feeder conductors and conduits.	\$ -
E-2B	Bldg H	Electrical upgrade for electrical distribution board at electrical room/ utility vault	Replace old Bulklog distribution board 1200A-120/240V, 1ph, 4w distribution board. Provide new distribution breakers: (1) 500A/3p main, (1) 250A/3p, 200A/3p. Provide new feeder conductors and conduits.	\$ -
E-3B	Bldg H	Electrical upgrade for panels in ground level and basement	Replace (6) old Federal Pacific panels 120/240V 1, ph panels A, B, C, D, IC, ID and J.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -



**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-11	Bldg J Field Restrooms	Electrical upgrade for Bldg. J, Field Restrooms	Existing G.E. Panel "J", 100A, 120/240V, 1phase. Wire is in fair condition and should remain.	\$ -
				\$ -
				\$ -
				\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
ELECTRICAL INFRASTRUCTURE
RECOMMENDATIONS**

Item	Building	District Scope	Recommendation	Cost
E-1K	Bldg K Announc. Booth	Electrical upgrade for Bldg. K, Announcement Booth	Existing G.E. Panel "K", 100A, 120/240V, 1 phase, 3 wire is in fair condition and should remain.	\$ -
E-2K	Bldg K Announc. Booth	Electrical upgrade for Bldg. K, Announcement Booth	Existing S.Q. D load center "QQ", 100A, 120/240V, 1 phase, 3 wire is in fair condition and should remain.	\$ -
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

9.1. Electrical Infrastructure Recommendations - Admin. Bldg.

Item	Building	District Scope	Recommendation	Cost
B-1A	Admin Building	Electrical upgrade	None.	
		SUBTOTAL OF ALL WORK		\$ -
		5% For Construction Phasing		\$ -
		10% For Construction Contingency		\$ -
		TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY VISTA
CIVIL INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage		Assess and clean out all drainage boxes and piping	\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)		Repair asphalt and concrete	\$ -
Irrigation		Replace irrigation system	\$ -
Miscellaneous (Site Work)		Repair culverts, driveway and handrail	\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Phasing		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
EL RODEO ELEMENTARY SCHOOL
CIVIL
INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage			\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)			\$ -
Irrigation			\$ -
Miscellaneous (Site Work)			\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Phasing		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HAWTHORNE
CIVIL INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage			\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)			\$ -
Irrigation			\$ -
Miscellaneous (Site Work)			\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Phasing		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
HORACE MANN
CIVIL INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage			\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)			\$ -
Irrigation			\$ -
Miscellaneous (Site Work)			\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Flating		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
BEVERLY HILLS HIGH SCHOOL
CIVIL INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage			\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)			\$ -
Irrigation			\$ -
Miscellaneous (Site Work)			\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Phasing		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

**BEVERLY HILLS UNIFIED SCHOOL DISTRICT
ADMIN. BLDG.
CIVIL INFRASTRUCTURE
RECOMMENDATIONS**

Item	District Scope	Recommendation	Cost
Fire Protection			\$ -
Storm Drainage			\$ -
Potable Water			\$ -
Sanitary Sewer			\$ -
Pavement (Asphalt and Concrete)			\$ -
Irrigation			\$ -
Miscellaneous (Site Work)			\$ -
			\$ -
	SUBTOTAL OF ALL WORK		\$ -
	5% For Construction Phasing		\$ -
	10% For Construction Contingency		\$ -
	TOTAL OF ALL WORK		\$ -

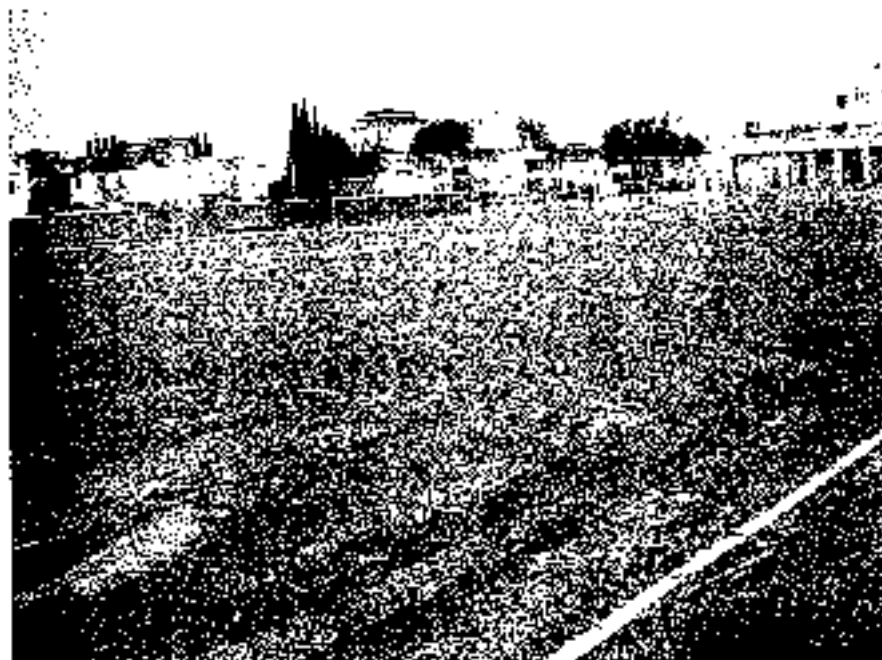
EXHIBIT A

REPRESENTATIVE PHOTOGRAPHS

BEVERLY VISTA

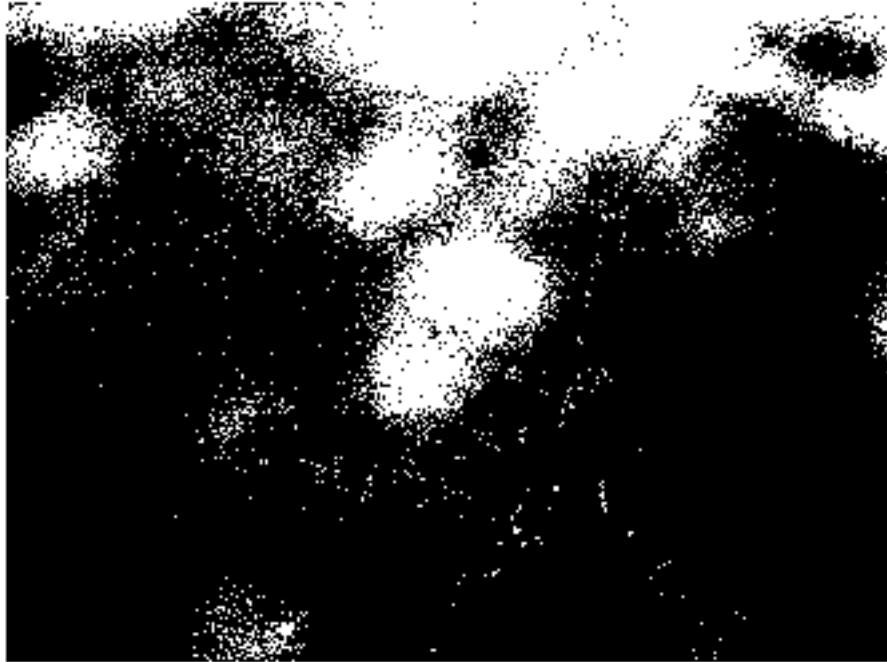


Beverly Vista School

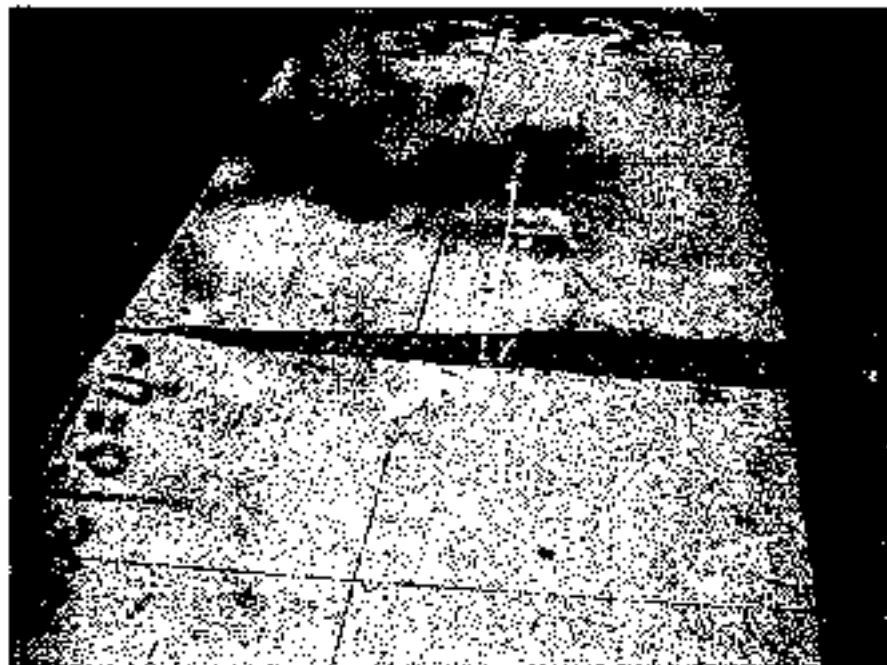


Entire playfield at South Campus is in poor condition. Crack/seal and asphalt-concrete (A.C.) overlay is required.

URS

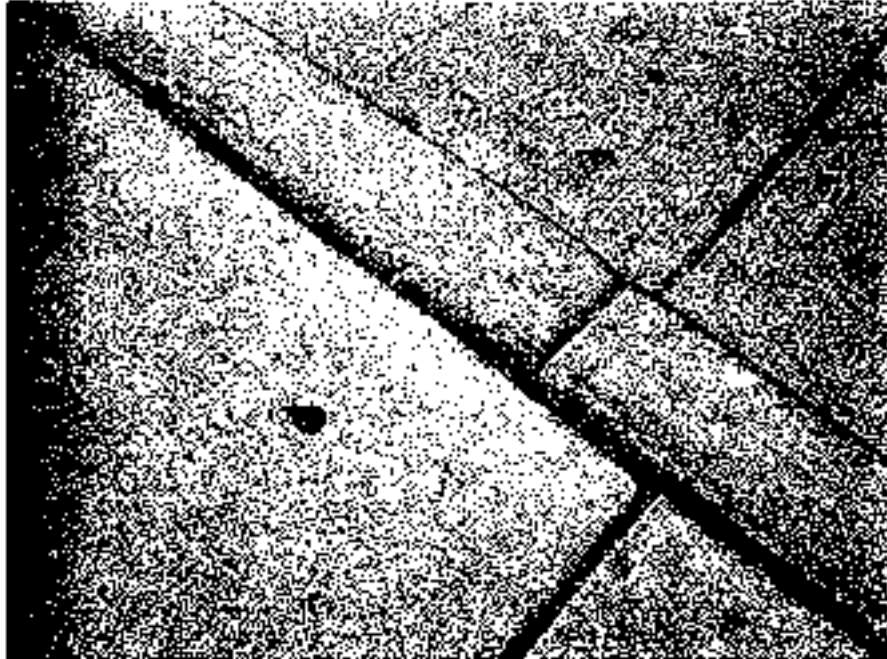


Entire playfield at South Campus is in poor condition. Crack/seal and asphalt-concrete (A.C.) overlay is required.

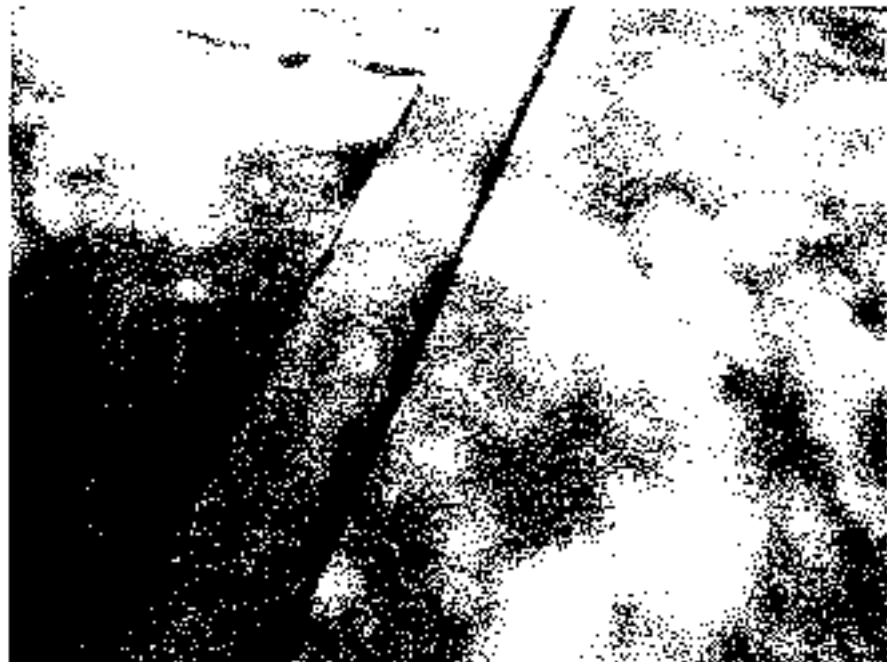


Perimeter sidewalk has areas requiring repair. These areas are trip hazards.

URS



Perimeter sidewalk has areas requiring repair. These areas are trip hazards.



Perimeter sidewalk has areas requiring repair. These areas are trip hazards.



Parkway culverts and driveways along Rexford Drive require repair.



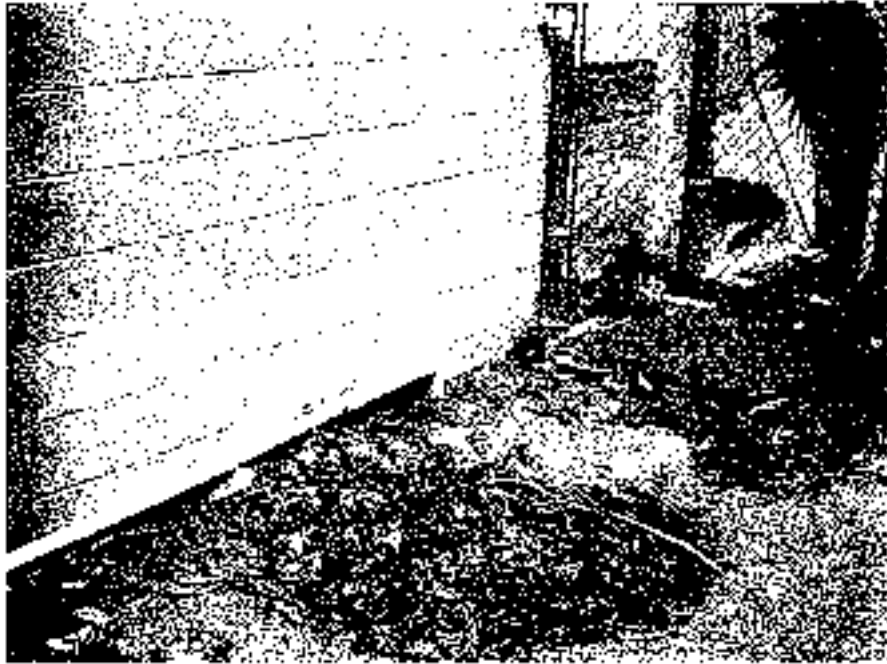
Parkway culverts along Rexford Drive require repair.



**Handrail at entrance along Rexford Drive shows signs of corrosion at base of posts.
Repair is required.**



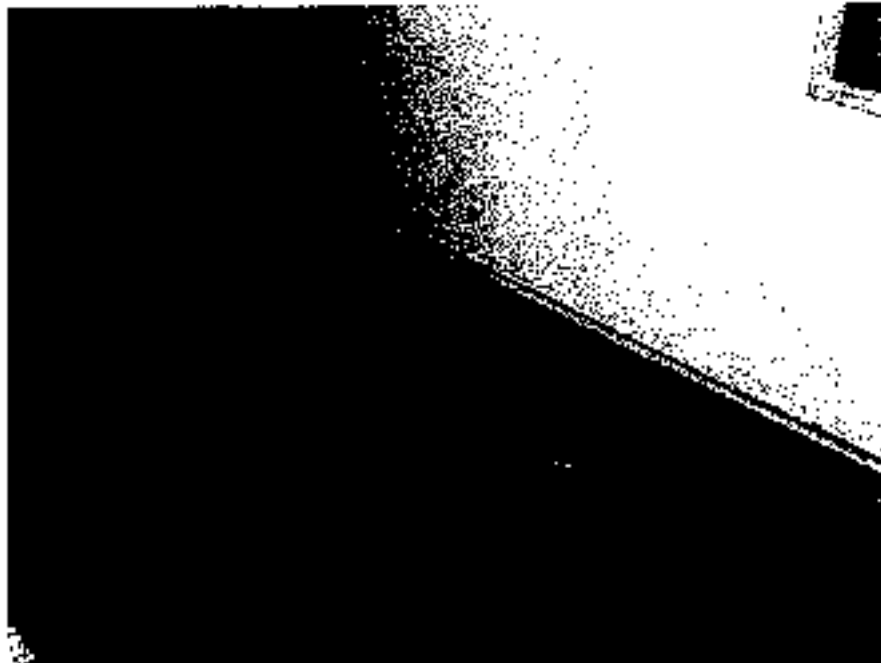
Faculty Parking Lot is in fair to poor condition. Crack/slurry seal or overlay is required.



Drainage swales in Faculty Parking Lot require maintenance.



Abandoned electrical pedestals should be removed.



The concrete next to the building in the atrium near the school entrance slopes to the building. This concrete should be replaced.

EL RODEO



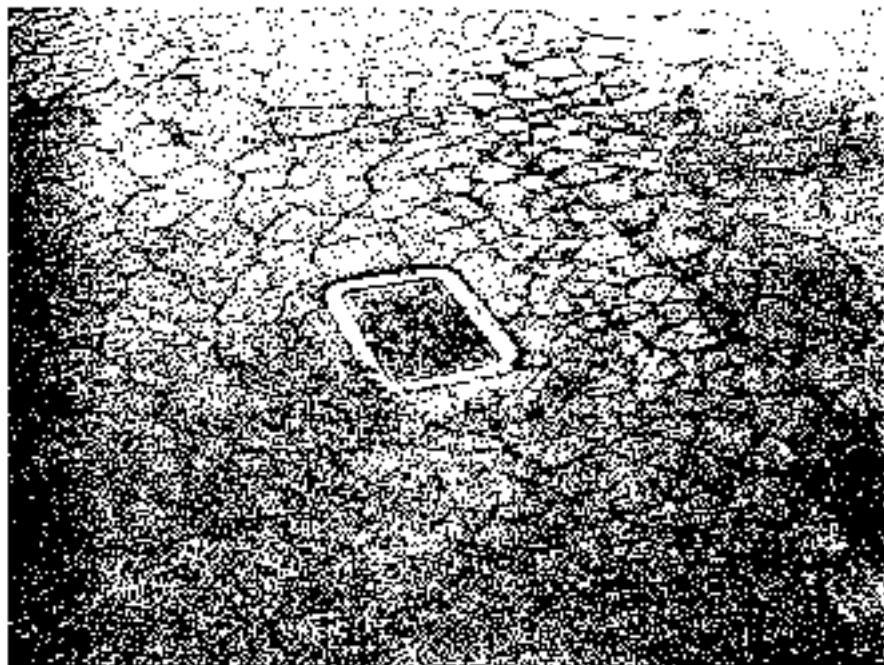
El Rodeo Elementary School



El Rodeo Elementary School



Faculty Parking Lot is in poor condition. Removal and replacement of majority is necessary.



Faculty Parking Lot is in poor condition. Removal and replacement of majority is necessary.

URS



Faculty Parking Lot is in poor condition. Removal and replacement of majority is necessary.

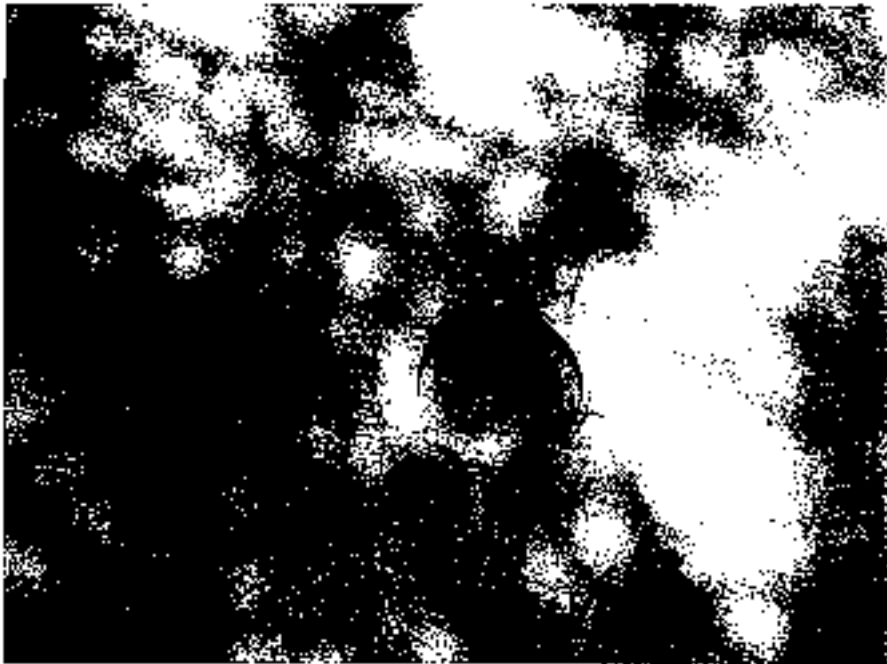


Fencing along Faculty Parking Lot south of trash bins is in poor condition and should be replaced within 5 years.

URS



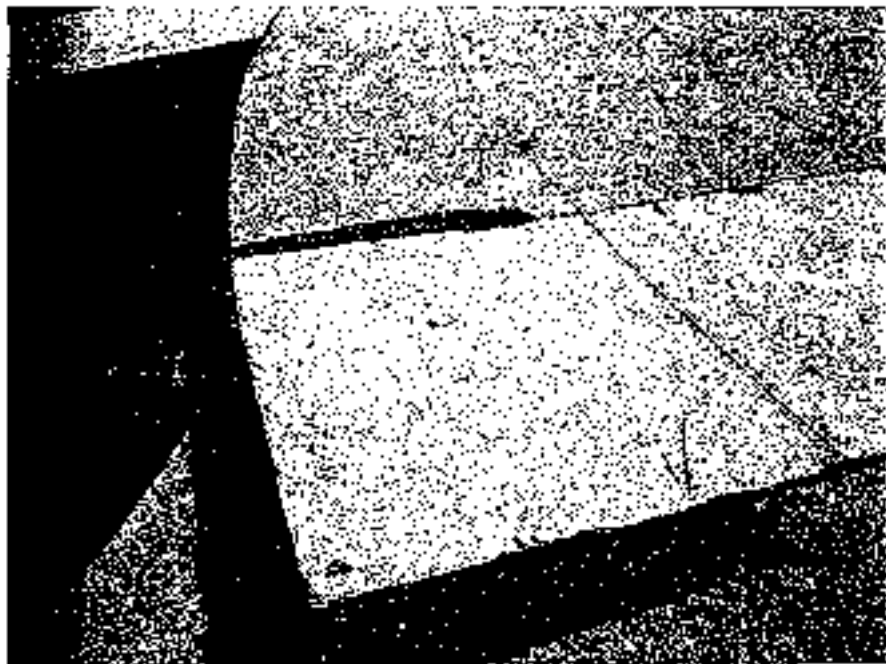
Retaining wall behind trash bins requires repair.



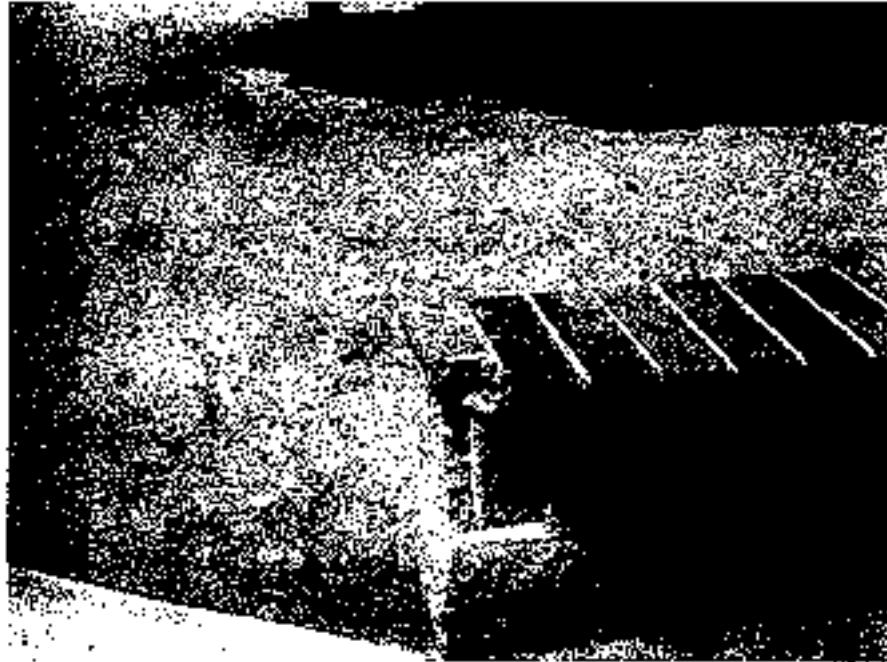
Cleanout covers require repair.



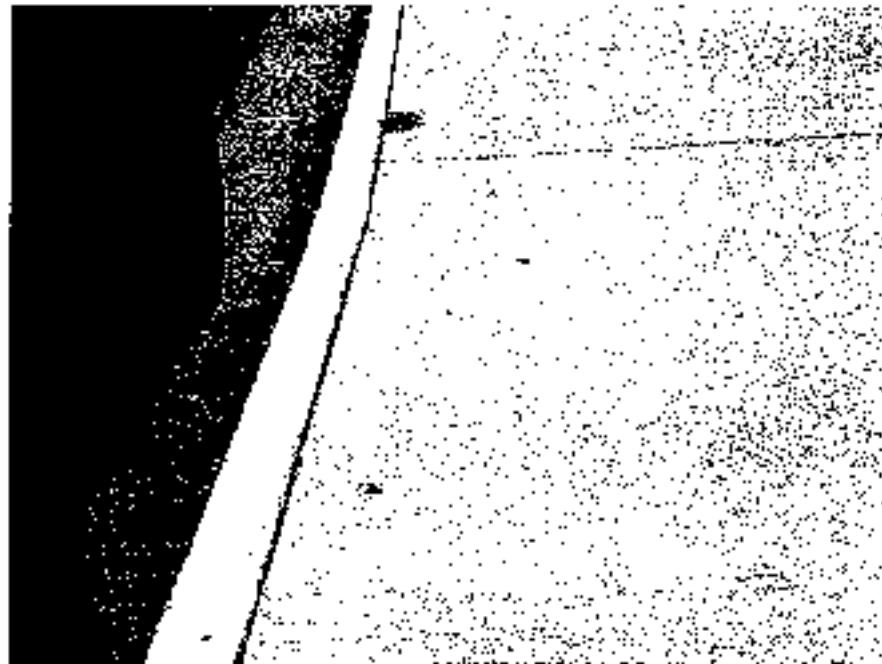
Cleanout covers require repair.



Concrete walkway at school entrance requires repair.



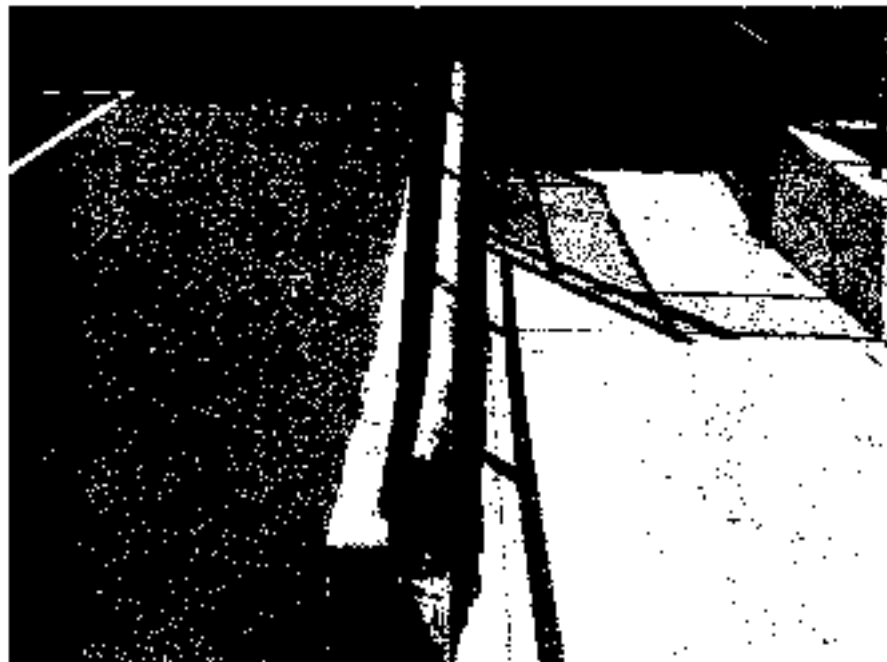
Planter walls at school entrance require repairs.



Perimeter sidewalk requires repair in many locations – there are trip hazards.



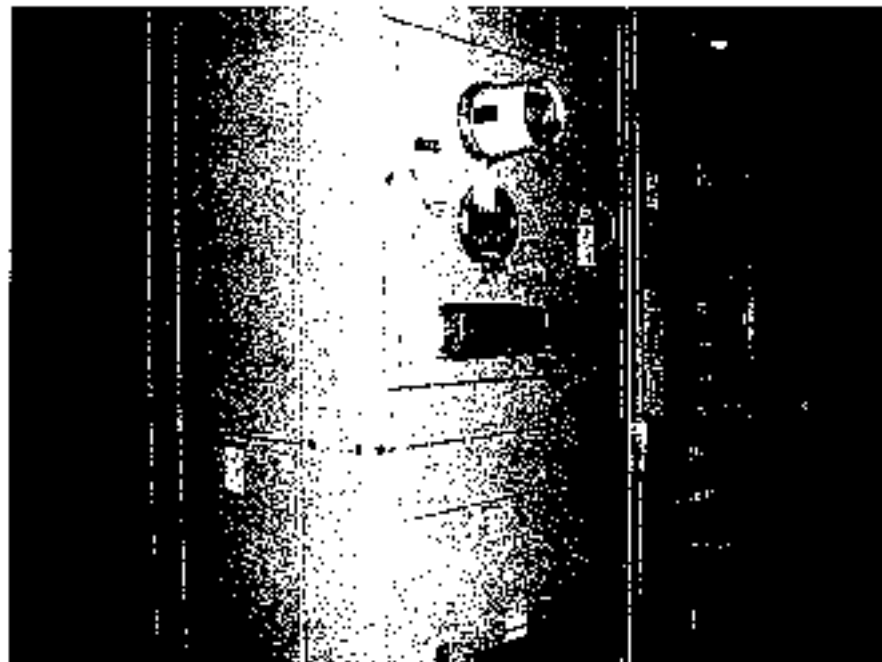
Perimeter sidewalk requires repair in many locations – there are trip hazards.



Play area handrail requires repair.



Concrete walkways in south campus garden area require repair.



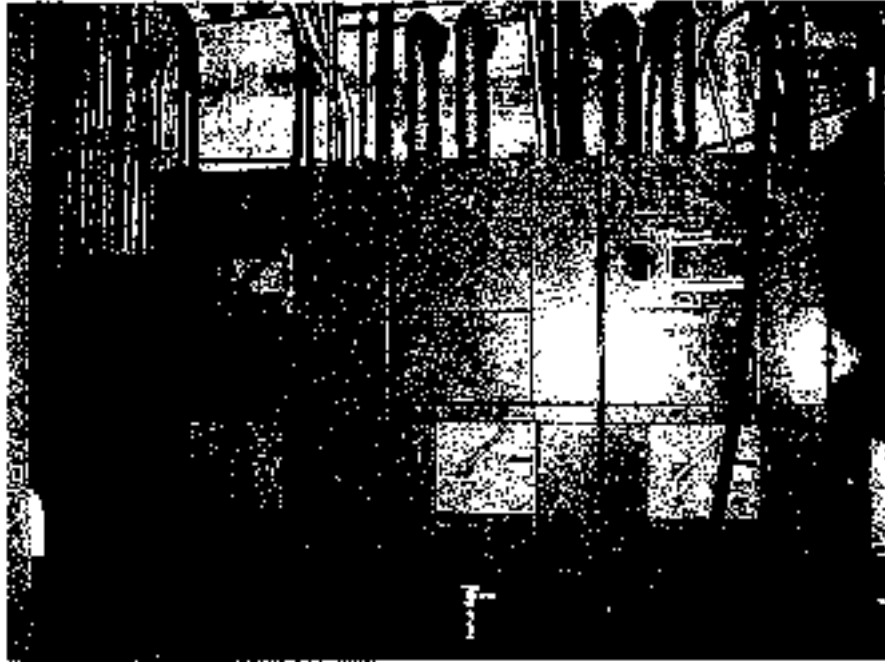
Bldg C, Rm 158: 3000A Siemens Switchboard, 277/480V, 3 phase, 4w.



Bldg. C, Rm 158: Distribution board "EMS" 1600A, 240V, 3ph, 3w.



**Transformers next to Bldg A: "TR-MS" 225KVA, "T-C" 100KVA, "T-B" 100KVA,
"T-A" 100KVA**

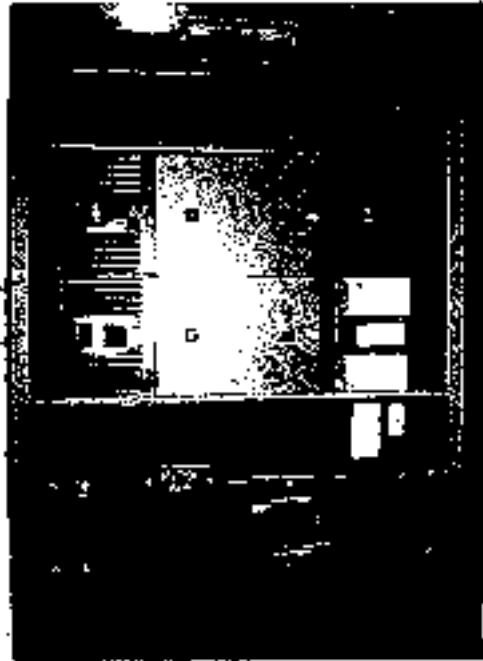


Bldg C, Rm 158: Switch boards "MSP-1" 600A, 240V, 3ph, 3w; "MSA", "MSB", "MSC":
600A, 120/240V, 1ph, 3w.

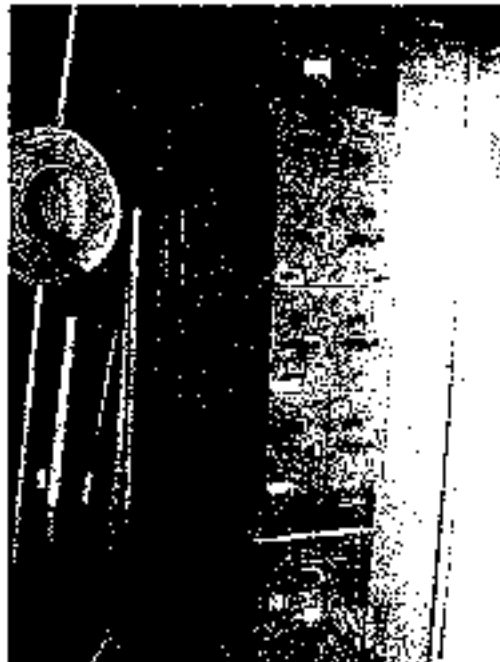


Bldg. D, Rm 134b: Distribution Panel "DP-C" 400A, 120/240V, 1ph, 3w & Panel "DP-P"
400A, 240V, 3ph, 3w.

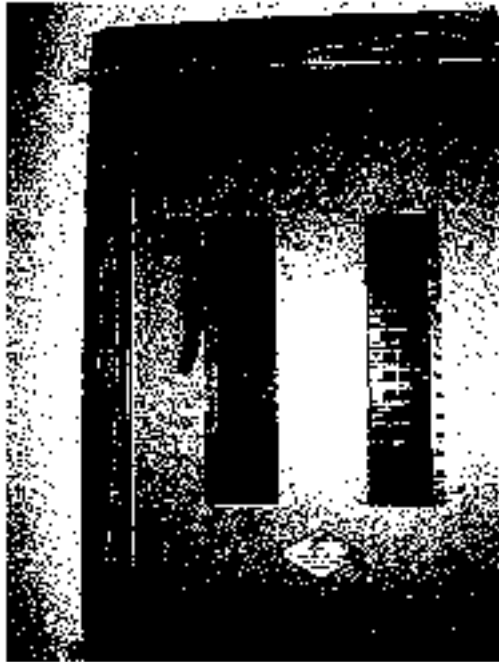
URS



Bldg. E, Rm 126: Distribution Panel "DP-D" 600A, 120/240V, 1ph, 3w.



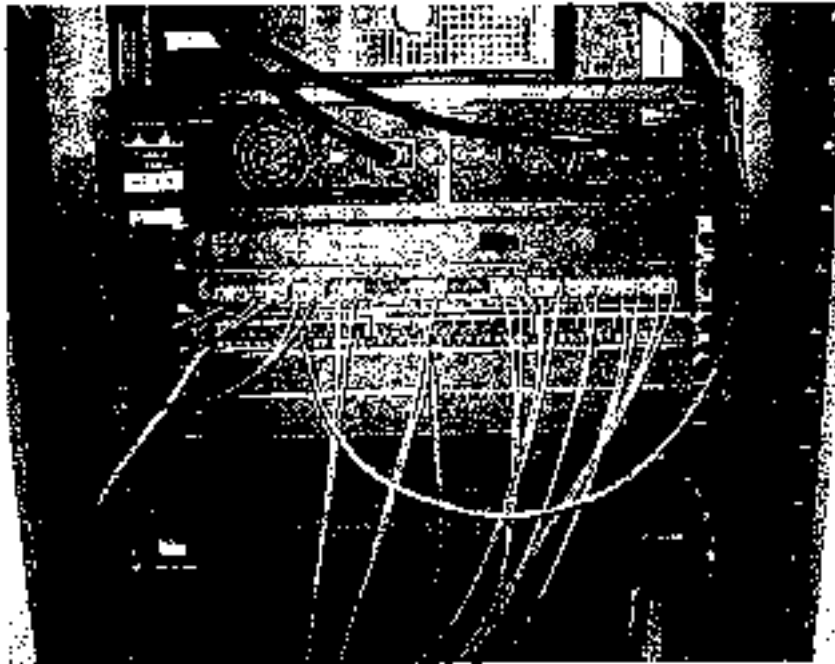
Bldg. E, Rm 121: Motor Control Center "MCCA" 400A, 240V, 3ph, 3w.



Panel: Zinsco, 225A, 120/240, 1ph, 3w (typ.)



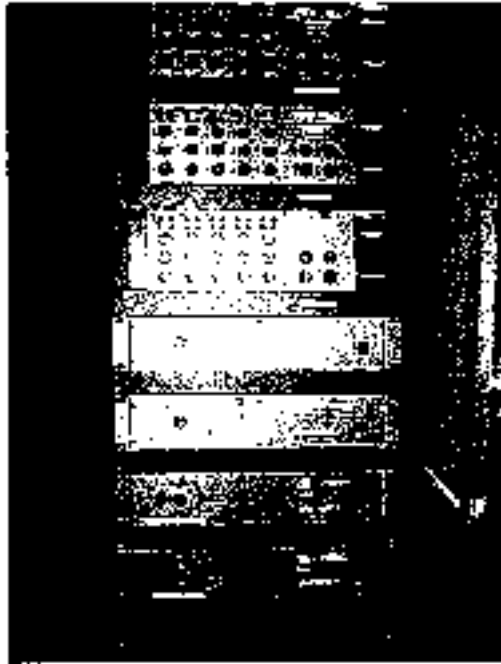
Bldg. D, Rm 137: Jefferies Transformer, 25KVA.



Bldg. C, Rm 158: MDF.



Bldg. C, Rm 158: FATC, FCI 7200.



Bldg. C, Rm 158: PA System, Simplex.

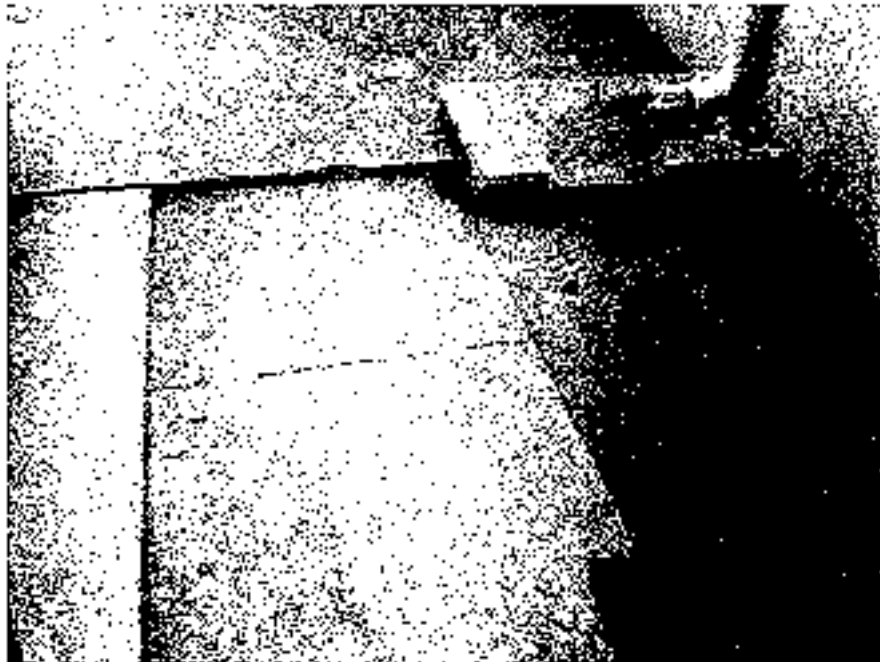


Bldg. C, Rm 158: Telephone Backboard, speaker, telephone, data, & CATV terminals.

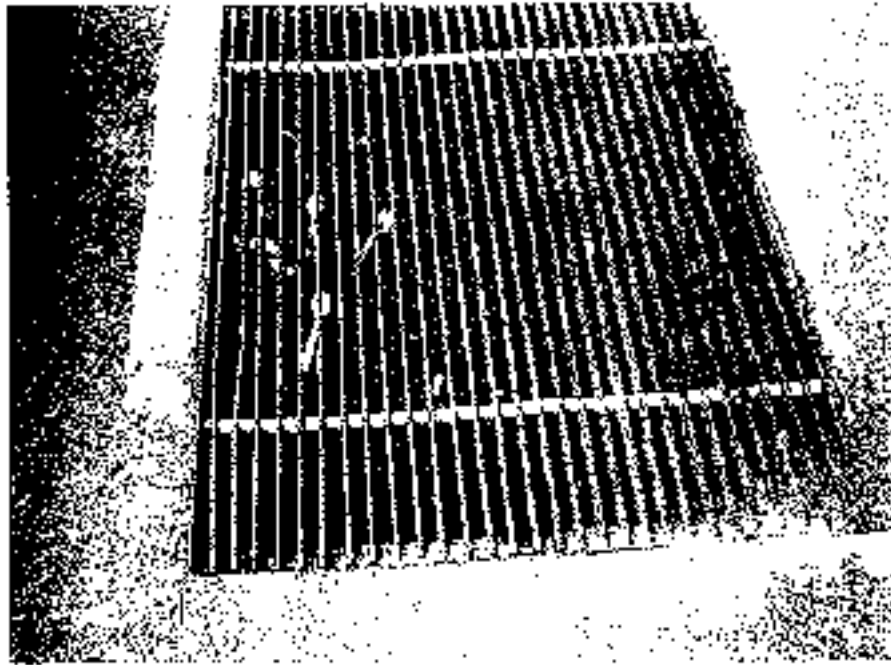
HAWTHORNE



Hawthorne School



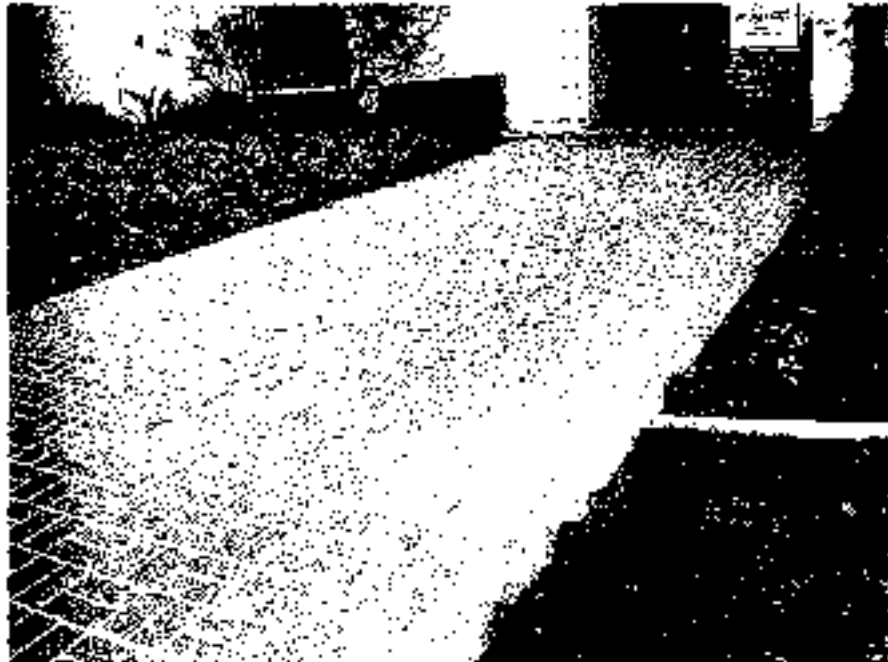
Concrete near boiler room requires repair.



Many surface drains are plugged with debris require maintenance prior to next rainy season.



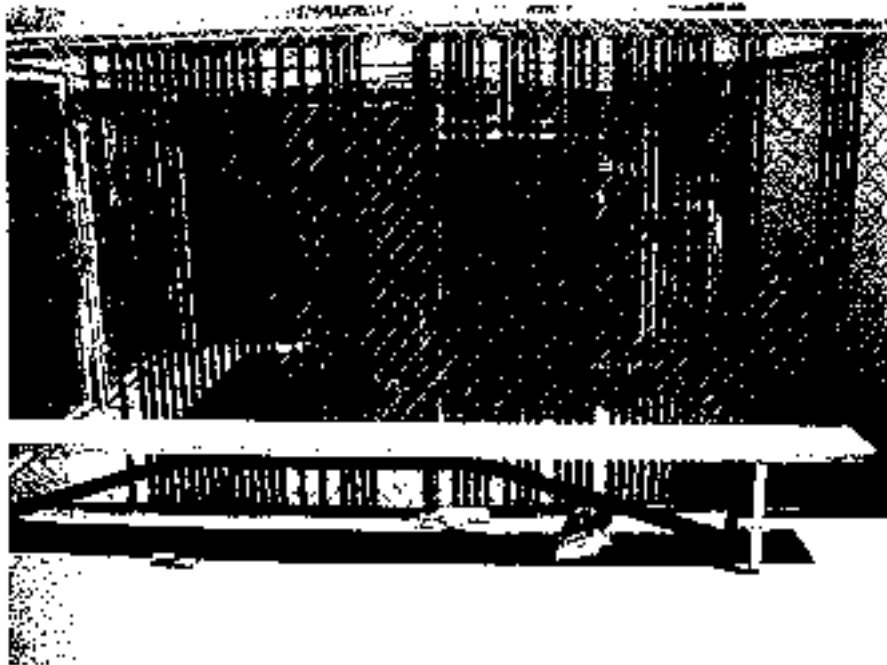
Perimeter sidewalks require repair.



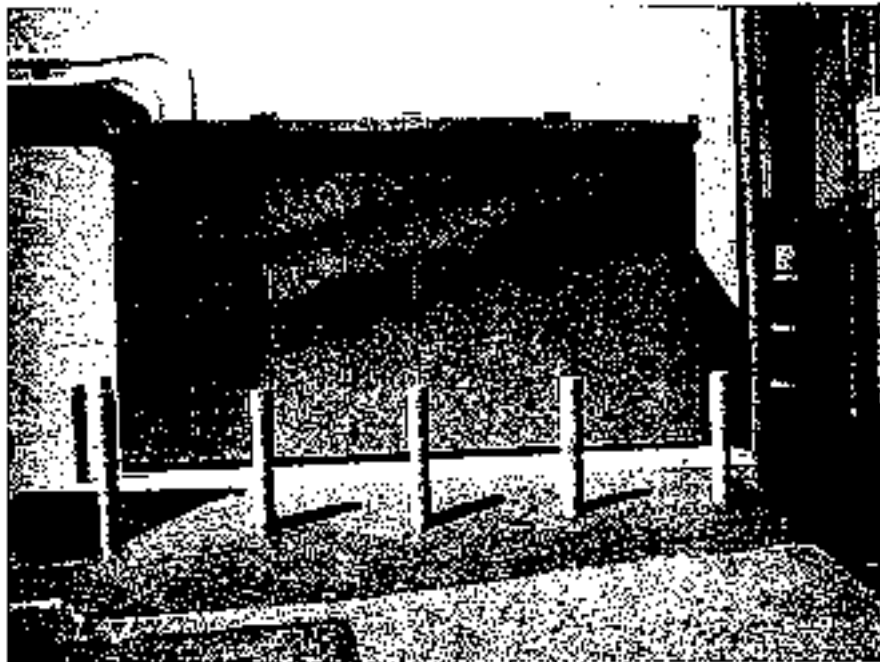
Brick pavers near flagpole are in poor condition. Repair or replacement is required.



Perimeter fencing need minor repairs.



SCE Utility Transformer



Existing 4000A Main Switchgear 277/480V, 3 ϕ , 4W



Replace Bulldog Switchboard "PH1", "PH2", "PH3" – at First Floor Electrical Room (E-1A, E-2A, E-3A)



Replace – Bulldog Distribution Board – "PHC" – At First Floor Elec. Rm (E-4A)



Replace FPE Distribution Board "E" at Basement Electrical Room (E-7A)



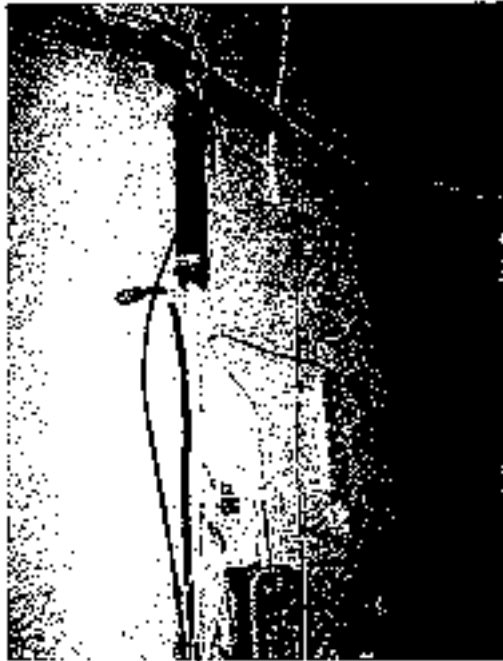
Replace Old Bulldog Panels in First Floor Corridors (Typ.2) (E-10A)



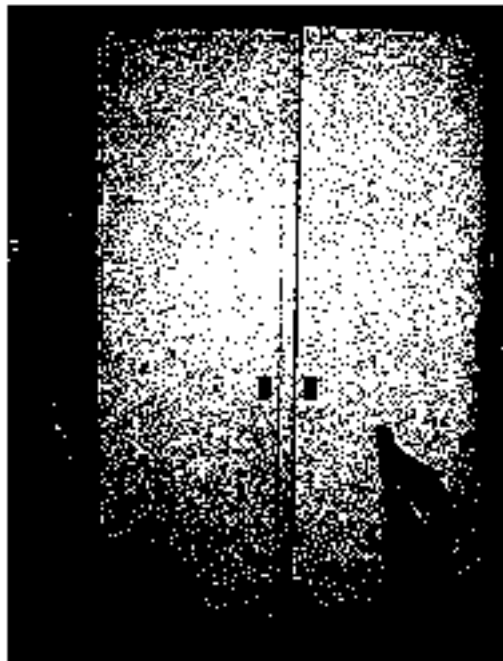
Replace old Bulldog Panels in Second Floor Corridors (E-11A)



Existing Main Distribution Frame Room in Building C- MDF Room



Existing Telephone Breakroom in Building C – MDF Room



Existing MDF Cabinets in Building C – MDF Room



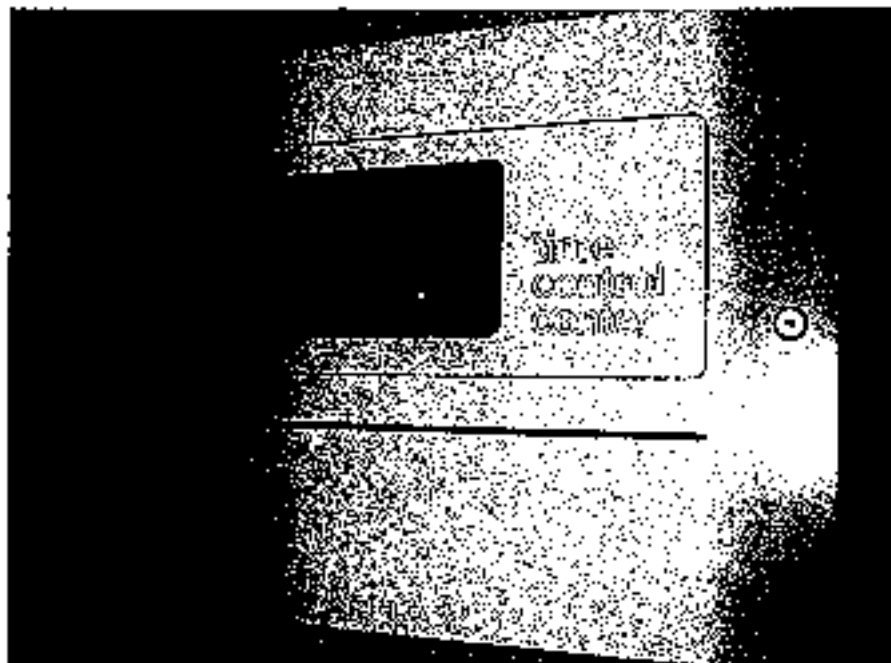
Existing Telephone System in Building C – MDF Room



Existing Communication System in Building C – MDF Room



Existing Fire Alarm Terminal in Building C – MDF Room



Existing Time Clock System in Building C – MDF Room



Replace Old (3) FPE Panels "AB" (2 sections) & "AE" (E-1D) in Building C



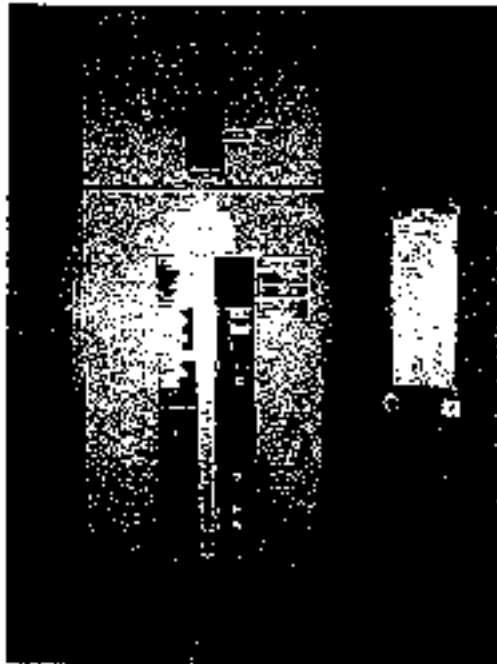
Replace Old FPE Panel in 2nd Floor Building C



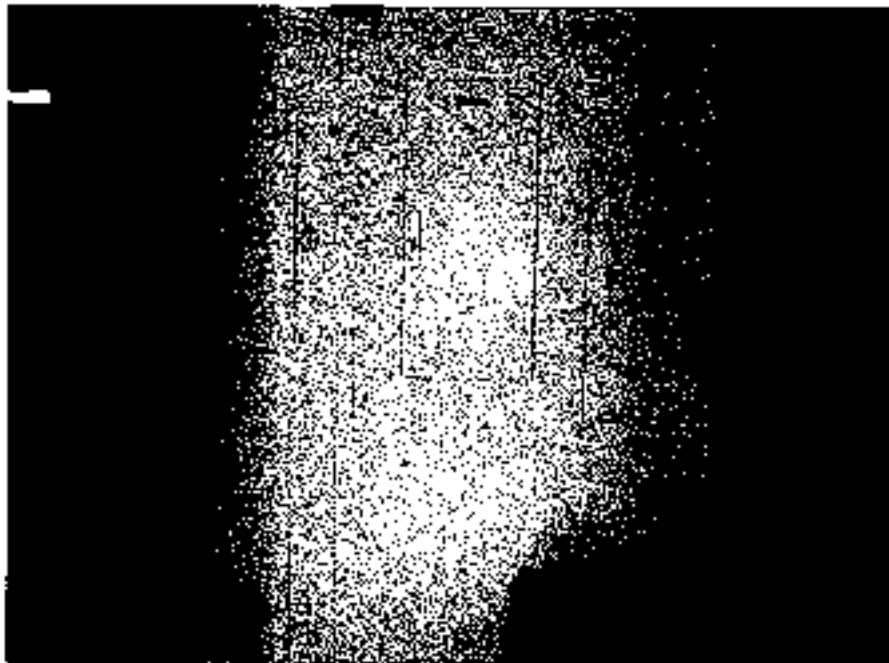
Replace Old FPE Panel in Building C



Replace Old FPE Distribution Board "MS" in Building E (E-1E)



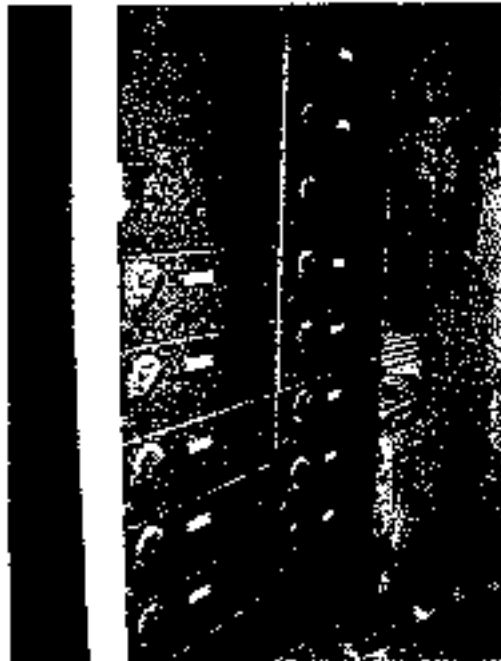
Replace Old Challenger – Panel 225A, 120/240V, 1ø In Building E (E-2E)



Replace Old (3) Benjamin Flea Panels in Kitchen (E-1K)



Replace Old 6E Distribution Board "E" in Building K



Replace Old Motor Control Center (E-2K)



Replace Old FPE Panel – 25A, 120/208V, 3ø in Building J (E-1J)

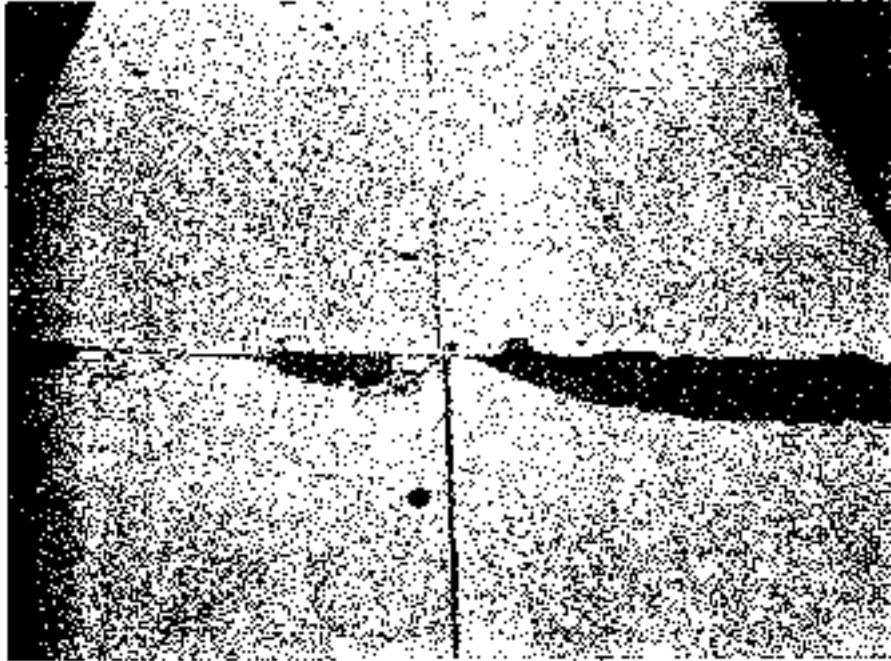
HORACE MANN (HORACE OCA)



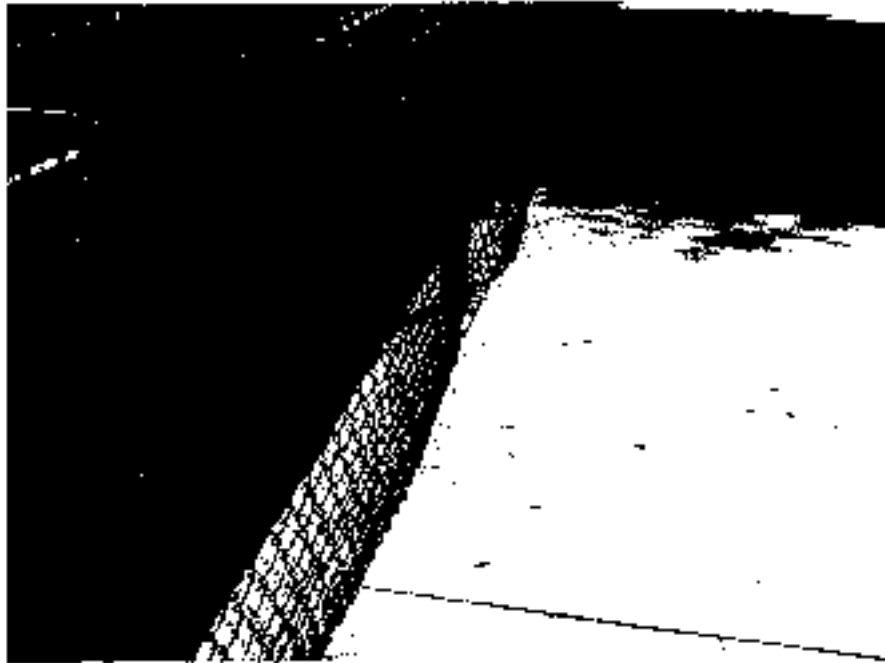
Horace Mann School



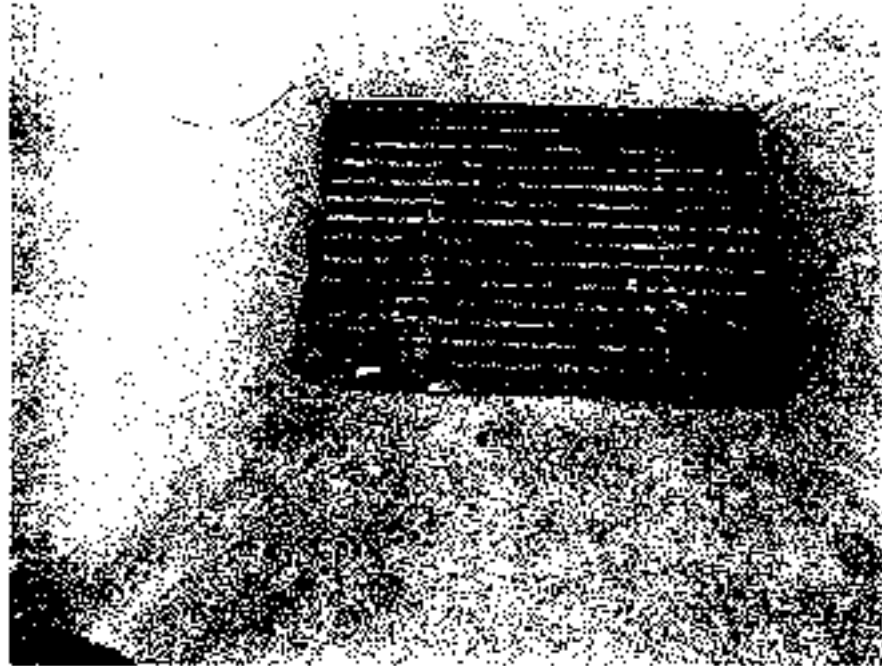
Perimeter sidewalk is in fair condition. Some repairs are required.



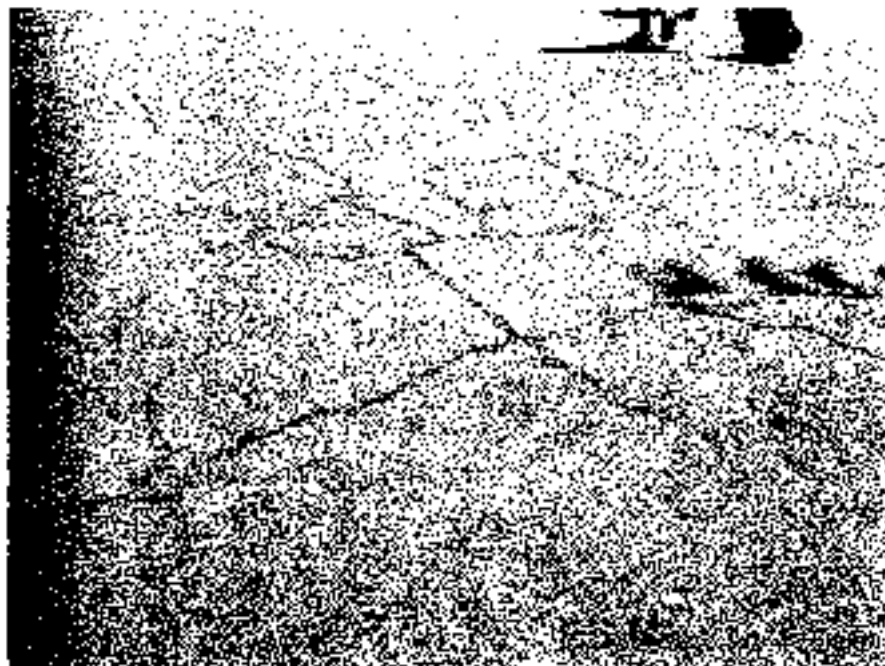
Perimeter sidewalk is in fair condition. Some repairs are required.



Perimeter fencing requires minor repair.



Area drains should be inspected and maintained. The drains should be cleaned prior the next rainy season.



Asphalt playground is in fair to good condition. Crack/slurry seal is needed within 5 to 10 years.

URS



Utility High Voltage Transfer



Replace Main Switchboard – 1600A, 277/480V, 3 ϕ , 4W at Electrical Room in Admin
Basement (E-1A)

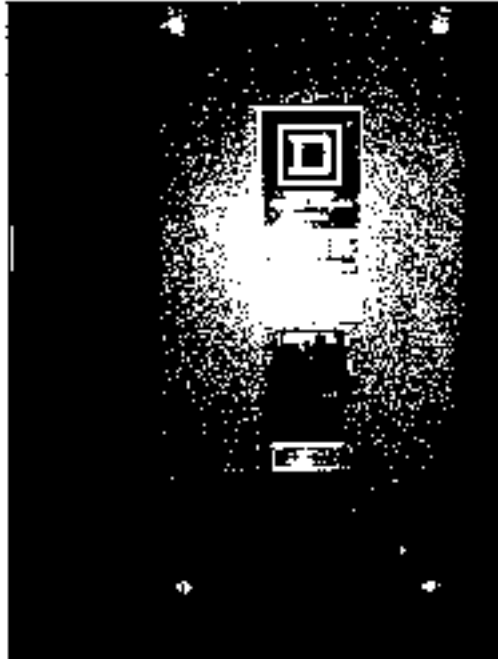
URS



Replace 167.5 KVA Stepdown Transformer in Admin Basement (E-3A)



Replace Distribution Board- 1200A, 120/240V, 1ø (E-4A)



Upsize Emergency Circuit Breaker



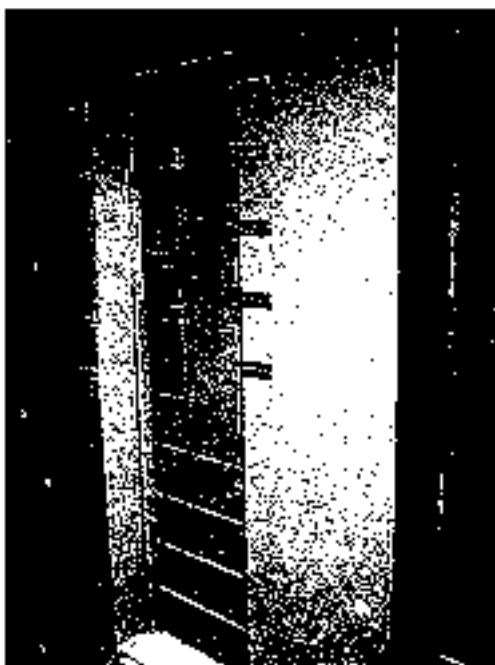
Replace 20KW -- 120/140V, 1ph- Natural Gas Generator with new 25 KVA Diesel Fuel Generator on 40 KW Inverter Unit. (E-5A)



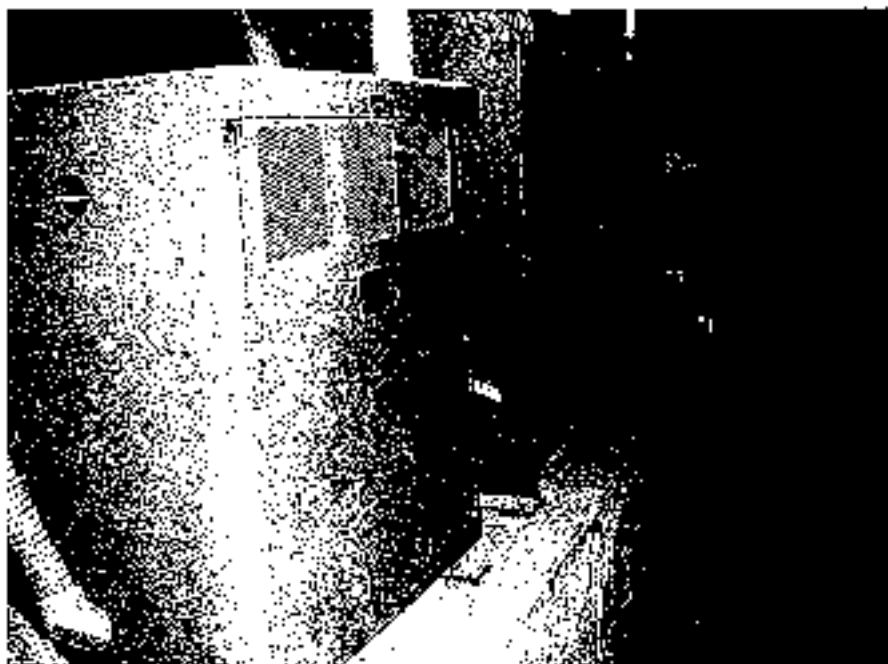
Replace/Upsize 100A Emergency Panel "E" at Basement Electrical Room (E-4A)



Replace 400A GE Panel "1" & Panel "2" – 120/240V, 1ph, 3W at Basement

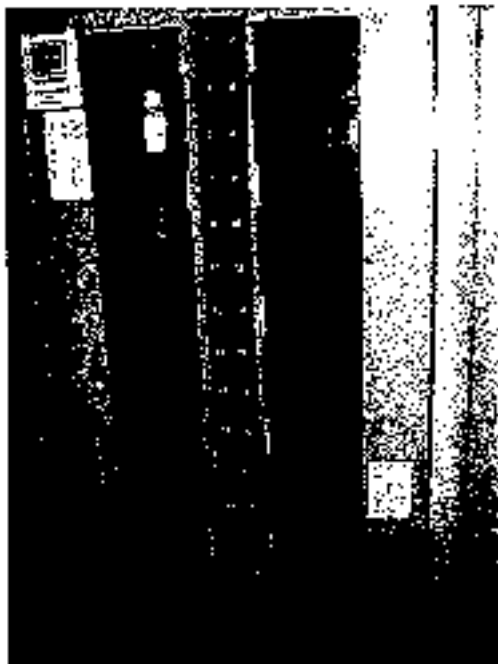


Replace 225A Panel "3" – 120/240V, 3ø, 4W at Basement (E-9A)



Stepdown Transformers to Remain Serving Panel "1", Panel "2" & Panel "3"

URS



Replace Panel "A" – 225, 120/240V, 1ø at First Floor (E-9A)



Replace Panel "A1" – 225A, 120/240V, 1ø at First Floor (E-10A)

URS

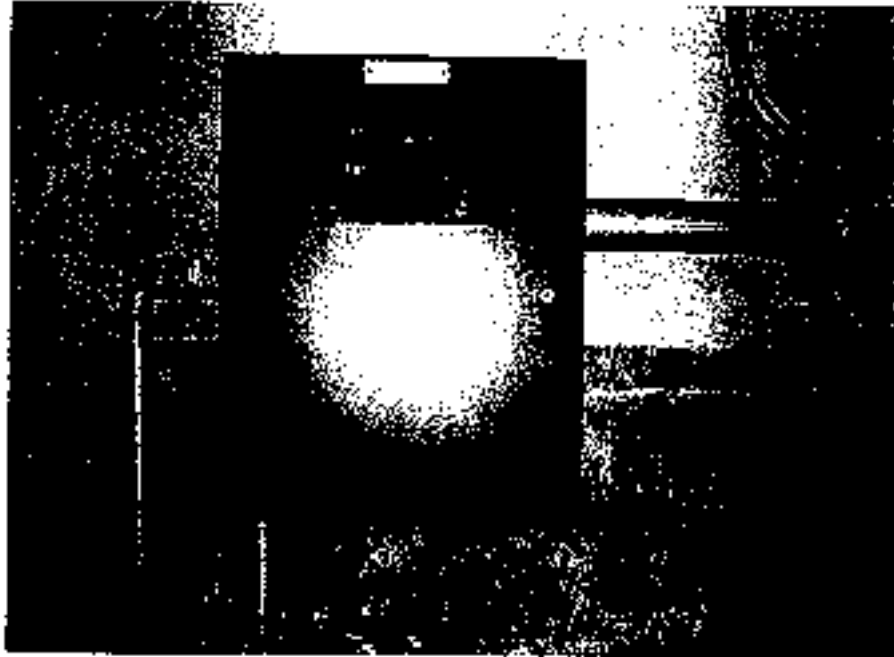


Replace Panel "A1" - 100A, 120/240V, 1ø (E-11A)



Replace Zinsco Panel "C", "S" and "P" - 225A, 120/240V, 1ø in 2nd Floor Admin Bldg.
(E-12A)

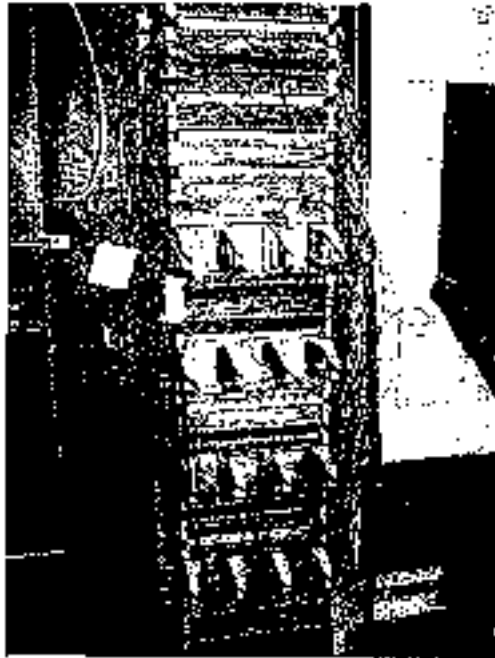
URS



Existing FACD to Remain (E-14A)



Telephone System to be Relocated to New Location Telephone/Data Room (E-15A)



Patch Panels to be Relocated to New Telephone/Data Room (E-15A)



Security Panels to be Relocated to New Location Telephone/Data Room (E-16A)



Telephone Board to be Relocated (E-15A)

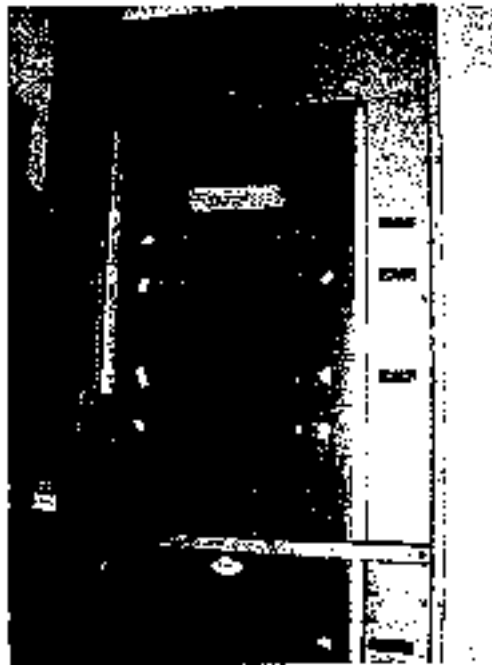


Building Communication System to be Relocated to New Location – Telephone/Data Room (E-17A)

URS



Telephone System – Terminal Blocks & Telephone Board to be Relocated to New Telephone/Data Room (E-15A, E-18A, E-19A)

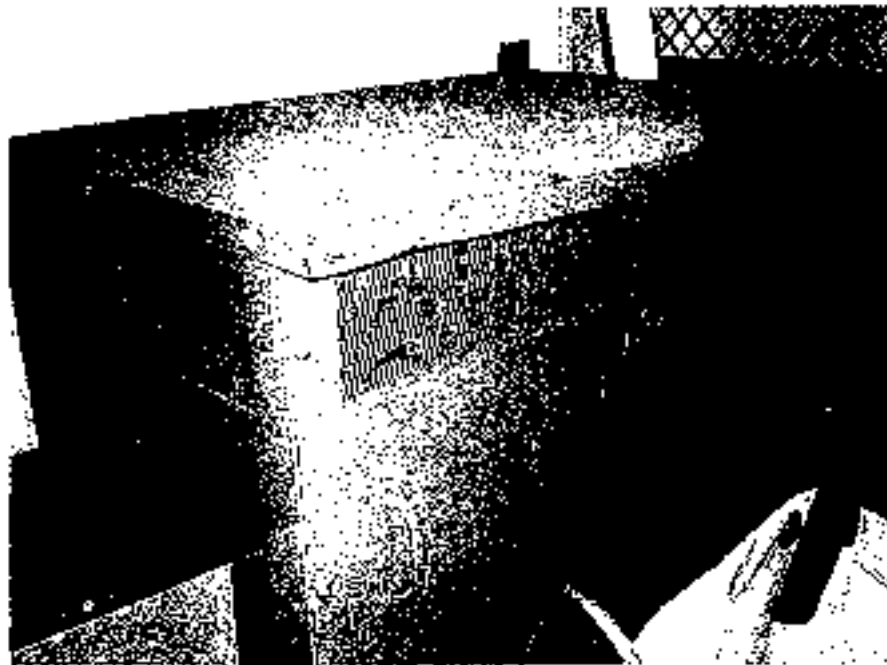


Replace Dual Bus Main Distribution Board 800A - 277/ 98W & 1200A- 120/240V, 1φ (E-18)

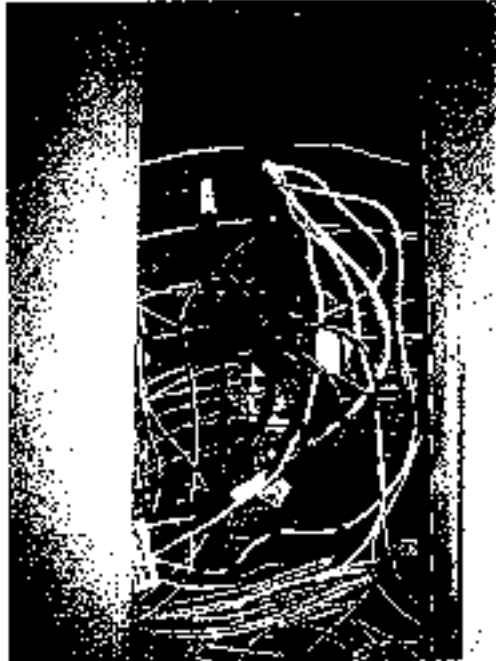
URS



Replace Zinsco – Panel & Lighting Contractor Panel "60" 225A - 120/208V, 3ø, 4W
(E-2B)



300 KVA Stepdown Transformer

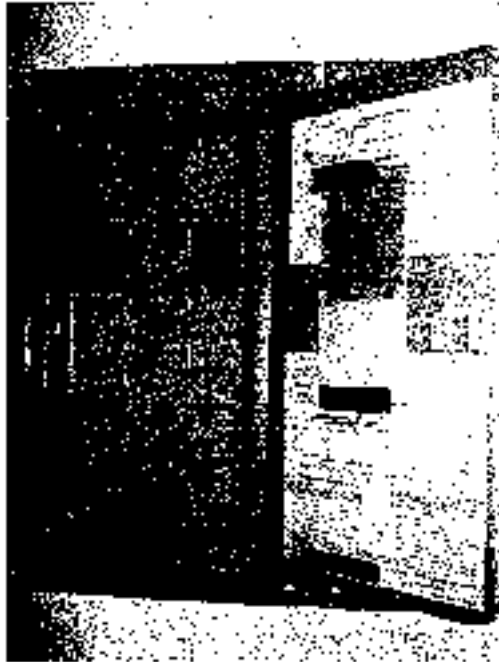


Replace Zinsco Panel "2B" – 225A – 120 / 208V, 3a (E-3B)



Replace Zinsco Panel "3C" – 225A – 120/208V, 3a, 4W (E-1C)

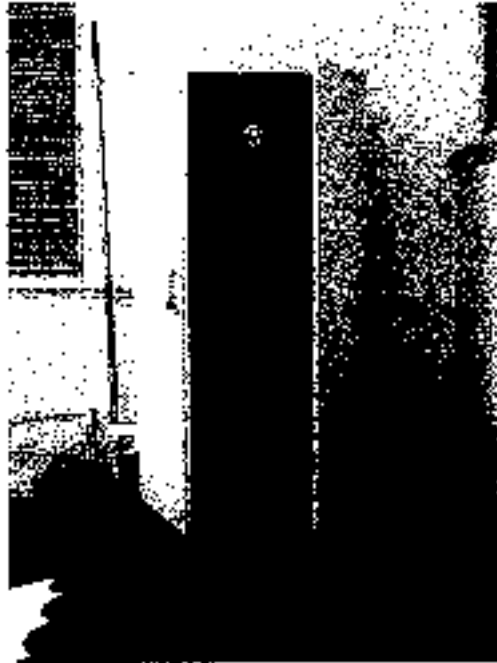
URS



Replace Zinsco Panel "3P" 225A ~ 120/208V, 3ø, 4W (E-1C)



Building E to be Demolished (by Others) E-1E

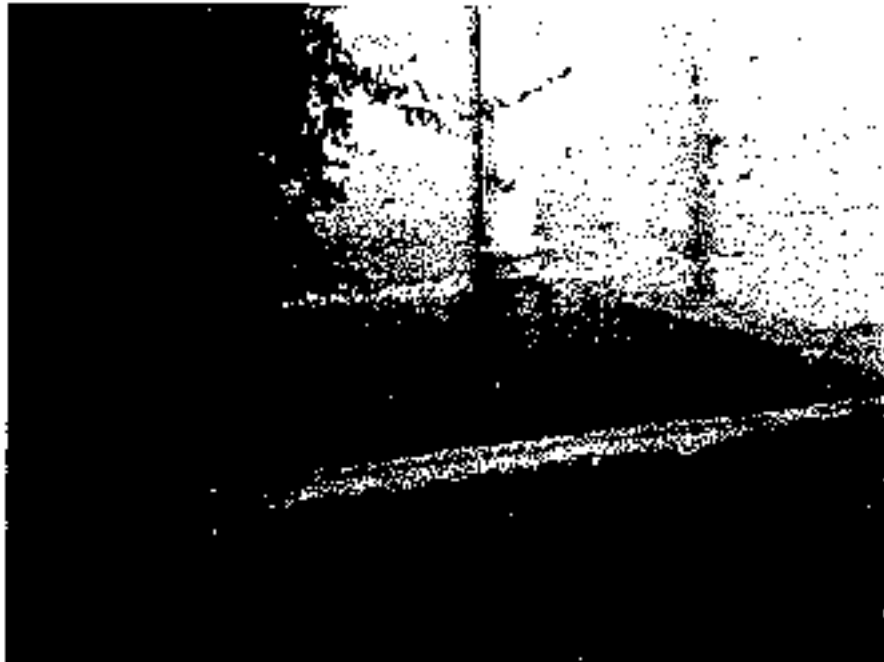


Replace 600A – 120/208V, 3ø, 4W for Building E (E-2E)

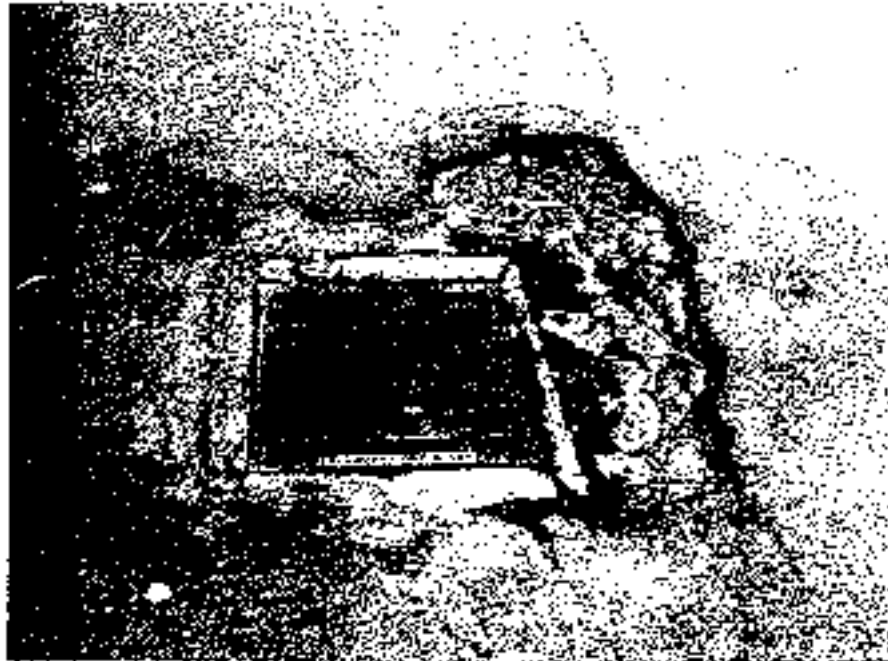
BEVERLY HILLS HIGH SCHOOL



Beverly Hills High School



Roof drains at Building 'B' do not drain, per maintenance department.

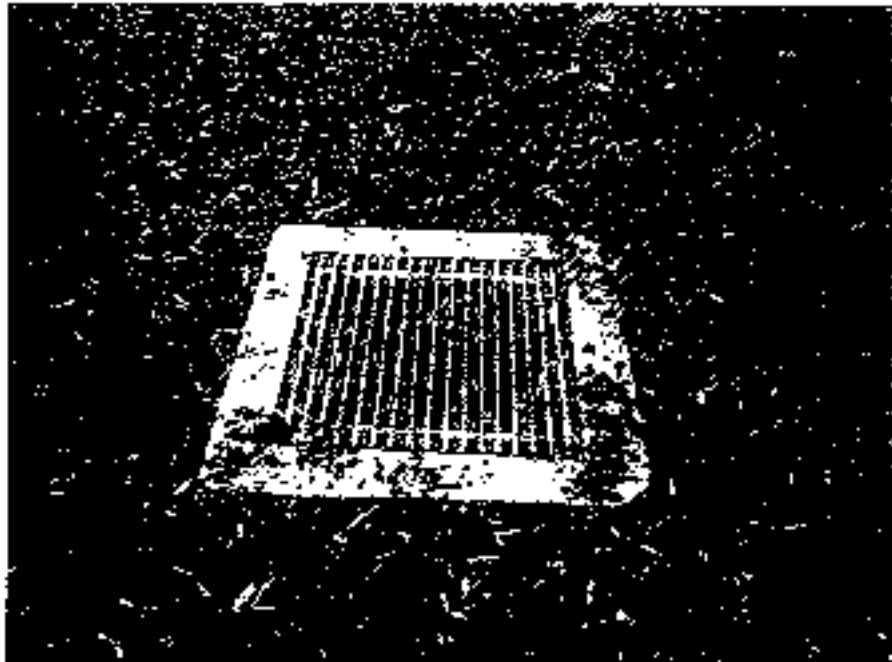


Main road through campus is in fair shape. Some repair and crack/slurry seal is required.



Main road through campus is in fair shape. Some repair and crack/slurry seal is required.

URS



Many surface drains are plugged with debris and require maintenance prior to next rainy season.



Many surface drains are plugged with debris and require maintenance prior to next rainy season.

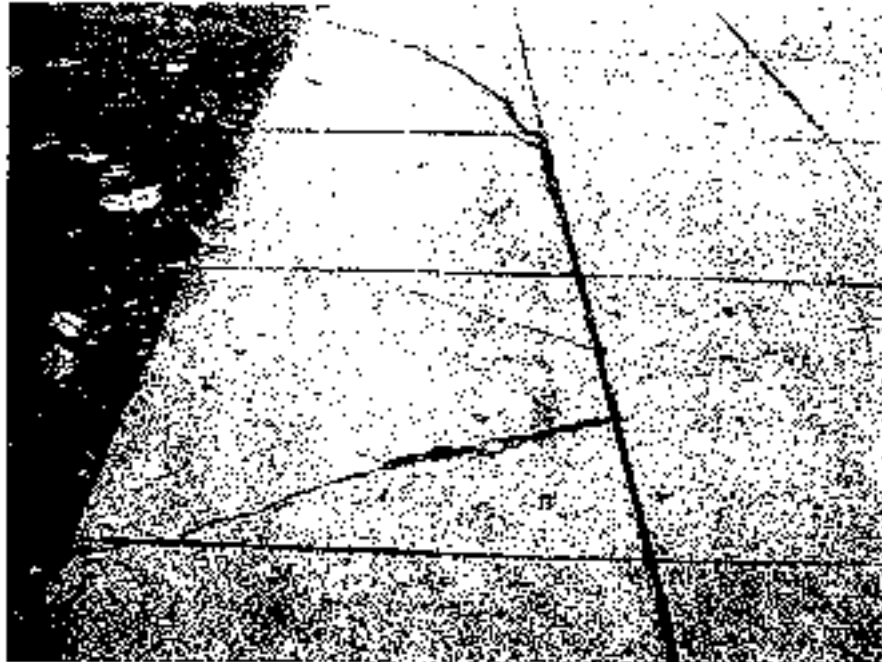
URS



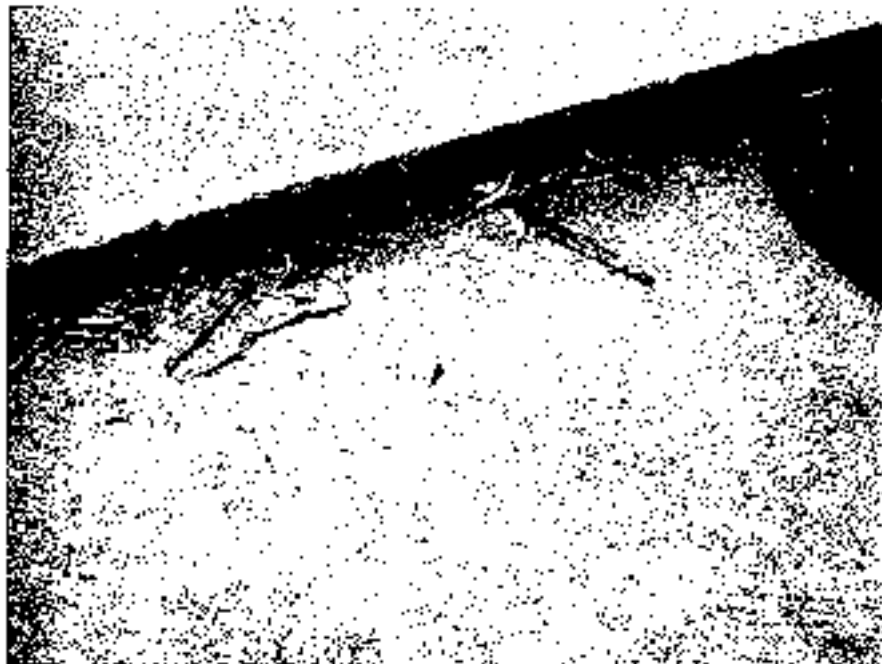
Many surface drains are plugged with debris and require maintenance prior to next rainy season.



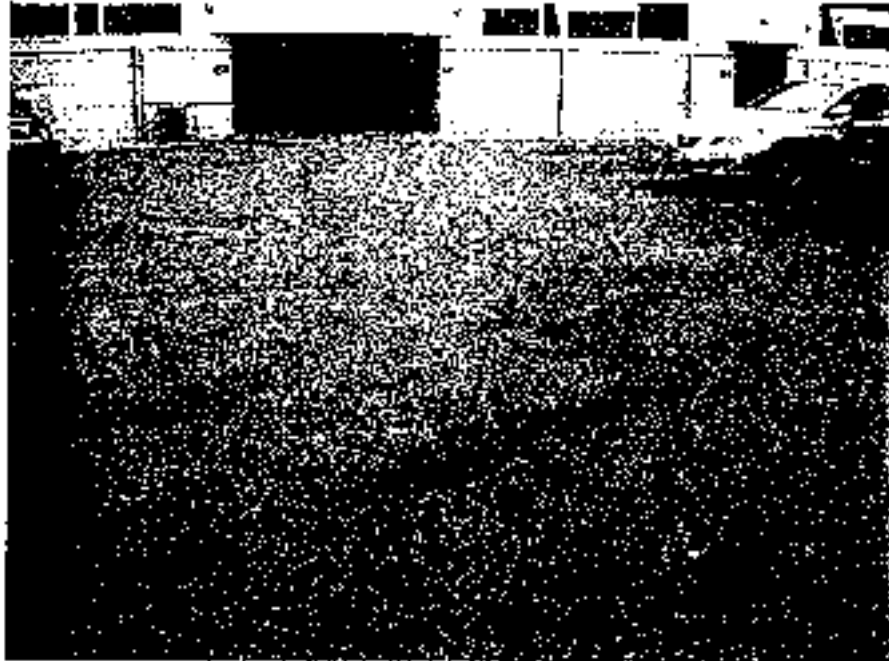
Perimeter sidewalks are old and require repair in many areas.



Perimeter sidewalks are old and require repair in many areas.



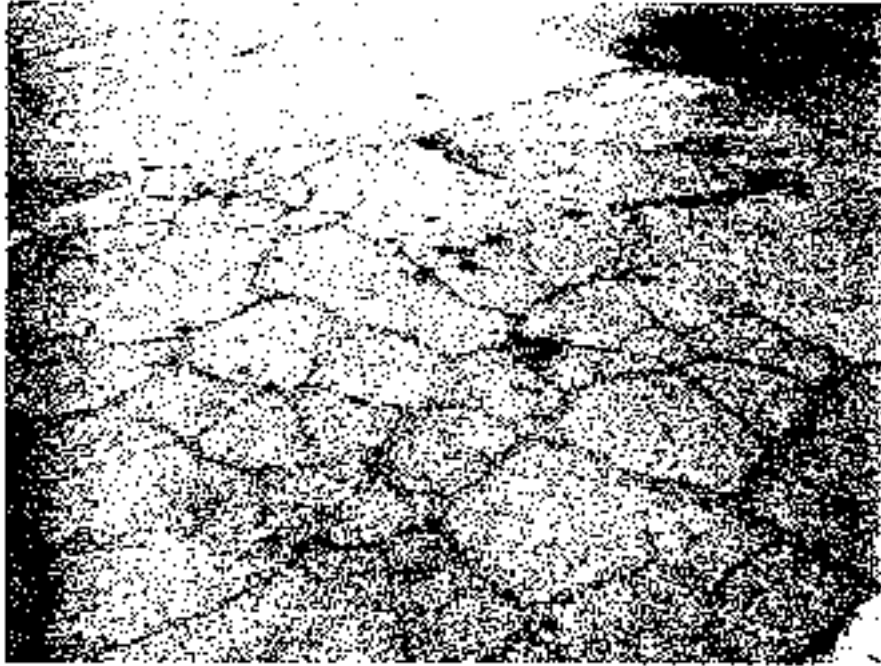
Interior walkways are old and require repair in many areas. There are trip hazards.



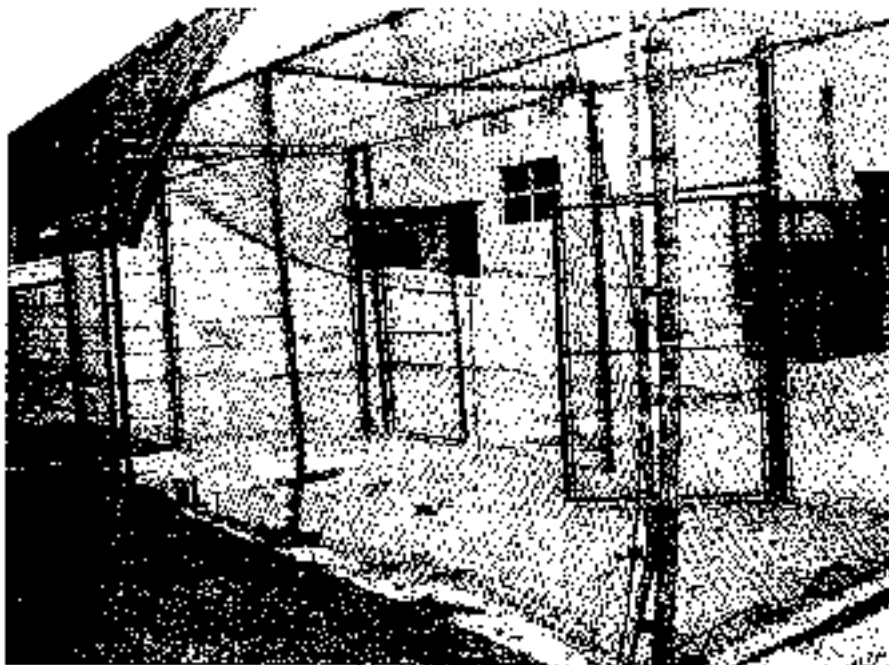
The parking lot between the Swim Gym and tennis courts is in fair condition. It should be slurry sealed within 5 years.



The parking lot north of the Swim Gym and is in poor condition. Removal and reconstruction is required.



The parking lot north of the Swim Gym and is in poor condition. Removal and reconstruction is required.



The abandoned electrical compound should be removed.



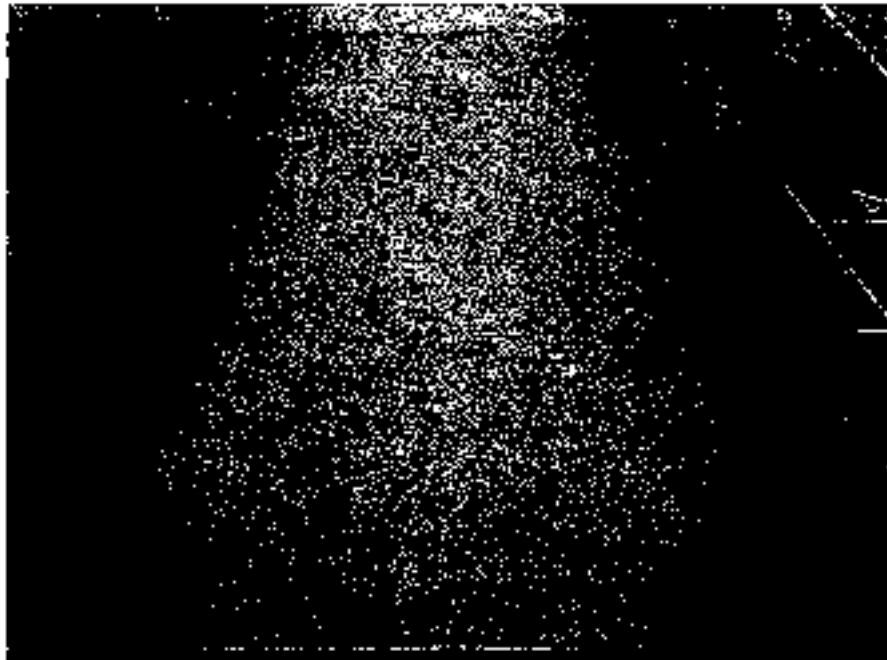
The parking lot next to track and tennis court is in fair condition. It should be slurry sealed within 5 years.



Handholes next to track require repair.

URS

Asphalt behind Girl's Gym is in poor condition. Crack seal and slurry seal is required.



The bridge is in good condition. The deck should be re-waterproofed.

URS

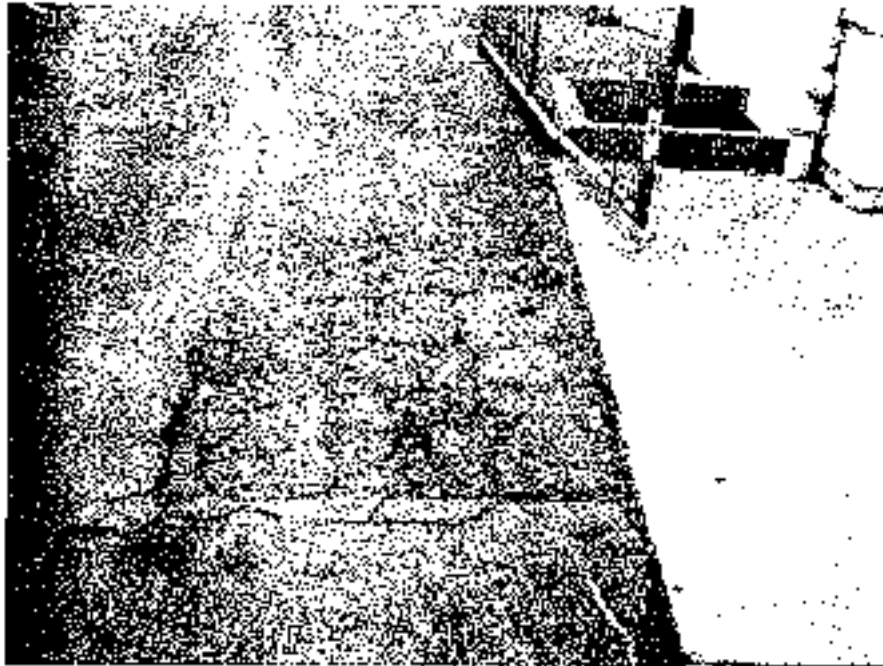


The upper level tennis/basketball courts require crack seal and slurry seal.



The upper level tennis/basketball courts require crack seal and slurry seal.

URS

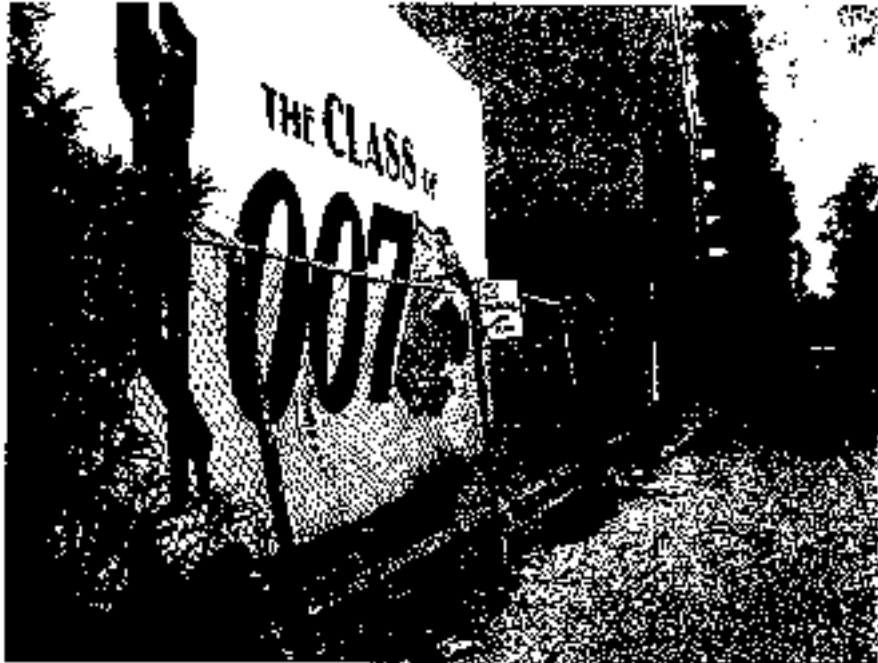


The concrete and asphalt around the weight room is in poor condition. Remove and replace poor concrete and crack/slurry seal asphalt.

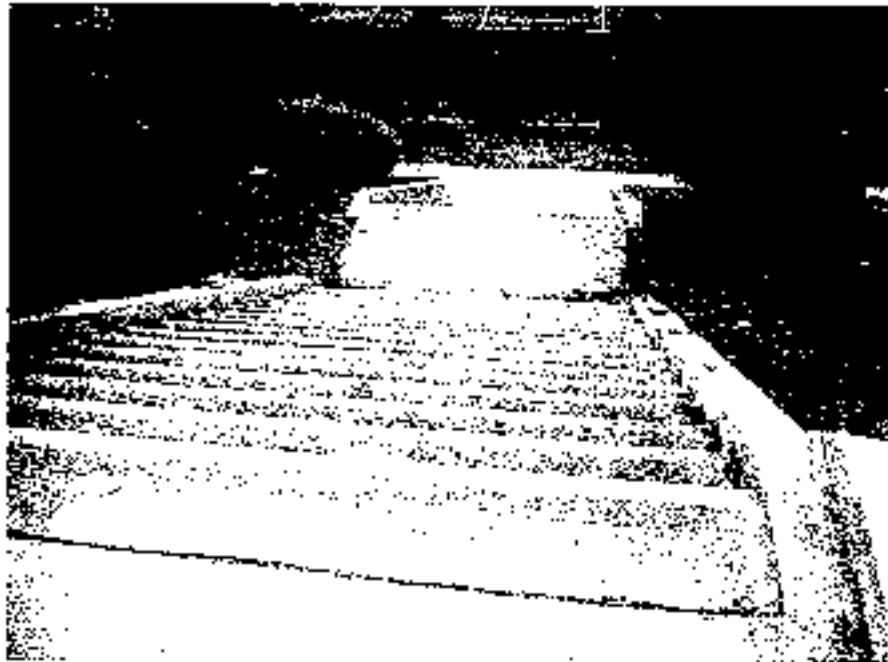


The upper parking lot and upper perimeter road require crack/slurry seal.

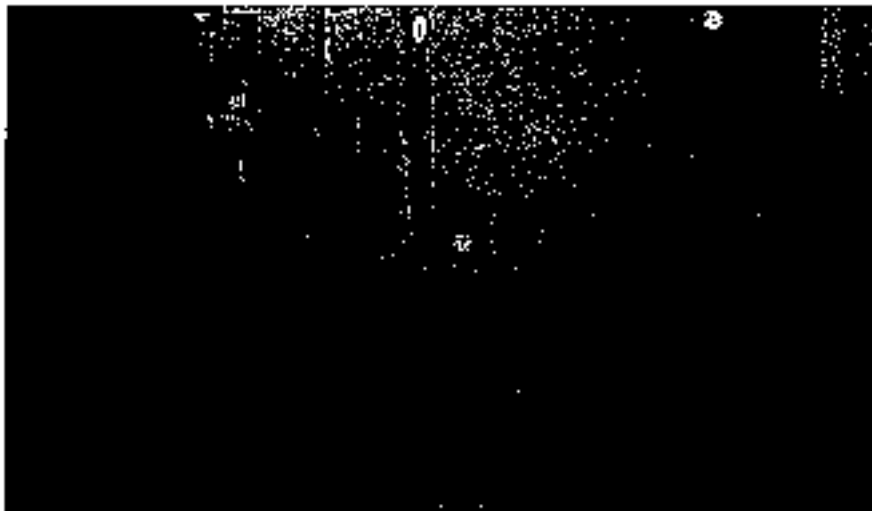
URS



Perimeter fencing around upper parking lot and perimeter roof requires repair.



The stairs from Mid-Campus to the Gym (near Modulars) require handrails.

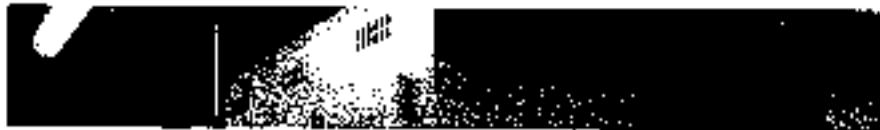


**Main Electrical Switchgear – "MSA" High Voltage – 800A, 4160V, 3 ϕ , System in Building
A Main Electrical Room**

URS



Metal stairway near workroom shows significant corrosion. It should be cleaned and repainted immediately.

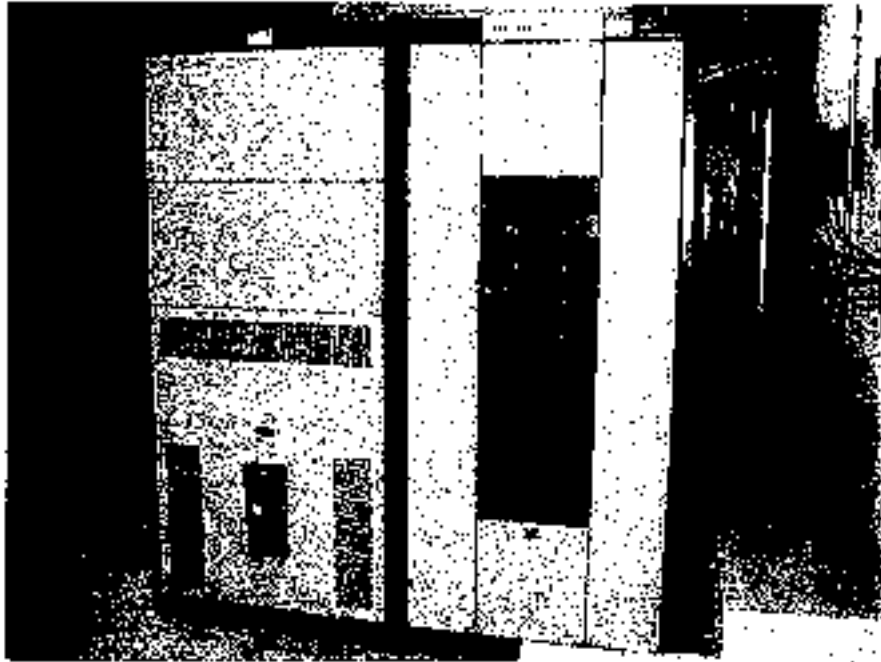




Existing MGM - 1000KVA - 4160V = 277/480V Stepdown Transformer - In Electrical Room Serving Dist. Board "AA"



Existing MGM - 1500KVA - 4160V = 277/480V Stepdown Transformer - In Electrical Room Serving Dist. Board "AB"



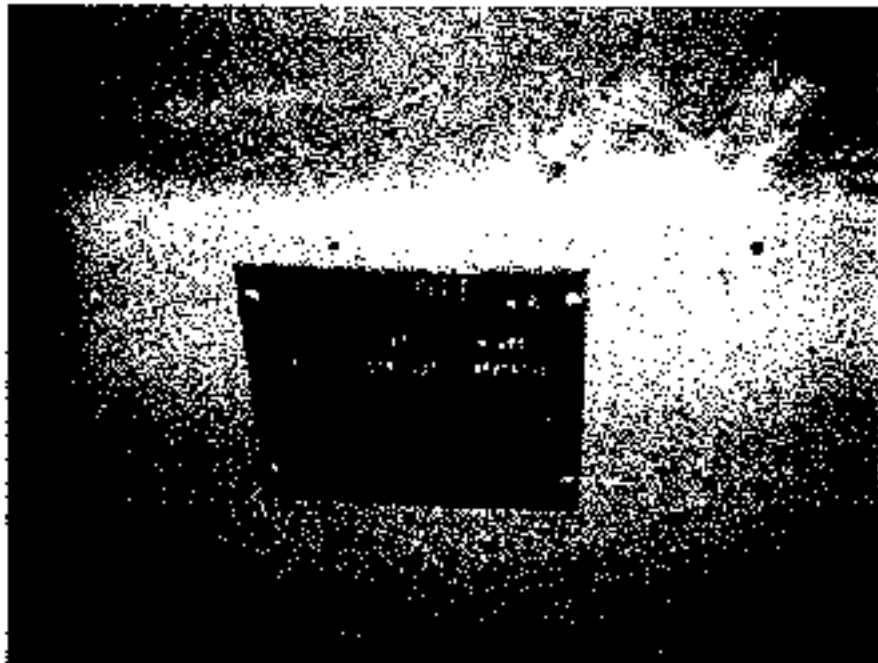
Distribution Board "AA"



Distribution Board "AB"



Replace Old Emergency Distribution Board "AS" (E-1A)



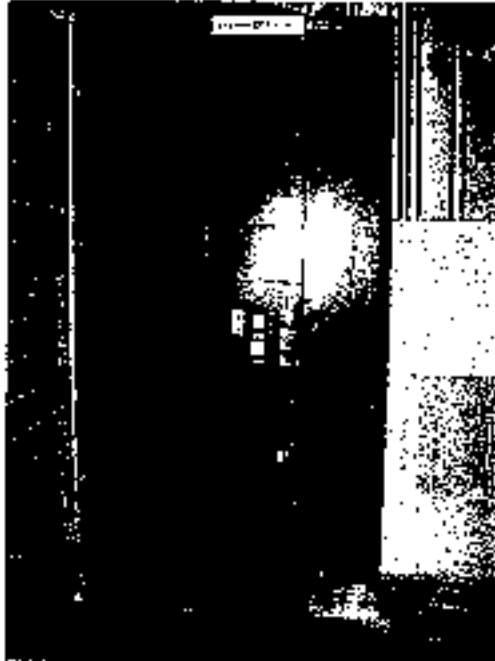
Replace Sorgel Stepdown Transformer (E-1A)



Replace Old Automatic Transfer Switch



Replace TSKW Emergency Generator 277/480V, 3 ϕ (E-3A)

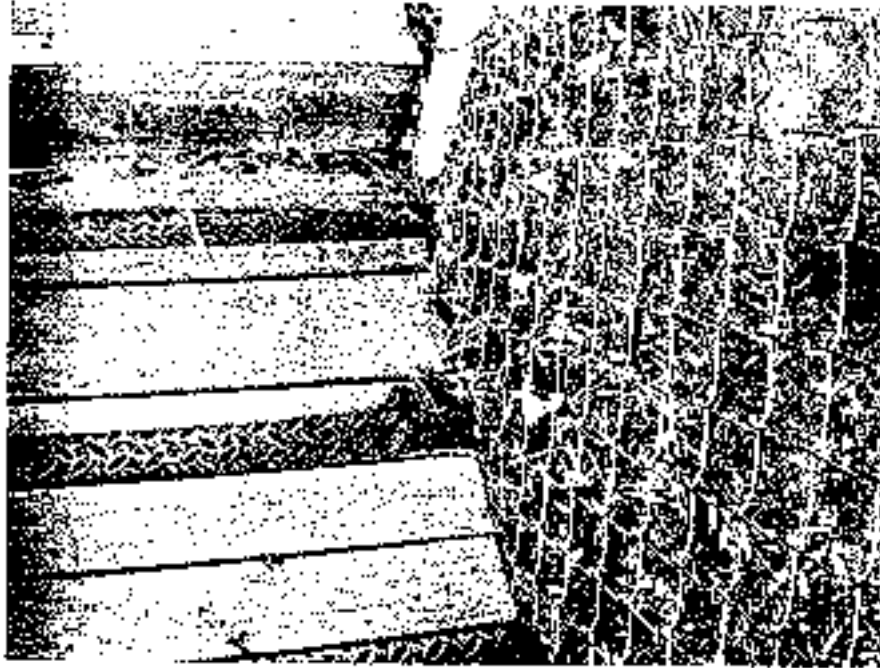


Replace GE Distribution "DS" 800A – 277/480V in Bldg A Southeast Corner of Parking Garage (E-7A)

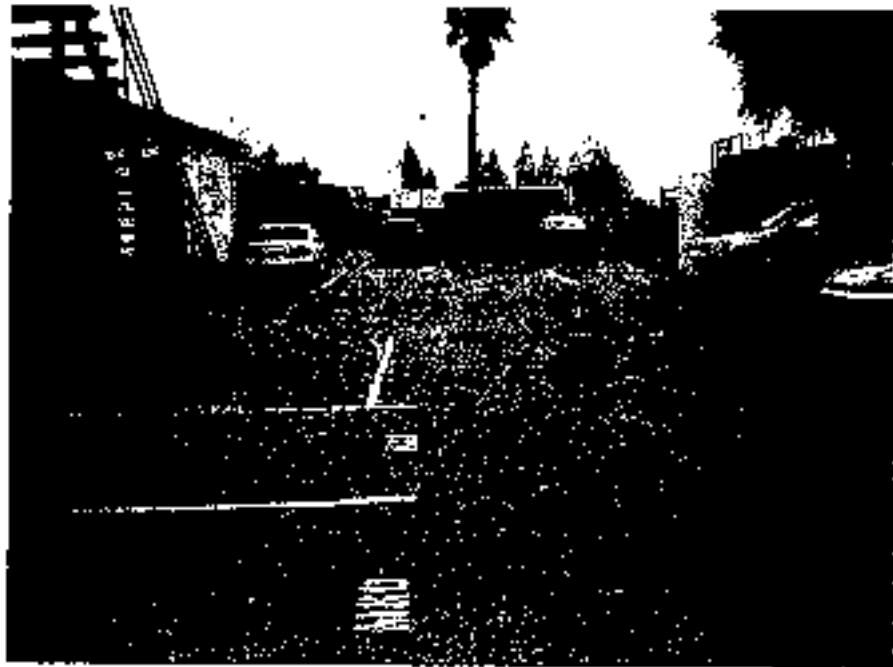


Replace GE Dist. Panel "A2HB" – 400A - 277/480V, 3φ. (E-8A) In First Floor Bldg A

URS

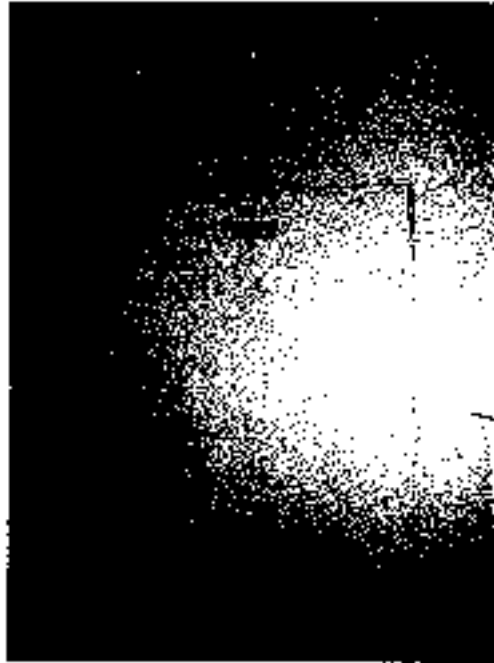


The wood stairs from the softball field to the upper campus require repair. Reconstruction with concrete stairs within 5 years is recommended.



The concrete and asphalt around the weight room is in poor condition. Remove and replace poor concrete and crack/slurry seal asphalt.

URS



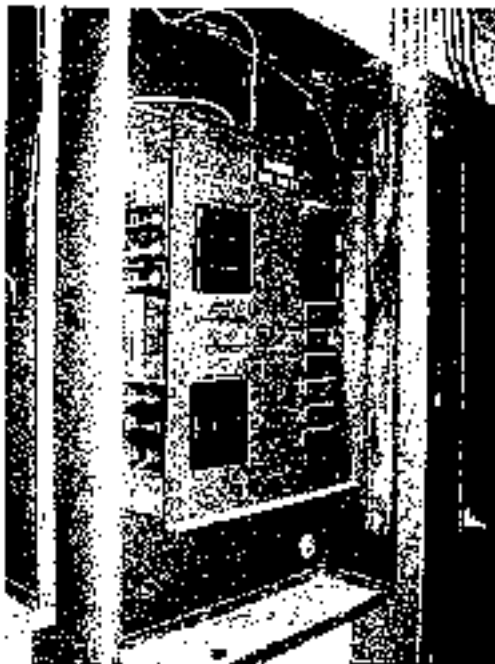
Replace GE Dist. Panel "2DP" – 600A - 120/208V, 3ø. (E-8A) In First Floor Bldg A



Replace GE Dist. Panel "A4HB" (400A - 277/480V) & "4DPB" (400A - 120/208V) and Sub Panels in Room 18A. (E-10A)



Replace GE Dist. Panels "A4HA" (400A - 277/480V) and Distribution Panel "4DPA" (400A, 120/208V) & Sub Panels in Room (E-13A)



Replace GE Dist. Panels "A5HC" (400A, 277/480V) and Distribution Panel "SDP" (600A, 120/208V) & Sub Panels In Room A44A (E-16A)

URS

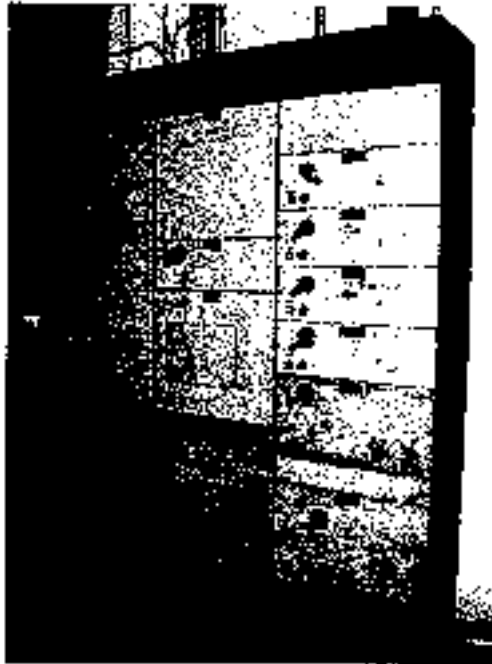


Replace GE Dist. Panels "A5HB" (400A, 277/480V) and Distribution Panel "451.B" (400A, 120/208V) & Sub Panels (E-18A)

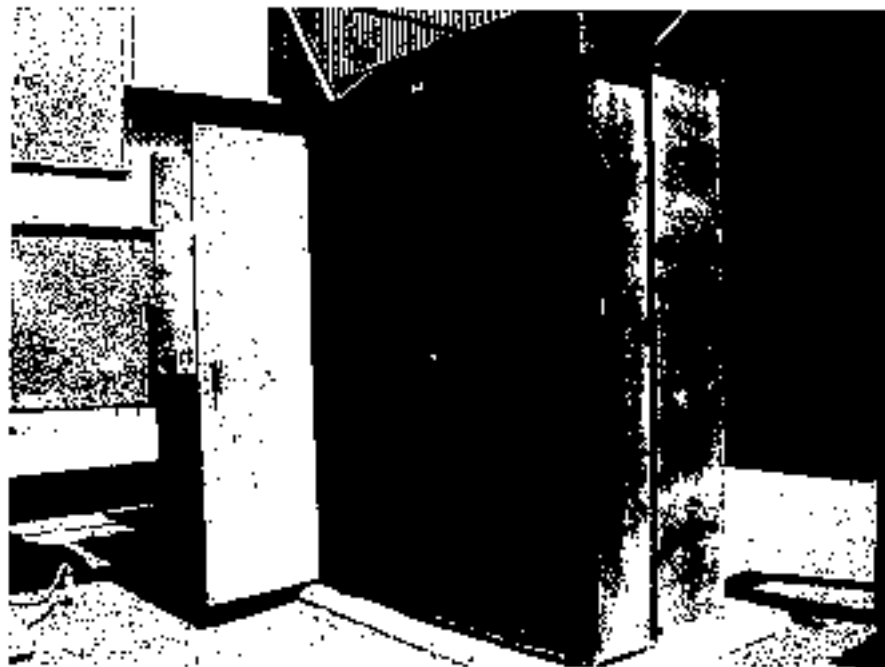


Replace Panels "A5LC" & "A5LD" (E-19A)

URS



Replace MCC "MCSB", "MCSC" & (E-20A)



Replace MCC "MSSF" (250A, 277/480V, 3ø 4W on Building A Roof)



Main Distribution Frame Rm. A-18B



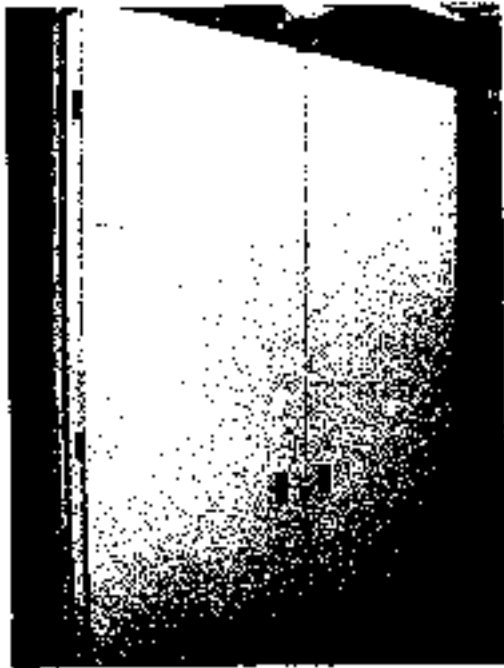
Main Telephone System In Rm. A-18B



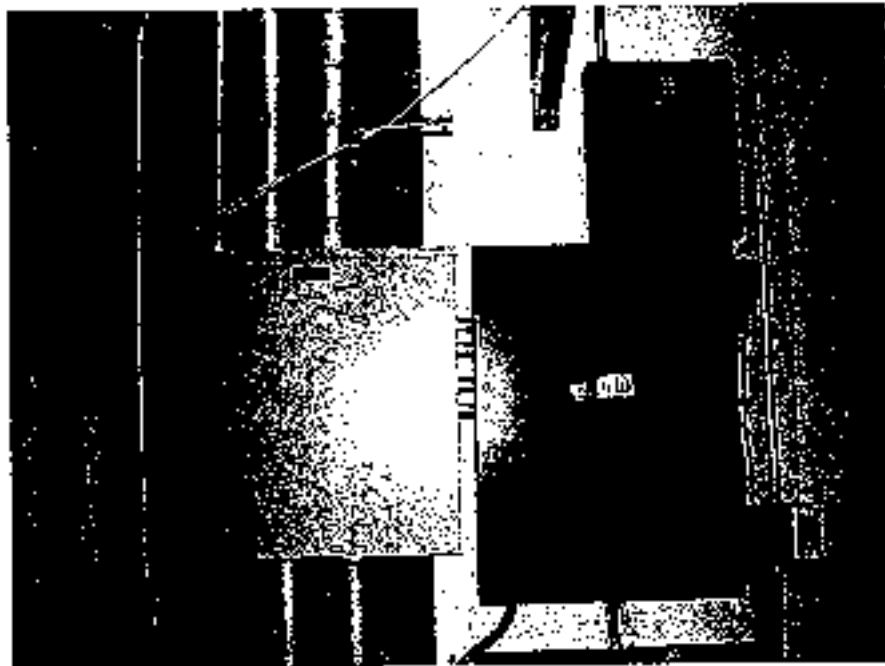
Telephone Terminal Blocks in Rm. A-18B



Intercomm Terminal Blocks in Rm. A-18B



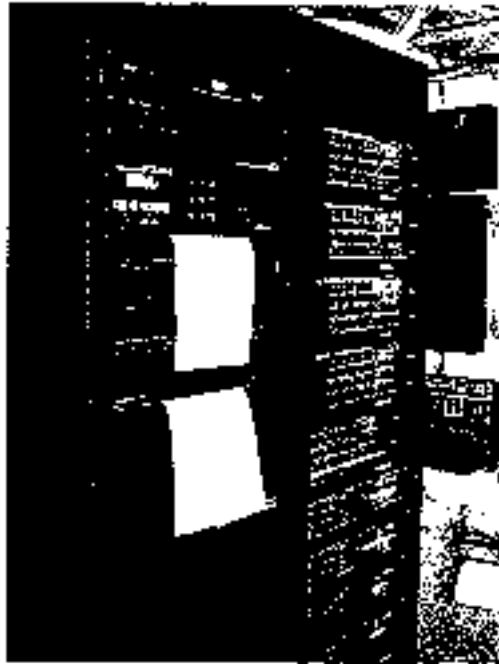
Main Distribution Frame Cabinet in Rm. A-18B



Main FACP in Rm. A-18B



Main Incoming Telephone Cables in Main Telephone Board.



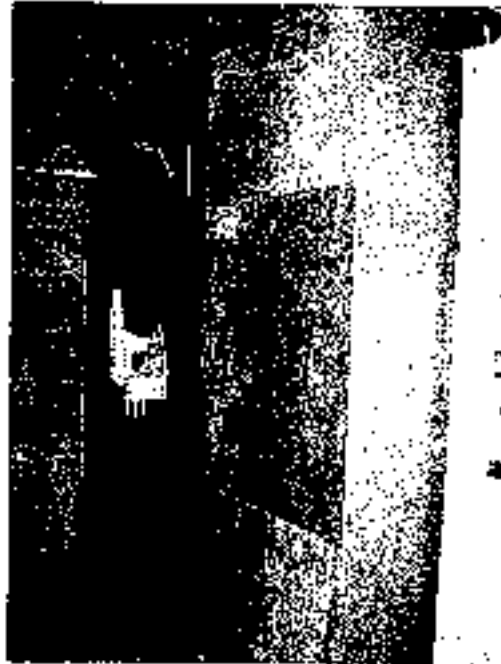
Main Building Communication System & Bell System



D MDF Cabinet



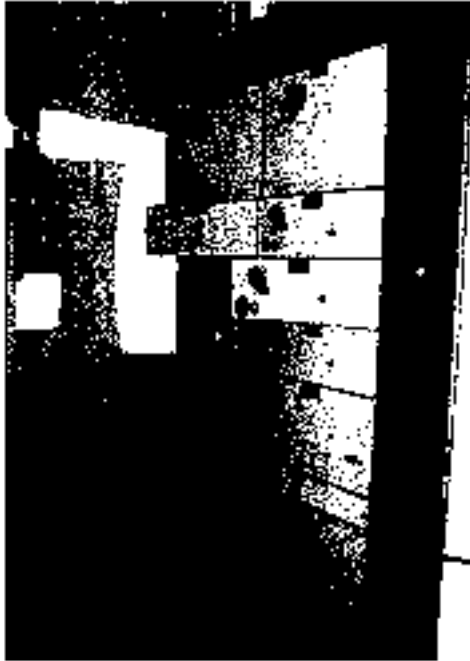
Incoming Fiber Optic Cable System



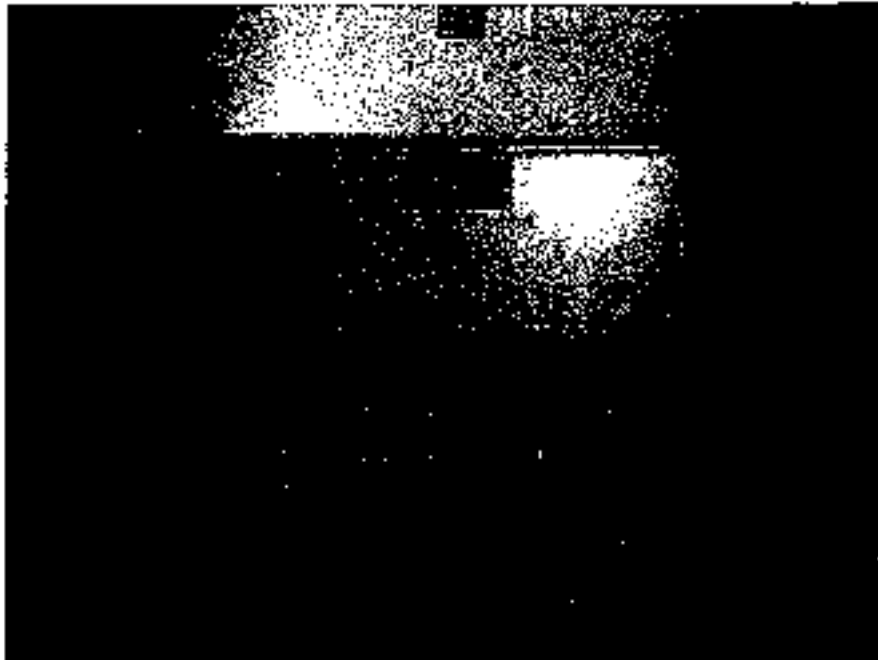
9160 High Voltage Service Disconnect in Building & Basement



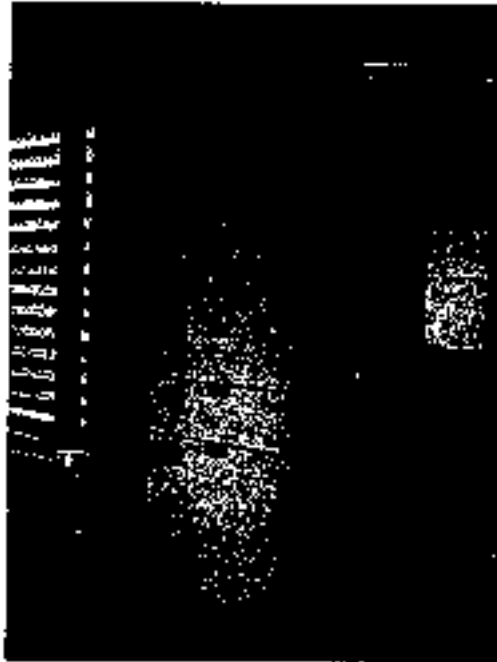
Main Fuse Bay Disconnect



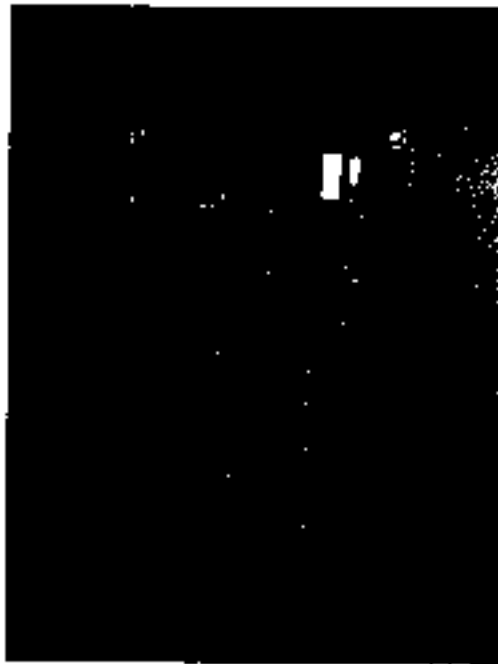
Replace Motor Control Switch Board "MCS" 225A, 240V, 3ø (E-2E)



Replace Panel "NAB" (E-3E)



Replace Motor Control Switchboard "MCP" EB



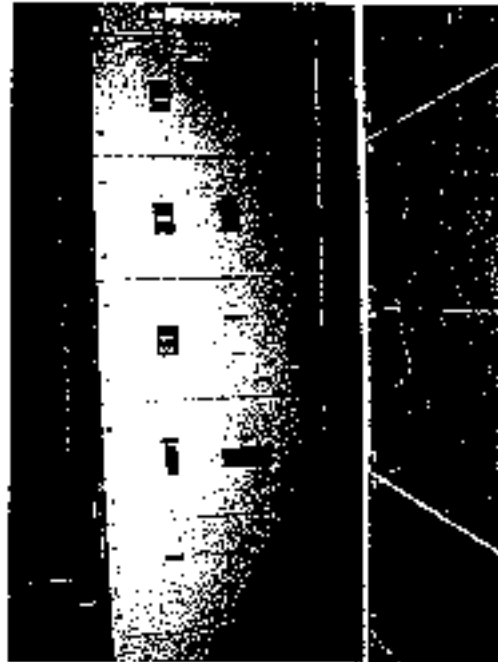
Replace Switchboard "A" 600A, 120/240V, 1s (E-1F)



Replace Switchboard "B" 400A, 120/240V, 1ø (E-2F)



Replace Switchboard "C" 400A, 120/240V, 1ø.



Replace FPE Dist. Board – 600A, 120/240V, 1ø (E-1H)



Replace Bulldog Dist. Board – 1200A, 120/240V, 1ø. (E-2H)



Replace Subpanels In Building H (Typ.10) (E-3H)



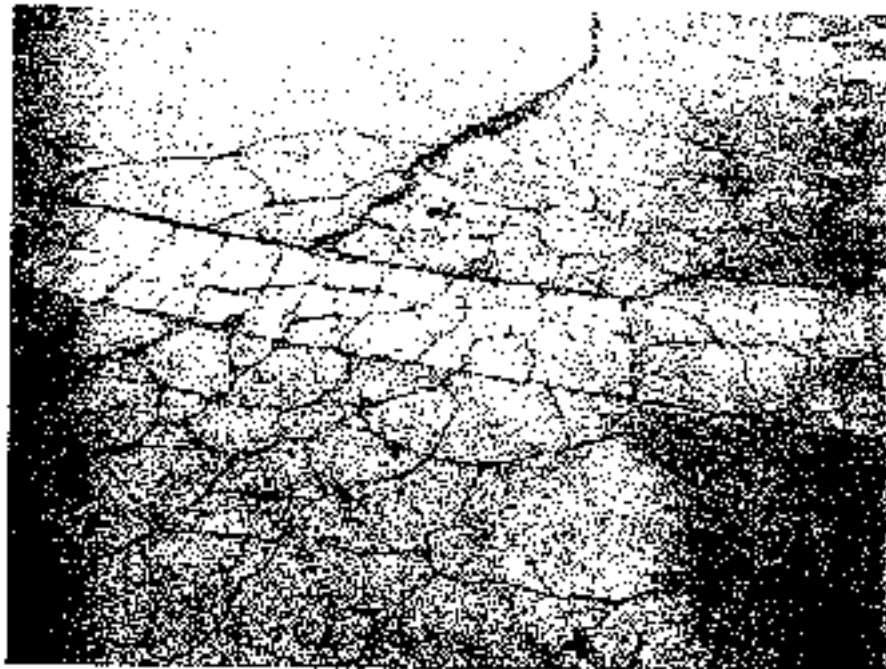
Replace Subpanels In Building H (Typ.10) (E-3H)

URS

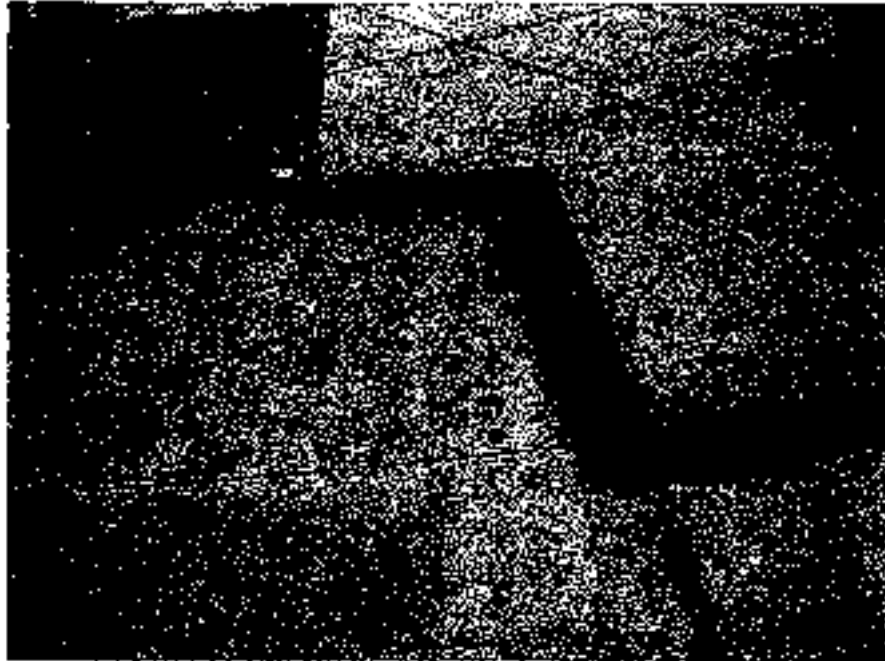
ADMIN. BLDG.



Admin. Bldg.



Parking lot requires removal and replacement.



Main road through campus is in fair shape. Some repair and crack/slurry seal is required.

URS

EXHIBIT B

PLUMBING INSPECTIONS REPORT –

EL RODEO

NORTH COUNTY INSPECTION SERVICES

25079 Portica Court Wildomar, CA 92595 Tel: (951) 677- 6570 Fax:(951) 677- 6825

Plumbing Inspections

**El Rodeo Elementary School
605 Whittier Drive
Beverly Hills, CA 90210**

**Inspection Details & Photos****General Info**

1.1 Client Name

Johnson Controls

1.2 Structure Reference

El Rodeo Elementary School

1.3 Address

606 Whittier Dr, Beverly Hills, CA 90210

1.4 Inspection Date

March 19, 2007

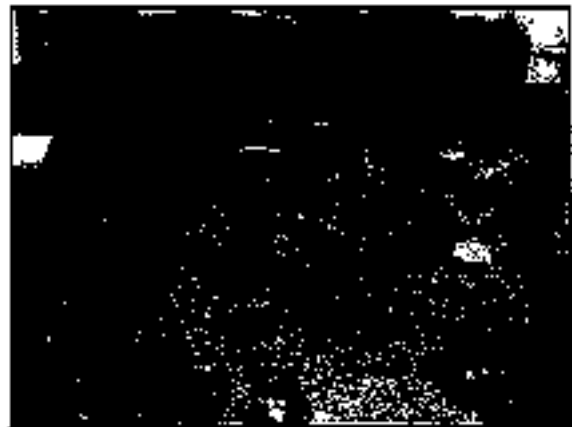
Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

Only those photos that we feel have a significant impact on details related to your inspection are included in this report. If for any reason you feel that an area or photo was not included, please give us a call to discuss this matter.

Please refer to the Recommendations & Findings section at the end of this report for further evaluation proceedings.

1.5 Photo #1

Location: Left Entry Courtyard 6" Storm
Drain Steel Spiral Wound Findings: No
Defects Observed. No Video.





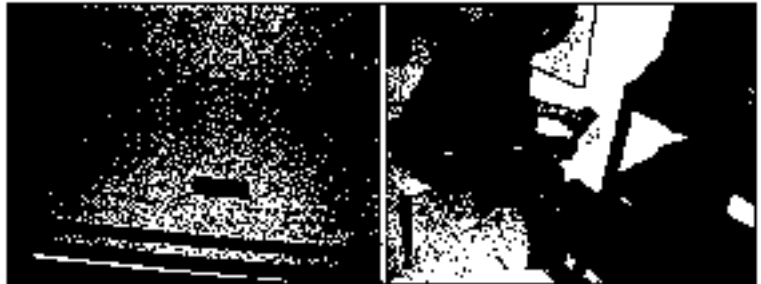
1.6 Photo #2

Location: Maintenance Room by #148
Elevator machine Room. 4" Cast.
Findings: Grease deposits and build-up
were observed. belly at 53', hi main at 66'.
Recommendations: Install grease traps
and have pressure cleaned. No Video



1.7 Photo #3

Location: Room # 110
near kitchen. 4" Cast
Findings: Build-up at 6',
belly at 68', Restricted
Flow at 120'.
Recommendations
:Install Grease Traps and
pressure clean. No Video.



1.8 Photo #4

Location: Courtyard Entry 4" Steel
Findings: No defects observed to 90' with
no push left on cam. Recommendations
:Install clean-out cap. No Video.





1.9 Recommendations & Findings

Pressure Test Results: Pressure test by gauges at building shut-off, 80 lbs for 30 minutes, no drop.

EXHIBIT C

**PLUMBING INSPECTIONS REPORT –
HAWTHORNE**

NORTH COUNTY INSPECTION SERVICES

25079 Portica Court Wildomar, CA 92595 Tel: (951) 677-6570 Fax: (951) 677-6825

Plumbing Inspections

**Hawthorne Elementary School
624 North Rexford Drive
Beverly Hills, CA 90210**

Inspection Details & Photos**General Info**

1.1 Client Name

Johnson Controls.

1.2 Structure Reference

Hawthorne Elementary School.

1.3 Address

624 North rexford Dr., Beverly Hills, CA 90210.

1.4 Inspection Date

March 14, 2007

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

Only those photos that we feel have a significant impact on details related to your inspection are included in this report. If for any reason you feel that an area or photo was not included, please give us a call to discuss this matter.

Please refer to the Recommendations & Findings section at the end of this report for further evaluation proceedings.

1.5 Photo #1

Location: Girl & Boys Bathroom #2 180'-170'
Findings: 1-vertical to main. 3-45 turns, clear no defects. Video Provided.
See Disk # 1.





1.6 Photo #2

Location: Breezeway 4" Findings: Mud at 4" Recommendations: Clean & Cam for corrections. No Video.



1.7 Photo #3

Location: Playground Findings: Roots observed at 100'. Maintenance is servicing 3 to 4 times a month, bathrooms have flooded Recommendations: Repairs as needed. Video Provided. See Disk #2.



1.8 Recommendations & Findings

Pressure Test Results: Meter #1 Visual inspection at meter gauge for flow. (No flow/leakage) Meter box has leak on city side City will repair. Meter #2 Visual inspection at meter gauge for flow (No flow/leakage) Meter #3 Pressure test by gauge at building shut-off. 60 lbs for 30 minutes, no drop. Water in meter box. Meter #4. Visual inspection at meter gauge for flow (No flow/leakage) Meter #5 Visual inspection at meter gauge for flow (No flow/leakage)

EXHIBIT D

**PLUMBING INSPECTIONS REPORT -
HORACE MANN (HORACE OCA)**

NORTH COUNTY INSPECTION SERVICES

25079 Portica Court Wildomar, CA 92595 Tel: (951) 677-6570 Fax: (951) 677-6825

Plumbing Inspections

**Horace Mann Elementary School
8701 Charleville Blvd.
Beverly Hills, CA 90211**



Inspection Details & Photos

General Info

1.1 Client Name

Johnson Controls.

1.2 Structure Reference

Horace Mann Elementary School.

1.3 Address

87041 Charleville Blvd., Beverly Hills, CA 90211.

1.4 Inspection Date

March 14, 2007.

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

Only those photos that we feel have a significant impact on details related to your inspection are included in this report. If for any reason you feel that an area or photo was not included, please give us a call to discuss this matter.

Please refer to the Recommendations & Findings section at the end of this report for further evaluation proceedings.

1.5 Photo #1

Location: Mechanical Room & Electrical Room
Approximately 180'
Findings: Broken water pipe at 10'-15', Water bugs present (a sign of broken pipe) Pipe flat on bottom (build-up). Heavy Build-up in first 50'
Recommendations:
Repairs necessary. Video provided. See Disk # 3.





1.6 Photo #2

Location: Exterior Lunch Area Findings:
Full of sand unable to cam
Recommendations: Clean & Cam.



1.7 Photo #3

Location: Parking Structure 4" Cast
Findings: Got to 10', too many turns could
not continue. Video provided. See Disk #4.



1.8 Photo #4

Location: Room # 142 Storage Findings: 6"
Clay pipe at 25', Root intrusion at joint 35',
Offset joint at 40', Broken and shifted at 70'
to sidewalk. Recommendations: Repairs
needed Video Provided. See Disk # 5.





1.9 Recommendations & Findings

Pressure Test Results: Parking Structure: Pressure test by gauge at building shut-off, 60 lbs for 30 minutes, no drop Round Structure: No shut-off. Visual inspection at meter gauge for flow. No flow/leakage. Main Building: No shut-off. Visual inspection at meter gauge for flow. No flow/leakage Annex Building: Pressure test by gauge at building shut-off, 60 lbs for 30 minutes, no drop.

HAWTHORNE SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate
A 1934	<p>A part of the building has two stories and a part has only one story, which includes the auditorium. The tower is a part of the two-story portion of the building. It has reinforced concrete bearing/shear walls and hollow clay tile partitions. The corridors are on concrete slabs and the rest of the floors are straight sheathing wood boards supported by wood floor joists. The clay tile roofs are supported by wood trusses, except for the auditorium which has steel trusses. The floor joists are anchored to a concrete bond beam using government anchors and steel seat angles anchored to the beam using machine bolts. The wood roof truss anchorage to the bond beam consists of four 1" anchor bolts at each end. The steel roof trusses are bolted to steel columns using steel angles on each side of the gusset plate.</p>	41,500	<p>Some seismic strengthening was performed in 2000-2001. This included the addition of three concrete shear walls and one concrete block wall. Two of the concrete walls are in the two story portion and are present on both floors; the rest of the walls are only on the first floor. In addition, the existing 3" concrete walls along the corridors were fiber wrapped to increase their strength. In the two story portion, this was done on both floor levels. The new shear walls have new concrete footings. Some new steel drag struts were added on the second floor and on the roof (ceiling) level to transfer the seismic loads from the corridor concrete slabs to the new and existing concrete shear walls. Finally, the tower was reconnected to the existing concrete slab above the second floor corridor using a new concrete slab at roof level, dowelled into tower wall and the existing slab.</p>	<p>The seismic retrofit recently implemented was intended as a minimum upgrade to reduce life safety risk. It is recommended that a comprehensive seismic retrofit be undertaken to make the building meet the current school standards. In particular, the connections between the concrete walls (beams) and the floor joists and roof trusses need to be evaluated and most likely strengthened. Another possibility is the need to strengthen floor and roof diaphragms by the addition of plywood sheathing and shear walls. The existing hollow clay tile partitions need to be either removed or encapsulated with metal stud walls.</p>	3,000

HAWTHORNE SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$1,000)
E 1934	This is a small, one story building with a partial basement. It is similar in construction to building A.	3,500	None.	The connections of the walls to the roof trusses need to be evaluated and hollow clay tile partitions, if present, need to be removed or encapsulated in new metal stud walls.	200
B, C, D 1951-1986	These are newer two-story buildings, designed and built to meet stricter building code requirements than the original (1934) buildings.	38,900	None. There appears to be too many wall openings in these buildings, requiring retrofit.	It is recommended that a review and a retrofit program be undertaken to bring these buildings up to current school life safety, and preferably immediate occupancy standards.	1,500
F, G 1934	These are one-story buildings built at the same time and similar in construction to building A.	10,800	None. There appears to be too many wall openings in building F, requiring retrofit.	It is recommended that a seismic retrofit be undertaken to make these buildings meet the current school life safety standards. The connections of the walls to the roof trusses need to be evaluated and hollow clay tile partitions, if present, need to be removed or encapsulated in new metal stud walls.	500

HAWTHORNE SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$1,000)
H, J, K 1951-1959	These are newer one and two-story buildings, designed and built to meet stricter building code requirements than the original (1934) buildings.	16,000	None.	It is recommended that a review and a retrofit program be undertaken to bring these buildings up to current school standards.	500
TOTAL		110,700			5,700

HORACE MANN SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (1,000\$)
A 1934	<p>A part of this building has two stories and a basement and the rest has only one story. It has reinforced concrete bearing/shear walls and hollow clay tile partitions. The flooring is straight sheathing wood boards supported by steel floor joists. The clay tile roofs are supported by wood trusses. The floor joists are anchored to concrete bond beams or walls using 1/2" diameter, 8" long anchors inserted through the ends of the top chord of the joists. The wood roof trusses are anchored to the concrete bond beam using a sill plate and a continuous steel angle anchored using 1/2" anchors spaced at 8' o.c.</p>	45,300	<p>Some seismic strengthening was performed in 2000. This included the addition of four concrete shear walls (two of them are shotcrete) and two steel braced frames; all are on the first floor only. The new shear walls and braced frames have new concrete footings. In the two story portion of the building, plywood shear walls were added in the longitudinal direction between the roof diaphragm and the top of the existing second floor concrete walls along both sides of the second floor central corridor.</p>	<p>The seismic retrofit recently implemented was intended as a minimum upgrade to reduce life safety risk. It is recommended that a comprehensive seismic retrofit be undertaken to make this building meet the current school standards. In particular, the connections between the concrete walls and floor joists and roof trusses need to be evaluated and most likely strengthened. Strengthen floor and roof diaphragms by the addition of plywood sheathing. The existing hollow clay tile partitions need to be either removed or encapsulated with metal stud walls. Some window openings on both sides of the second floor corridor (above lockers) need to be filled in with concrete or the wall piers wrapped with fiber wrap for strengthening.</p>	3,000

HORACE MANN SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate
C 1937	<p>This is the auditorium building which has one main floor level, a foyer and a basement level under the stage. The walls are reinforced concrete bearing/shear walls. The foyer floor is a concrete pan joist and slab system, the stage floor is a concrete slab on beams and the main floor is slab on grade. The main roof is clay tile on straight sheathing wood board supported by steel roof trusses. The roof above the stage is a gabled concrete slab/beam system with clay tile covering. The steel roof trusses are anchored at each end by two 7/8" anchor bolts into the concrete wall.</p>	10,000	<p>Some minor strengthening which appears to be for gravity not seismic, loading was performed in 2000-2001. Three 30"x30" concrete pilasters were added to the existing concrete columns at the back of the stage. In addition, adjoining steel channels supporting the gridiron above the stage were connected at top and bottom by welding a steel plate at each beam connection.</p>	<p>The connections of the walls to the roof trusses need to be evaluated and hollow clay tile partitions, if present need to be removed or encapsulated in new metal stud walls. There are too many door and window openings in the north wall at the basement level, under the stage, some of these need to be closed using reinforced concrete doweled into the surrounding existing wall.</p>	500

HORACE MANN SCHOOL

7/31/07

Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$1,000's)
B 1986	This is a three-story classroom and library building designed and built to meet newer, stricter building code requirements than the original (1934-1937) buildings.	21,500	Some minor work was performed in 2000-2001. This included: repairs of cracks in and spalling of concrete; Fiber wrapping of 3 concrete columns supporting stairs; the addition of steel bracing/diag struts between the roof of the detached south staircase and the roof of this building.	It is recommended that a review and a retrofit program be undertaken to bring this building up to current school standards. This may require addition of a shear wall on the first story to reduce torsion.	500
D 1974	This is a two-story building consisting of a parking garage on the first floor and classrooms on the floor above. It was designed and built to meet newer, stricter building code requirements than the original (1934-1937) buildings.	31,100	None.	It is recommended that a review and a retrofit program be undertaken to bring this building up to current school standards. This may require addition of columns and walls to the first floor to seismically support the set-back walls above.	1,000
TOTAL		107,900			5,000

EL RODEO SCHOOL

7/31/07

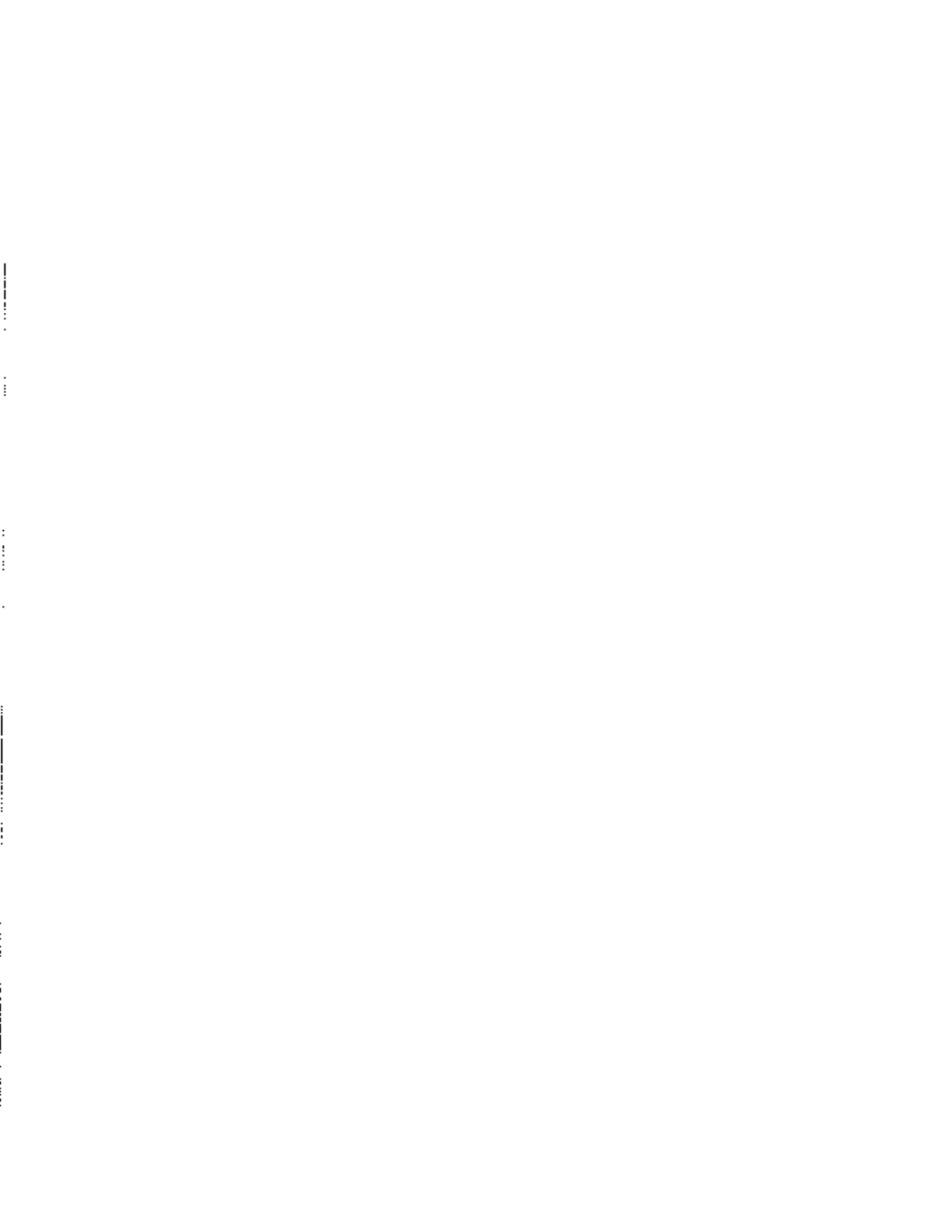
Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$1,000)
A 1933	<p>A part of this building has two stories and a mezzanine but a large part of it consists of the auditorium, with a main floor and a balcony. There is a partial basement, including the area under the stage. The tower is a part of this building. It has reinforced concrete bearing/shear walls and hollow clay tile partitions. The corridor floors are concrete slabs, the auditorium stage floor is a concrete slab and the rest of the floors are diagonal sheathing wood boards supported by wood floor joists. The second floor and the mezzanine have flat roofs while the auditorium has pitched clay tile roof supported by steel trusses. The floor joists are anchored to a concrete bond beam/wall using government anchors. The steel roof trusses are anchored at the ends into the concrete columns, using J-anchors which resist both shear and tension.</p>	18,900	<p>The only seismic strengthening in this building, which was performed in 2000-2001, was the addition of a concrete column under the northeast corner of the tower and the addition of horizontal steel bracing for the tower at the roof level.</p>	<p>The seismic retrofit recently implemented was intended as a minimum upgrade to reduce life safety risk. It is recommended that a comprehensive seismic retrofit be undertaken to make this building meet the current school standards. In particular, the connections between the concrete walls and the floor joists and roof trusses need to be evaluated and most likely strengthened. Another possibility is the need to strengthen floor and roof diaphragms by the addition of plywood sheathing or new shear walls. The existing hollow clay tile partitions, when present, need to be either removed or encapsulated with metal stud walls.</p>	1,500

EL RODEO SCHOOL				7/3-1/07	
Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$1,000)
D 1962	This building has two-story and a basement and was designed and built to meet newer, stricter building code requirements than the original (1933) buildings.	24,500	None. This building appears to have very few seismic resisting shear walls.	It is recommended that a review and a retrofit program be undertaken to bring this building up to current school standards.	500
E 1969	This is a three-story building consisting of parking stalls in a portion of the ground floor and classrooms in the rest of the ground floor and classrooms and a library on the floors above. It was designed and built to meet newer, stricter building code requirements than the original (1933) buildings.	23,600	The only work performed in 2000-2001 was the fiber wrapping of the concrete columns in the parking area on the ground floor.	This building appears to be well designed, and may not need seismic retrofit.	
TOTAL		117,100			\$,500

EL RODEO SCHOOL				7/31/07	
Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate
B 1933	This is a one story building, similar in construction to building A. The corridor floors are slab on grade and the rest of the floors are diagonal wood boards on wood floor joists. The clay tile roof is supported by wood trusses which are supported at the ends on a sill plate which is anchored using J brackets into a concrete bond beam. Government anchors are used to anchor the wood floor joists to the concrete wall/beam.	12,700	Some seismic strengthening was performed in 2000-2001. This included the addition of two concrete block shear walls with new footings. A concrete bond beam was added on top of the new block walls. A plywood shear panel was added between the new concrete bond beam and the existing roof sheathing.	The same recommendations as for Building A.	\$1,000
C 1933	This is a two story building with full basement built at the same time as Buildings A and B and has the same type of construction, with a clay tile roof on wood trusses.	37,400	In the transverse direction, (E-W direction) two steel braced frames and two shotcrete walls were added on all three floor levels. The shotcrete walls were added and anchored to existing concrete walls. Along the main corridor two concrete walls were added, with new footings, up to the first floor level. Steel drag struts were added on the 1st and 2nd floor levels, and some on the roof level, to drag loads to the braced corridor slabs and to the new braced frames.	The same recommendations as for Building A.	2,500

BEVERLY VISTA SCHOOL					7/31/07
Building Year Constructed	Description	Square Footage	Previous Seismic Strengthening	Recommended Seismic Upgrade	Upgrade Cost Estimate (\$)
B, C, D, E 2000-2007	Two and three story structures constructed with pile foundations, steel framing and concrete (on metal deck) floors and roof.	122,400	The structures are all designed to the latest DSA (state) requirements.	None	None
		122,400			0

Appendix D-
Plumbing Inspection
Report



North County Inspection Services

25079 Portica Court, Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING PRESSURE TESTS, SEWER CAMERA AND ROOF DRAIN CAMERA REPORTS

North County Inspection Services

250/9 Perica Court, Willdomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

NOTES:

Please use all DVD's contained as references to all camera reports.

All DVD's are labeled per school and contains all camera inspections of all lines that were inspected.

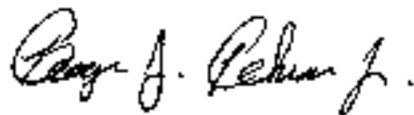
North County Inspection Services

25079 Portico Court, Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING INSPECTION REPORT

BEVERLY HILLS HIGH
241 MORENO DRIVE
BEVERLY HILLS, CA 90210

Respectfully submitted,



George J. Gehron, Jr.
North County Inspection Services

Inspection Details & Photos
--

General Info

1.1 Client Name

Johnson Controls.

1.2 Structure Reference

Beverly Hills High School.

1.3 Address

241 Moreno Drive; Beverly Hills, CA 90210.

1.4 Inspection Date

August 17, 2007.

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

Only those photos that we feel have a significant impact on details related to your inspection are included in this report. If for any reason you feel that an area or photo was not included, please give us a call to discuss this matter.

Please refer to the Recommendations & Findings section at the end of this report for further evaluation proceedings if applicable.

1.5 Photo #3

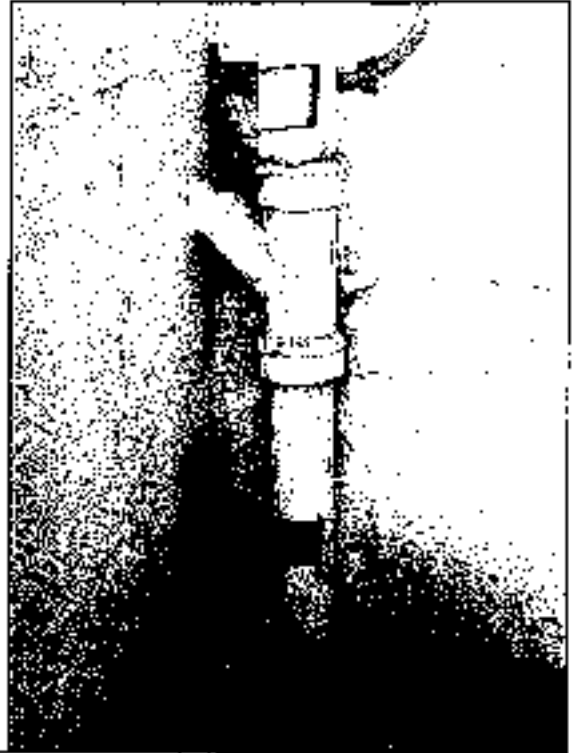


1.6 Photo #: Comments

Location: Storm drain rooftop Gymnasium. Rain gutter drain only through out most of gymnasium. One of two storm drains above whole gym. Both storm drains above gym tie into rain gutter no more than 3 ft. away.



1.7 Photo #2



1.8 Photo #2 Comments

Location: East side of building next to court yard. Observed broken storm drain at ground level!

1.9 Photo #3

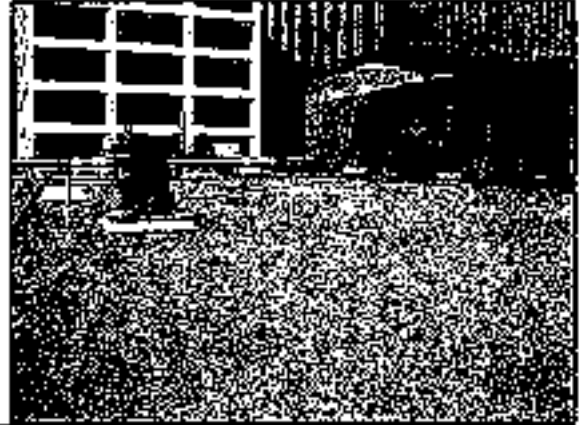


1.10 Photo #3 Comments

Ground view of storm drain file in front of school off Monroe St. Same drain system seen through most of school.



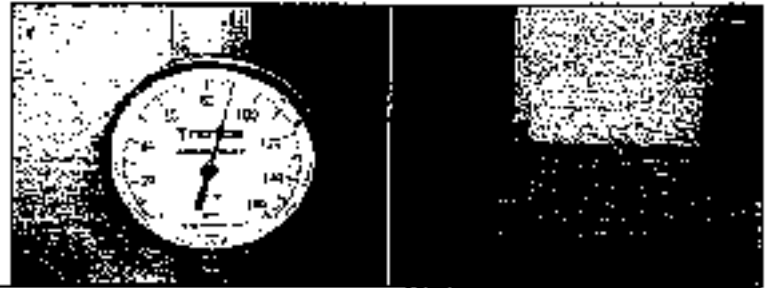
1.11 Photo #4



1.12 Photo #4 Comments

Location: North side of main building. No storm drain present through out.

1.13 Photo #5



1.14 Photo #5 Comments

Water pressure test on main next to little theater. Water pressure held 90 psi. for 3 minutes, no sign of leaks or pressure drop.

1.15 Photo #6

NO PHOTO AVAILABLE

1.16 Photo #6 Comments

Location: Clean-out front of building A. camera 80 ft. down 6 in. plastic pipe. Pipe in good condition.

1.17 Photo #7

NO PHOTO AVAILABLE.

1.18 Comments

Location: Clean-out in front of little theater. camera 80 ft. down 4 in. plastic pipe. Pipe in good condition.



1.19 Photo #8

NO PHOTO AVAILABLE.

1.20 Comments

Location: Clean-out main entrance off olympic near maintenance building. camera 120 ft. down
8 in. plastic pipe. Pipe in good condition. minor debris at 20 in.

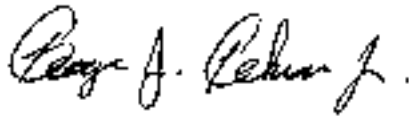
North County Inspection Services

25079 Portica Court; Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING INSPECTION REPORT

BEVERLY VISTA ELEMENTARY
200 S. ELM DR.
BEVERLY HILLS, CA 90212

Respectfully submitted,



George J. Gehron, Jr.
North County Inspection Services

Inspection Details & Photos
--

General Info

1.1 Client Name

Johnson Controls

1.2 Structure Reference

Beverly Vista Elementary.

1.3 Address

200 S. Elm Dr., Beverly Hills, CA 90212.

1.4 Inspection Date

August 16, 2007.

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

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1.5 Photo #1



1.6 Photo #1 Comments

Location: Storm drain rooftop Southeast side camera 12 ft. down line. 3/4 of line blocked with debris.

1.7 Photo #2

NO PHOTO AVAILABLE



1.8 Photo #2 Comments

Location: Storm drain rooftop Eastside. camera 18 ft. down. First 12 ft. of drain with debris and gravel. At 18 ft. there was too many turns to continue.

1.9 Photo #3



1.10 Photo #3 Comments

Location: Stormdrain rooftop Southside. Camera 30 ft. down line. Pipe in good condition, too many turns to continue.

1.11 Photo #4

NO PHOTO AVAILABLE.

1.12 Photo #4 Comments

Location: Stormdrain rooftop Westside. Camera not possible on westside of building due to no power within 250 ft.

1.13 Photo #5

NO PHOTO AVAILABLE.

1.14 Photo #5 Comments

Location: Clean-out in storage closet next to playground and basketball court. camera 20 ft. down 4 in. iron pipe. Excessive sludge and build-up

1.15 Photo #6

NO PHOTO AVAILABLE

1.16 Photo #6 Comments

Location: Clean-out next to main office. camera 35 ft. down 4 in. cast iron pipe. At 35 ft. camera ties into 6 in. cast iron main, main line holding 2 in. of water, possible belly or blockage further down line.

1.17 Photo #7

NO PHOTO AVAILABLE.



1 18 Comments

Pressure test: Held 80 psi. for 3 minutes with no drop.

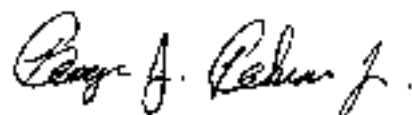
North County Inspection Services

25079 Portica Court, Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING INSPECTION REPORT

EL RODEO ELEMENTARY
605 WHITTIER DRIVE
BEVERLY HILLS, CA 90210

Respectfully submitted,



George J. Gehron, Jr.
North County Inspection Services

Inspection Details & Photos

General Info

1.1 Client Name

Johnson Controls

1.2 Structure Reference

El Rodeo Elementary School

1.3 Address

605 Whittier Dr, Beverly Hills, CA 90210

1.4 Inspection Date

August 15, 2007

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

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1.5 Photo #1



1.6 Photo #1 Comments

Location: Storm drain rooftop North side next to bell tower. Camera line 27 ft. could not continue due to numerous 90 degree turns. Located rocks and minor debris 5 ft. down from access.



1.7 Photo #2



1.8 Photo #2 Comments

Location: Storm drain rooftop West side of building. Camera 12 ft. no obstruction, pipe in overall fair condition.

1.9 Photo #3



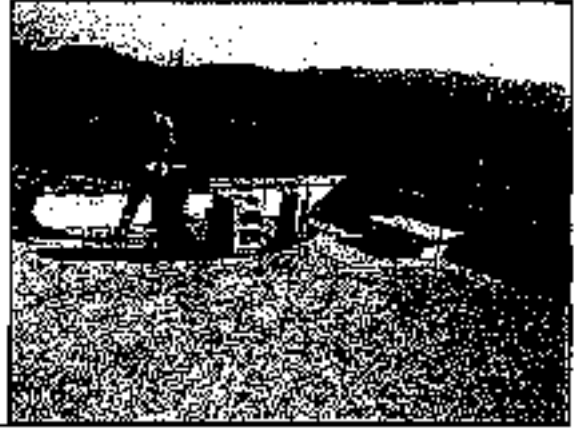
1.10 Photo #3 Comments

Location: Storm drain rooftop Southside of building next to Wilshire Blvd. Camera line 15 ft., excessive debris throughout the entire line. Complete blockage located 15 ft. down.



1 11 Photo #4

Location: Storm drain rooftop East side of building next to courtyard. Camera line 12 ft. minor debris, were unable to camera further down line due to numerous 90 degree turns.



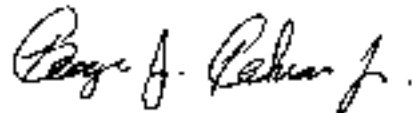
North County Inspection Services

25079 Portico Court; Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING INSPECTION REPORT

HAWTHORNE ELEMENTARY
624 NORTH REXFORD DRIVE
BEVERLY HILLS, CA 90210

Respectfully submitted,



George J. Gehron, Jr.
North County Inspection Services

Inspection Details & Photos

General Info

1.1 Client Name

Johnson Controls

1.2 Structure Reference

Hawthorne Elementary School

1.3 Address

524 North Rexford Drive, Beverly Hills, CA 90210

1.4 Inspection Date

August 15, 2007

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

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1.5 Photo #1

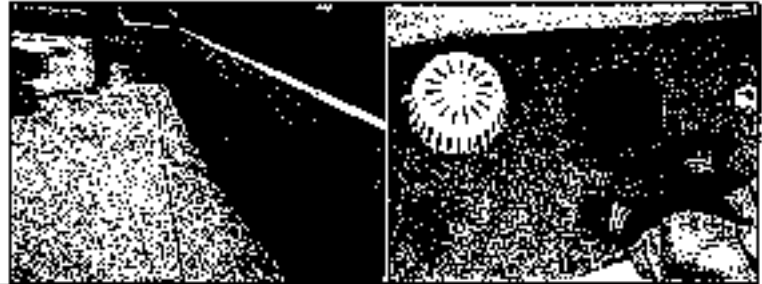


1.6 Photo #1 Comments

Location: Storm drain rooftop Southeast side of building. Camera 18 ft. down line, pipe is in overall fair condition. Could not continue further due to sort sweep 90 degree turn. Excessive debris on roof around screen.



1.7 Photo #2



1.8 Photo #2 Comments

Location: Storm drain rooftop South side of building. Camera 48 ft. down line, tying into main storm drain. First 10 ft. of pipe is clean. 10ft. to 30 ft. has roughly 1 inch of gravel build-up on sides of pipe.

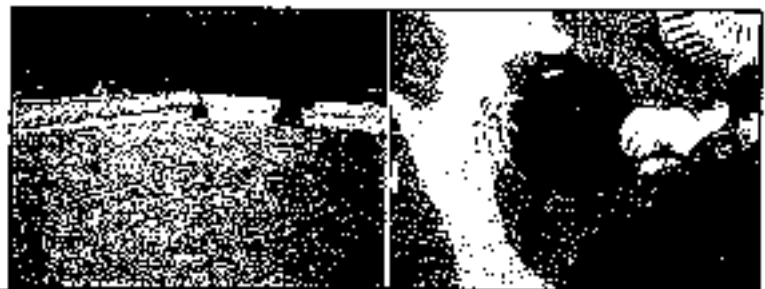
1.9 Photo #3



1.10 Photo #3 Comments

Location: Storm drain rooftop West side of building. Camera 20 ft. down line to gravel debris. Gravel blocking half the diameter of pipe. Could not continue with camera due to blockage.

1.11 Photo #4

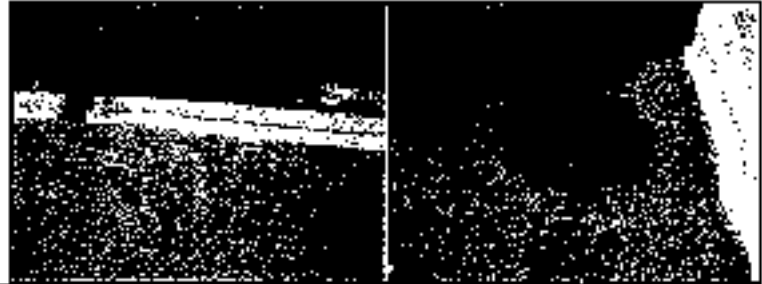


1.12 Photo #4 Comments

Location: Storm drain rooftop Northwest side of building. Camera 38 ft. down, pipe in good condition.



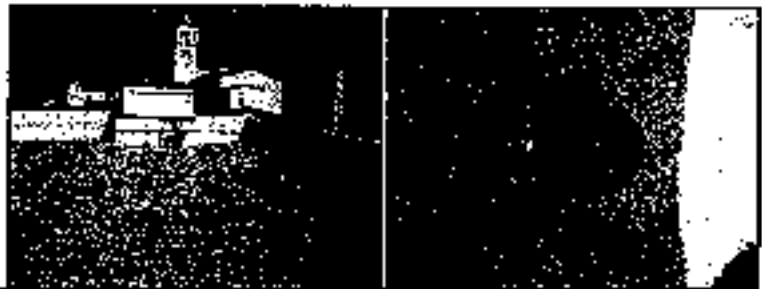
1.13 Photo #5



1.14 Photo #5 Comments

Location: Storm drain rooftop North side of building. Camera 33 ft. down line, minor debris.
Overall drain in fair condition.

1.15 Photo #6



1.16 Photo #6 Comments

Location: Storm drain rooftop Northeast side of building. Camera 30 ft. down line, Two sections
with leaf build-up, also at 30 ft. could not continue due to major gravel build-up.

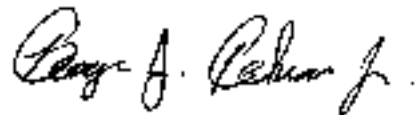
North County Inspection Services

25079 Portica Court, Wildomar, CA 92595 Phone: (951) 677-6570 Fax: (951) 677-6825

PLUMBING INSPECTION REPORT

HORACE MANN ELEMENTARY
8701 CHARLEVILLE BLVD
BEVERLY HILLS, CA 90211

Respectfully submitted,



George J. Gehron, Jr.
North County Inspection Services



Inspection Details & Photos

General Info

1.1 Client Name

Johnson Controls

1.2 Structure Reference

Horace Mann Elementary School

1.3 Address

8791 Charleville Blvd; Beverly Hills, CA 90211

1.4 Inspection Date

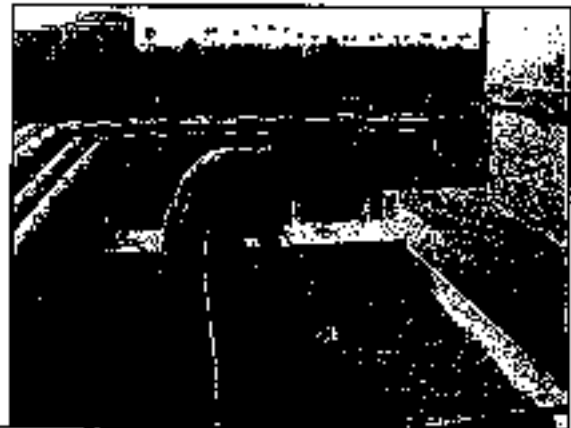
August 15, 2007

Our inspections are based on a directional platform. All exterior references are made as if the inspector was standing in the street looking at the property. Interior references are made as if the inspector was standing in the doorway looking into the room. All specific references are made as if the inspector was standing in front of the object.

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Please refer to the Recommendations & Findings section at the end of this report for further evaluation proceedings if applicable.

1.5 Photo #1



1.6 Photo #1 Comments

Location: Storm drain major rooftop in center. Camera 24 ft. down line, could not continue due to numerous 90 degree turns, gravel build-up first 3 ft of line.



1.7 Photo #2



1.8 Photo #2 Comments

Location: Storm drain major rooftop on Westside of building. Camera 20 ft. down line, first 10 ft. of pipe has large amount of gravel in line

1.9 Photo #3

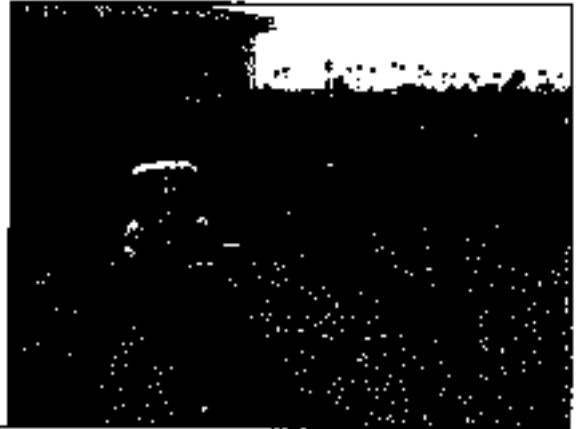


1.10 Photo #3 Comments

Location: Storm drain major rooftop Southern side of main building. Camera 55 ft. down line. Gravel build-up from 22 ft to 28 ft. Also at 34 ft. separation in connection (coupling) insect infestation noted.



1.11 Photo #4



1.12 Photo #4 Comments

Location: Storm drain rooftop above parking structure Eastern side. camera 55 ft. down line. gravel build-up first 4 ft. of line. Overall pipe in fair condition.

1.13 Photo #5



1.14 Photo #5 Comments

Location: Storm drain rooftop over parking structure Western side. camera 8 ft. down line. Could not continue due to numerous 90 degree turns. Minor gravel build-up.

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Appendix E-
BHHS Seismic
Report

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**SEISMIC RISK EVALUATION
BEVERLY HILLS HIGH SCHOOL
241 SOUTH MORENO DRIVE
BERVERLY HILLS, CALIFORNIA**

Prepared For

LPA Inc. Architects
5161 California Avenue, Suite 100
Irvine, CA 92617

Prepared By

MHP, Inc.
Structural Engineers
4500 E. Pacific Coast Hwy., Suite 100
Long Beach, CA 90804
(562) 985-3200

December 13, 2007
MHP JN: 07-0349-002

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APPENDIX A: Schematic Strengthening Plans

APPENDIX B: Photographs

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**BEVERLY HILLS HIGH SCHOOL
241 SOUTH MORENO DRIVE
BEVERLY HILLS, CALIFORNIA**

1.0 Introduction

At the request of LPA Inc. Architects, a seismic risk evaluation of the existing buildings at the Beverly Hills High School campus was conducted to identify school buildings that have a potential for suffering significant structural damage, and particularly those that present a life-safety risk, during future strong ground shaking that may affect the site. The information obtained from the assessment will allow the seismic risk of each building to be considered with other factors during the Master Planning process for the campus. For those buildings identified as having significant risk, potential strengthening schemes will be discussed, and rough cost estimates for recommended strengthening work will be developed.

The Beverly Hills High School campus was originally constructed in 1927 (Buildings B and H), while Building E was added shortly thereafter circa 1933. The buildings (B, H, and E) were seismically retrofit in 1936-1937 as a result of the devastation suffered by the City of Long Beach schools in the 1933 Long Beach earthquake. The swim-gym (Building F) was constructed in 1939-1940. New wings were added on the east and west ends of Building E circa 1967. Building A and the North Wing addition to Building B were constructed in 1967-1970. Buildings C and D were constructed at an unknown time, and are scheduled for demolition.

It is important to note that older buildings generally have a higher risk of damage during strong ground motion than newer buildings, as code requirements to address seismic forces were in their infancy during the 1930s through 1960s. It was not until July 1, 1978 when the 1976 Edition of the Uniform Building Code (UBC) was adopted that significant improvements in seismic design codes were required for school buildings. Since 1976, significant additional code upgrades have been adopted as a result of lessons learned in the Loma Prieta, Whittier, and Northridge earthquakes, and from University research and testing conducted in the past decades.

The scope of this review involves the detailed seismic evaluation of Buildings B, E, and H, and preliminary evaluations of Buildings A and F to determine if they pose a significant risk to occupants if subjected to strong earthquake ground motion. The seismic performance of the buildings is being evaluated per ASCE/SEI standards.

2.0 Building Descriptions

The evaluation was based on our site observations of the existing buildings, review of available design documents, independent calculations and computer modeling of the buildings, and evaluation of seismic hazards at the site. The following structural design drawings were reviewed:

Building A:

- Original structural design drawings; *Beverly Hills High School Additions & Alterations*, sheets X-S1, X-S2, and A-S1 through A-S37, dated May 22, 1967, and prepared by S. B. Barnes & Associates Structural Engineers of Los Angeles, California.

Building B:

- Original structural design drawings; *Domestic Science, Classrooms, Administration and Auditorium*; sheets 1 through 31, dated 1926, and prepared by Robert D Farquhar of Los Angeles, California.
- Original design drawings; *Addition Beverly Hills High School (Art & Music)*, sheets 1 through 21, dated May 1929.
- Seismic retrofit drawings; *Strengthening & Reconstruction*; prepared by Paul E Jeffers Structural Engineers of Los Angeles, California.
 - Classroom, sheets S1 through S5, dated Feb. 24, 1936.
 - Domestic Science, sheets S1 through S6, dated Feb. 24, 1936.
 - Administration and Auditorium, sheets S1 through S14, dated March 16, 1936.
 - Art & Music, sheets S1, S2, S2a, and S3 through S10, dated March 20, 1936.
- Original structural drawings; *Drama Lecture Room*, sheets B-S1 through B-S12, dated May 22, 1967, and prepared by S.B. Barnes and Associates of Los Angeles, California

Building E:

- Original structural design drawings; *Physical Education Addition*; sheets 2, and 11 - 14, dated Jan. 1932.
- Seismic retrofit drawings; *Physical Education Strengthening & Reconstruction*; sheets S1 through S6, dated Feb. 6, 1936, and prepared by Holmes & Narver Structural Engineers of Los Angeles, California.
- Original structural drawings of east and west wings; *Addition and Alterations*; sheets E-S1 through E-S5, dated May 22, 1967, and prepared by S B Barnes & Associates Structural Engineers of Los Angeles, California.

Building F:

Original structural design drawings; *Swimming Pool & Sports Building*, sheets S-1, S-1-A through S-1-E, S-2 through S-4, S-4A, S-5 through S-11, S11-A, and R-1 through R-6, dated April 25, 1939, and prepared by Sfiles O Clements Architect of Los Angeles, California.

Building H:

- Original structural design drawings; *Cafeteria Bldg., Classroom Addition & Alterations*; sheets 15 - 33, dated Jan. 1932.
- Seismic retrofit drawings; *Cafeteria Strengthening & Reconstruction*; sheets S6-S11, dated Feb. 24, 1936, and prepared by Paul E Jeffers Structural Engineers of Los Angeles, California.

2.1 Building A (Classrooms, Cafeteria, Parking)

Building A is constructed on a gradual slope that extends down towards the northeast. The building is separated by seismic/expansion joints into three separate structures: the north, middle, and south portions. The north and south portions are four stories and the middle portion is typically four stories; however, the building steps down toward the north, creating an additional partial story. The upper two levels (and second floor of the north portion) are used for classrooms, offices, cafeteria, and courtyards. The lower two levels (only the bottom level of the north portion) are used for parking. Each portion of the building, as well as the overall conglomerate shape of the building is generally rectangular. Large openings in the roof and fifth floor framing occur over courtyard areas. The building was constructed circa 1967-1970 and encloses approximately 325,000 square feet.

The roof structure is constructed with 2-1/2-inch thick poured gypsum concrete with welded wire mesh reinforcing placed over 1-inch form-board supported by inverted truss tees (Bulb-Tees). The bulb-tees span between steel wide-flange beams that are supported by steel wide flange girders. The steel girders are supported by interior and perimeter steel wide-flange columns.

The fifth floor framing (typically the fourth floor level above grade) consists of 4-1/2-inch thick reinforced lightweight concrete slabs spanning between steel wide-flange beams that span between steel wide-flange girders. The steel girders are supported by interior and perimeter steel wide-flange columns.

The third and fourth floor framing (typically the second and third floor levels above grade, respectively) and second floor framing (only occurs at the north side of the center building) consists of 4-1/2-inch thick (6-1/2-inch thick in most areas of the fourth floor level) reinforced hardrock concrete slabs spanning between reinforced, cast-in-place concrete joists that span between reinforced, cast-in-place concrete beams. The concrete beams are supported by interior and perimeter reinforced concrete columns.

Lateral wind and earthquake forces acting on the three separate portions of the building are resisted by the reinforced gypsum concrete roof, reinforced lightweight concrete fifth floor slab, and reinforced hardrock concrete floor slabs, which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements below the roof and fifth floor levels consist of interior and perimeter steel moment-resisting frames. Lateral forces from the moment-resisting frames and lateral forces from the third and fourth floor slabs are resisted by interior and perimeter reinforced cast-in-place concrete shear walls. The concrete shear walls transmit the lateral forces to the concrete foundations.

The building is supported on a shallow reinforced concrete foundation system with isolated spread footings below interior columns and continuous foundations below interior and perimeter concrete shear walls. The first floor level of each portion of the building consists of a five-inch thick concrete slab-on-grade reinforced with 3/8-inch diameter steel bars spaced at 18 inches on-center in each direction.

2.2 Building B (Domestic Science, Classrooms, Administration, Auditorium, Music & Arts, and Drama Lecture)

Building B consists of six seismically separated independent structures. The structures consist of the one-story Domestic Science Building, the two-story Classroom Building, the three-story Administration Building, the Auditorium and Clock Tower, the two-story Art & Music Building, and the Drama Room Building. Together, these seismically separated structures (buildings) are referred to as Building B. Most of Building B was constructed in the late 1920s and early 1930s starting in 1926. The building was seismically strengthened in 1936. The Drama Lecture Building was constructed in the late 1960s. With the exception of the Auditorium and the Drama Lecture Buildings, the framing throughout Building B is similar and consists of wood roof and floor framing supported by reinforced gunite/clay-tile walls.

Building B, Building E and Building H were all seismically strengthened in 1936. The strengthening of Building B consisted of providing seismic separation between the six building segments, adding new wall anchorage at the 2nd (and 3rd at the Administration Building) floor level(s), and strengthening of the unreinforced masonry tile walls. The walls were typically strengthened by removing one wythe of the two-wythe masonry walls (usually the interior wythe) and adding 3 to 6 1/2 inches of reinforced gunite (shotcrete). Existing strengthening plans from 1936 do not indicate any positive attachment of the newer gunite to the original clay-tile walls. Where they occur, unreinforced hollow clay tile interior nonbearing walls were strengthened by replacing the plaster on one side of the wall with a thin (1" thick) layer of lightly reinforced gunite. In addition to the new wall ties and wall strengthening, new horizontal trusses were added to strengthen the roof diaphragms at the Administration and Auditorium structures. The new trusses consist of steel diagonal braces located at the underside of the roof framing.

Domestic Science Building

The domestic science building is one-story and has a 'C'-shaped plan. The largest segment of the 'C' has a plan footprint of 130 feet by 45 feet, while the footprint of the other two sections are each 23 feet wide by approximately 98 feet long.

Typical roof framing consists of straight sheathing over trussed wood rafters spaced at 24 inches on center. These trusses span 23 feet to the exterior bearing concrete/masonry walls. At the large building segment the roof framing consists of straight sheathing supported by 2x8 wood rafters spaced at 24 inches on center. The rafters are supported at the mid-span by 8x12 wood purlins and at the end by the exterior walls. The purlins are supported by wood trusses every 13 feet. The trusses span 45 feet to the exterior walls.

Second floor framing consists of 2 1/2 inch-thick concrete floor slab, reinforced with wire mesh, supported by 2x14 wood joists. The joists are spaced at 16 or 12 inches on center and span anywhere from 13 to 23 feet; joists spanning 23 feet are at the tighter spacing. The joists are

supported by the perimeter concrete walls and/or interior steel beams. Steel wide flange columns support the steel beams.

The building is founded on conventional shallow concrete wall footings. Most of the ground floor consists of hardwood flooring supported by wood sleepers on 4 inch-thick slab-on-grade.

Lateral wind and earthquake forces acting on the building are resisted by the wood roof sheathing and the plaster ceiling, which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements consist of reinforced gunite shear walls and piers at perimeter and interior locations. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy concrete/masonry walls occur at the roof framing and consists of steel plate and/or rod anchors spaced at 4 to 6 feet on center. The anchors typically occur at bottom chords of the trusses at the truss ends and connect to a concrete bond beam at the top of the wall.

Classroom Building

The classroom building is located north of the domestic science building. It is two-stories and has a long rectangular shape with a footprint of approximately 215 feet by 63 feet. The layout of the structure has classrooms on the east and west sides of the building and a central corridor. The corridor consists of concrete framing while the classroom segments are wood framed.

The roof framing consists of straight sheathing over 2x10 wood rafters spaced at 24 inches on center. The rafters span approximately 12 feet to heavy wood trusses. The trusses are supported by exterior bearing concrete/masonry walls and an interior concrete corridor. The plaster ceilings are supported by 2x8 ceiling joists spaced at 24 inches on center.

Second floor framing consists of straight sheathing with hardwood flooring supported by 2x16 wood joists. The joists are spaced at 16 inches on center and span 24 feet. The joists are supported by the perimeter concrete walls and the interior concrete corridor.

The building is founded on conventional shallow concrete wall footings with pad footing beneath the interior corridor concrete columns. Most of the ground floor consists of hardwood flooring supported by wood sleepers on 4 inch-thick slab-on-grade.

Lateral wind and earthquake forces acting on the building are resisted by roof and floor wood sheathing, and the plaster ceiling, which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements in the longitudinal direction consist of perforated reinforced gunite shear walls along the perimeter and interior concrete shear walls along the central corridor. In the transverse direction; perimeter perforated gunite walls in addition to 5 lines of interior shear wall resist lateral loads. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy concrete/masonry walls occur at both the roof and the floor framing. At the roof the longitudinal wall anchorage occurs only at the trusses and consists of steel rods attached to the chords of the trusses and to a concrete bond beam within the top of the wall. Therefore, the walls must span horizontally the 12 feet between the trusses. For the transverse walls the wall anchorage consists of steel straps at 4 feet on center that are bolted to the roof framing and embedded in the concrete bond beam. At the second floor level

the walls are laterally anchored every 4 feet with steel straps that are embedded in a concrete bond beam and attached to the floor joist. Continuity ties are provided by anchoring the vertical roof trusses and floor joists to the interior concrete corridor.

Administration Building

The Administration building is a three-story structure. It is just to the north of the Classroom and south of the Auditorium segments of Building B. Three inch seismic joints separate the Administration building from both the Classroom and the Auditorium. The building is rectangular in plan with a footprint of 63 feet by 52 feet with a small two-story wing on the northeast corner that is 15 feet by 30 feet.

Roof framing consists of straight sheathing over 2x6 wood rafters spaced at 16 inches on center. The joists are supported by 6x8 wood purlins every 8 to 9 feet. The purlins span from 13.5 feet to 17.5 feet to heavy wood trusses that, in turn, span 52 feet to concrete columns that are integral with the exterior concrete/masonry walls. 2x10 ceiling joists spaced at 24 inches on center span are supported by the bottom chord of the trusses.

Third floor framing consists of straight sheathing supported by 2x12 wood joists. Depending on the span, the joists are spaced at 16 inches on center or 12 inches on center. The joists are supported by 14-inch deep by 12 inch wide interior concrete beams and/or the perimeter concrete/masonry walls. The concrete beams are supported by interior and/or exterior concrete columns.

Second floor framing similarly consists of straight sheathing supported by 2x16 wood joists. The joists are spaced at 16 inches on center and span up to 19 feet. The second floor framing beneath the corridors consists of 4-inch thick concrete slab supported by concrete joists spaced at 24 inches on center. Both the wood and concrete joists are supported by interior concrete beams and/or the perimeter concrete/masonry walls. The concrete beams are 14-inches deep by 12 inches wide and are supported by interior and/or exterior concrete columns.

Elevated first floor framing consists of 4-inch thick concrete slab supported by concrete joists spaced at 24 inches on center. The concrete joists are supported by interior concrete beams and/or the perimeter concrete foundation walls. The concrete beams are 14-inches deep by 12 inches wide and are supported by interior and/or exterior concrete columns. The building is founded on conventional shallow concrete wall footings with pad footing beneath the concrete columns. The ground floor consists of 4 inch-thick concrete slab-on-grade.

Lateral wind and earthquake forces acting on the building are resisted by roof and floor wood sheathing, steel horizontal trusses, and the corridor concrete slabs (where they occur), which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. The steel horizontal trusses (braces) were added as part of the 1936 seismic strengthening at the roof (ceiling joist level) and third floor levels. Vertical lateral-force resisting elements consist of perimeter perforated reinforced gunite shear walls. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy concrete/masonry walls occurs at the roof, second floor, and third floor framing levels. At the roof, wall anchorage occurs at the trusses and at the ceiling joists. Wall anchorage at the trusses consists of steel plates attached to the chords of the trusses and to a concrete bond beam within the top of the wall. Additional plate anchors are spaced at 6 feet on center. These anchors are attached to the ceiling joists and consist of

steel straps that are bolted to the joists and embedded in the concrete bond beam. At the second floor and third floor levels the walls are laterally anchored every 4 feet with steel straps that are embedded in a concrete bond beam and attached to the floor joists. Where the joists run parallel to the wall, anchorage consists of an anchor bolt connecting the ledger to the wall at 4 feet on center. This type of detailing induces cross-grain bending into the wood ledge:

Auditorium

The Auditorium is a complex structure. Although it was originally built integral with the Administration building, it was seismically separated as part of the 1936 seismic strengthening. The Auditorium structure has a plan footprint of 173 feet by 94 feet and includes a four-story clock tower, a two-story study hall, the main auditorium, a second floor balcony, and a tall one-story fly loft/stage area. A partial basement occurs beneath the stage. Unlike the rest of Building B, the construction of the Auditorium consists of mostly concrete and steel with the only wood framing occurring at the roof of the study hall and at the roof of the clock tower.

Roof framing for the main auditorium and stage area consists of thin concrete slabs spanning to steel wide flange or channel purlins. The purlins are supported by large riveted steel trusses. These trusses span 73 feet at the auditorium and 30 feet at the stage where they are supported by concrete encased steel wide flange columns and concrete columns at the auditorium and stage, respectively. Heavy plaster ceiling in the auditorium is suspended by long wires from the roof framing.

Roof framing at the study hall consists of straight sheathing supported by trussed wood rafters spaced at 24 inches on center. The rafters span 24 feet and are supported by the concrete/masonry walls. Roof framing for the clock tower consists of straight sheathing supported by 3x8 wood rafters spaced at 24 inches on center. The rafters are supported by 3x8 hips and the exterior concrete walls.

Second floor framing of the study hall consists of 3¾ inch-thick concrete floor slab, reinforced with wire mesh, supported by concrete joists. The joists are spaced at 25 inches on center and span 29 feet to supporting concrete/masonry walls. Similarly at the lower floor, framing consists of 2¾ inch-thick concrete floor slab supported by concrete joists.

A large balcony is located on the south end of the auditorium. The balcony was added as part of the 1936 upgrade. Framing for the balcony consists of a 3 inch-thick stepped concrete slab reinforced with ¼ inch diameter bars. The slab is supported by large cantilevered concrete beams. The beams frame over steel wide flange and built-up columns. The pad foundations that support the balcony columns were designed and constructed as part of the original 1926 construction.

The building is founded on conventional shallow concrete wall footings. Pad footings supporting the concrete or steel columns are integral with the wall footings.

Lateral wind and earthquake forces acting on the building are resisted by roof and floor wood sheathing, steel horizontal trusses, or concrete slabs, which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements consist of perimeter perforated reinforced gunite shear walls, concrete infill walls, and interior gunite walls. The shear walls transmit the lateral load to the concrete foundations.

Except at a few locations, positive wall anchorage of the heavy concrete/masonry walls is provided by the concrete floor and roof slabs attached to perimeter concrete bond beams. At the tower roof, no direct anchorage occurs to the wood roof framing, instead lateral support of the walls is provided by small areas of concrete slab in the four corners of the structure. These areas of slab act as "gussets" that transfer the out-of-plane forces of the walls into the orthogonal walls as an in-plane shear. At the wood roof of the study hall, wall anchorage occurs at 6 feet on center and consists of steel straps that are bolted to the bottom chord of the trussed rafters and embedded in the concrete bond beam at the top of the wall.

Art and Music Building

The Art & Music Building was constructed approximately three years after most of Building B. It is a two-story building with a 'C'-shaped plan that wraps around the north end of the auditorium. Originally connected to the auditorium, the buildings were seismically separated in the 1936 seismic strengthening. The overall footprint of the building is approximately 140 feet by 165 feet.

Most of the roof framing consists of straight sheathing over trussed wood rafters spaced at 24 inches on center. These trusses are usually supported by exterior and/or interior bearing concrete/masonry walls. Wings on the east or west sides of the building have roof framing that consists of 2x straight sheathing supported by 6x8 wood purlins. The purlins span between heavy wood trusses, which are supported by the perimeter walls. The trusses span 30 feet to the exterior walls. The ceilings are supported by the bottom chords of the trussed rafters or by 2x8 ceiling joists.

Both the elevated first and second floor framing consists of straight sheathing, with wood flooring, over flat 2x3 nailers spaced at 16 inches on center. The nailers are supported by 20" to 24" deep open web steel joists spaced at 48 inches on center. At a few locations on the first floor, the steel joists support a concrete slab. The joists typically span to the perimeter walls and interior concrete beams along the corridors. The corridor areas are concrete framed with a concrete pan joist system supported by concrete beams and concrete columns.

The building is founded on conventional shallow concrete wall footings with isolated pad footings beneath the concrete columns.

Lateral wind and earthquake forces acting on the building are resisted by the roof and floor wood sheathing and the plaster ceilings, which act as diaphragms, or deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements consist of reinforced gunite shear walls and piers at perimeter and interior locations. The shear walls transmit the lateral load to the concrete foundations.

Anchorage of the heavy concrete/masonry walls at the roof framing consists of steel plates spaced at 6 feet on center. The anchors typically occur at bottom chords of the trusses and are embedded into a concrete bond at the top of the wall. At the floor levels, wall anchorage consists of a short piece of 1/2 inch diameter rod that is centered on and passes through the top chord of the steel open web joists. The top chord and rod are embedded into the concrete bond beam.

Drama Lecture Room (North Building)

The northern segment of Building B is a one-story reinforced masonry wall building with wood roof and a sunken amphitheatre. The structure is north of the Art & Music building and is structurally separated with a 3' seismic joint. This last segment of Building B was constructed in the late 1960's.

Roof framing consists of ½" thick plywood sheathing over trussed 2x14 wood rafters spaced at 16 inches on center. The rafters are supported by steel wide flange beams which, in turn, are supported by steel columns (pipe columns or wide flange), perimeter reinforced masonry walls, and/or other steel wide flange beams.

The building is founded on conventional shallow concrete wall footings or isolated pad footings beneath the steel columns. The ground floor consists of 4 inch-thick slab-on-grade reinforced with welded wire mesh.

Lateral wind and earthquake forces acting on the building are resisted by the roof plywood sheathing, which acts as a diaphragm, or deep horizontal beam, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements consist of reinforced masonry shear walls along the north, east and west elevations and steel braced frames along the south elevation. The shear walls and braced frames transmit the lateral load to the concrete foundations.

Anchorage of the heavy masonry walls consists of steel plates nailed to the bottom of the rafters and embedded in the masonry walls. The anchors are spaced at 48 inches on center. Where rafters are parallel to the wall, steel strap anchors continue for two rafter bays from the face of the wall and are nailed to 2x14 wood blocks. Continuity over the steel beams is provided by steel straps nailed to the side of the rafters on both sides of the beam.

2.3 Building E (Gymnasium and Locker Rooms)

Building E consists of a two-story main building containing both boys and girls gymnasiums over first floor shower/dressing rooms, and two seismically separated structures; a boys physical education building to the east and a girls physical education building to the west of the main structure. The main gymnasium is rectangular and has a footprint approximately 210 feet by 64 feet. The rectangular boys and girls physical education buildings are approximately 70 feet by 89 feet, and 54 feet by 89 feet, respectively. The main building was constructed circa 1932 and was seismically strengthened in 1936, while both the east and west wings were added in 1967.

Main Building

The main building roof framing consists of long span steel trusses supporting steel channel purlins at the truss panel points. 2x6 wood joists, at 25 inches on center, span approximately 8 feet to the channel purlins. Straight sheathing covers the joists. The trusses are supported by wide flange steel columns encased in the exterior reinforced concrete/clay-tile walls.

Second floor framing consists of 2 ½ inch-thick concrete floor slab, reinforced with wire mesh, supported by 2x14 wood joists. The joists are spaced at 16 or 12 inches on center and span anywhere from 13 to 23 feet; joists spanning 23 feet are at the tighter spacing. The joists are supported by the perimeter concrete walls and/or interior steel beams. Steel wide flange columns support the steel beams.

Many of the interior nonbearing walls consist of unreinforced hollow clay tile. A thin (1" thick) layer of gunite was added to one side of the existing walls to strengthen the out-of-plane capacity.

The building is supported on a conventional shallow concrete foundation system. Shallow continuous footings are located below the interior and exterior concrete/clay tile walls, while square pad footings support the interior steel columns.

Building E was seismically strengthened, as were all existing buildings on campus, in 1936. For Building E the strengthening consisted of the addition of steel x-bracing at the roof and floor levels, new wall anchorage at the 2nd floor level, and strengthening of the unreinforced masonry tile walls. The walls were typically strengthened by removing the exterior wythe of the two-wythe masonry walls and adding 4 inches of reinforced gunite (shotcrete).

Lateral wind and earthquake forces acting on the building are resisted by steel x-bracing, which acts as a diaphragm, or deep horizontal beam, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements within the main portion of the building consist of perforated reinforced gunite shear walls around the perimeter in both the longitudinal and transverse directions, and in the transverse direction three additional full length shear walls occur in the interior. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy concrete/masonry walls occurs at both the roof and the floor framing. At the roof the anchorage occurs at both the top and bottom chords of the trusses at the truss ends. Therefore, the walls must span horizontally 15 feet to the trusses. A concrete bond beam within the wall laterally supports the wall between these wall ties. Two levels of horizontal trusses, consisting of steel x-bracing in line with the top and bottom chords of the roof trusses, distribute the lateral wall forces to perpendicular shear walls during strong ground motion. Continuity ties are provided by the vertical roof trusses in one direction and the horizontal trusses in the other direction.

East and West Wings

Both the east and west wings were built at the same time and are similarly constructed with 10-inch thick reinforced masonry walls and light framed roof and floor. The roof framing consists of ½ inch-thick plywood sheathing over 2x10 wood rafters spaced at 16 inches on center. The rafters span 15 feet or 18 feet to steel tapered beams or to the exterior walls. The tapered steel beams are supported by the exterior masonry walls, at one end, and the masonry walls or steel wide flange columns at the other. Maximum span of the tapered beam is approximately 70 feet. Perimeter walls are attached to the diaphragm through wood ledgers.

Second floor framing is similar to the roof, ½ inch-thick plywood sheathing is supported by 2x12 wood joists spaced at 16 inches on center or by perimeter wood ledgers. The joists span to W10 series steel wide flange beams. The beams are supported by exterior reinforced brick walls and/or interior steel tube columns.

The building is supported on a conventional shallow concrete foundation system. Shallow continuous footings are located below the interior and exterior masonry walls, while isolated pad footings support the interior steel columns.

Lateral wind and earthquake forces acting on the building are resisted by the blocked plywood diaphragms which act as deep horizontal beams, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements consist of interior and exterior reinforced brick masonry shear walls. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy masonry walls occur at both the roof and the floor framing. At the roof the anchorage consists of steel strap plates bolted or nailed to one side of the roof joists or to the underside of wood blocking. The straps are typically spaced at 4'-0" on-center. The plates are bent and are embedded in the masonry walls. Continuity ties are provided by steel struts or the steel beams.

2.4 Building F (Gymnasium and Natatorium)

The central arched roof portion of Building F contains the main campus gymnasium and swimming pool. The unusual building has a gymnasium floor that rolls out over the swimming pool. Concrete bleachers surround the center gym/pool, and east and west pop-out portions of the building include a weight room area, exercise room, restrooms, and offices. The top level of the bleachers is at grade level with the pool surface and gym floor set below grade. The moveable gymnasium floor is separated into two sections that roll in and out from below the east and west bleachers. A subterranean concrete tunnel/hallway connects the basement level of Building F to Building B directly to the south. The building was constructed circa 1940 and is approximately 19,000 square feet.

The main roof of the building is constructed with 3x6 straight wood sheathing supported by 6x8 sawn wood joists that span between 6x10 sawn wood beams. The beams are supported by wood arched-truss members that form the arched roof. The wood arches are supported by pile caps with deep caissons.

The roof of the small pop-out areas along the east and west sides of the building consist of 3x6 straight wood sheathing supported by 6x8 sawn wood joists spaced at 4'-0" on-center that span between steel wide flange beams. The beams are supported by steel wide-flange girders that are supported by perimeter concrete bearing walls and interior steel wide flange columns.

The second floor of the west pop-out area consists of 3-1/2-inch thick reinforced, cast-in-place concrete slab spanning to reinforced, cast-in-place concrete joists. The joists are supported by reinforced, cast-in-place concrete beams and the perimeter reinforced, cast-in-place concrete bearing walls.

The floor structure of the two pop-outs consists of 3x6 straight wood sheathing supported by 6x8 sawn wood joists spaced at 24 inches on-center that span between steel wide flange beams. The beams are supported by steel wide-flange girders that are supported by perimeter concrete bearing walls and interior steel wide flange columns.

Lateral wind and earthquake forces acting on the building are resisted by the 3x straight wood roof sheathing, which acts as a diaphragm, or deep horizontal beam, spanning between vertical lateral-force resisting elements. Vertical lateral-force resisting elements within the main swim/gym portion consist of wood trussed arches in the transverse direction and steel X-rod bracing in the longitudinal direction. The wood arches and rod bracing transmit the lateral load to the concrete foundations. Lateral wind and earthquake forces acting on the east and west pop-out sections of the building are resisted by the steel X-rod diaphragm bracing, which acts

as a diaphragm, spanning between interior and perimeter reinforced cast-in-place concrete shear walls. The concrete shear walls transmit the lateral forces to the concrete foundations.

Positive wall anchorage of the heavy concrete walls to the roof at the east and west pop-out areas consists of steel plates bolted to one side of the roof joists at 4'-0" on-center. The plates are welded to steel angles with welded studs that are embedded in the concrete walls. In the other direction, the wall anchors consist of the steel X-rod diaphragm bracing that is bolted to steel angles with welded studs that are embedded in the concrete walls. Continuity ties were not noted on the drawings and were not observed in the field.

The building is supported on a combination of conventional shallow concrete foundation systems and deep friction pile foundations. Shallow continuous footings are located below the interior concrete walls and other minor portions of the structure. Deep reinforced concrete friction piles are located below perimeter concrete bearing walls and below the ends of the wood arches. The central concrete core walls situated around the elevator shafts are supported by a large pile cap that is supported by deep reinforced concrete friction piles.

2.5 Building H (Cafeteria)

Construction of Building H consists of wood roof and floor framing supported by reinforced gunite/clay-tile walls. Building H was constructed in the early 1930's, and seismically strengthened in 1936. The unreinforced masonry walls were strengthened by removing one wythe of the two-wythe masonry walls, usually the interior wythe, and adding 6¼ to 8¼ inches of reinforced gunite (shotcrete). Existing strengthening plans from 1936 do not indicate any positive attachment of the newer gunite to the original clay-tile walls.

Building H is located to the south of Building B. It is two-stories and has a rectangular shape with an overall footprint of approximately 140 feet by 93 feet. The second floor level steps back 25 feet on the east side of the building.

The roof framing of Building H consists of straight sheathing over 2x6 wood rafters spaced at 24 inches on center. The rafters span approximately 12 feet to heavy wood trusses with wood compression webs and steel rod tension webs. The trusses are supported by exterior bearing concrete/masonry walls and an interior concrete corridor. The plaster ceilings are supported by 2x6 ceiling joists spaced at 16 inches on center.

Second floor framing consists of straight sheathing with hardwood flooring supported by steel open web joists spaced approximately 24 inches on center. The steel floor joists span 26 feet and are supported by the perimeter concrete walls or concrete encased steel frame and the interior concrete corridor. At the second floor setback, the low roof framing over the one-story section, framing consists of straight sheathing over wood trussed rafters spaced 24 inches on center. The rafters span 24½ feet.

The building is founded on conventional shallow concrete wall footings with pad footing beneath the interior corridor concrete columns and the concrete encased steel wide flange columns. Most of the ground floor consists of hardwood flooring supported by wood sleepers on 4 inch-thick slab-on-grade. Allowable soil pressure is listed on the original construction document as 4000 pounds per square foot.

Lateral wind and earthquake forces acting on the building are resisted by roof and floor wood sheathing, which act as diaphragms, or deep horizontal beams, spanning between vertical

lateral-force resisting elements. Vertical lateral-force resisting elements consist of perforated reinforced concrete shear walls along the perimeter and interior walls. The shear walls transmit the lateral load to the concrete foundations.

Positive wall anchorage of the heavy concrete/masonry walls occurs at both the roof and the floor framing. At the roof wall anchorage consists of steel angles at 4 feet on center that are bolted to the ceiling joists and embedded in the concrete bond beam. At the roof trusses (12 feet on center) additional wall anchorage consists of steel plate attached to the top and bottom chords of the truss while the other end is embedded in a concrete bond beam at the top of the wall. At the second floor level the walls are laterally anchored every 4 feet with steel straps that are embedded in a concrete bond beam and attached to the floor joists. Continuity ties are provided by anchoring the vertical roof trusses and floor joists to the interior concrete corridor.

3.0 Seismic Evaluation Methodology

The purpose of this seismic evaluation is to identify critical structural elements in the project buildings that, when subjected to earthquake induced forces and displacements, may result in a significant life-safety or collapse hazard. Structural behavior representing a significant life-safety hazard includes yielding or failure of structural elements that potentially could cause local collapse, and the creation of falling hazards at exit ways due to deterioration of heavy finishes or excessive deflections. The expected seismic performance of the selected buildings was evaluated following procedures in ASCE 31-03 "Seismic Evaluation of Existing Buildings" (formerly FEMA 310). The detailed evaluations look at each structure's ability to meet a *Life Safety* level of performance, as defined by ASCE 31-03, for the designated earthquake hazard level.

3.1 Structural Analysis

For each structure evaluated, linear static or linear dynamic analysis procedures are used. The scope of this review involves the detailed seismic evaluation of Buildings B, E, and H, and preliminary evaluations of Buildings A and F. The detailed analysis of Buildings B, E, and H and Preliminary analysis of Buildings A and F starts with a defined earthquake ground motion force level, typically reported as mapped spectral accelerations expected for the specific site. The value of the spectral accelerations account for the general seismicity of the area and potential for strong ground shaking, proximity to known earthquake faults, and site soil conditions (to the degree they are known) including liquefaction and supporting soil or rock stiffness. The level of ground motion at each site is defined in accordance with the requirements of ASCE 31-03 and is based upon an earthquake hazard level that is equal to 2/3 of the Maximum Considered Earthquake (MCE). The MCE is defined as an earthquake hazard with a probability of exceedance of 2 percent in a 50-year exposure period (approximately 2500 year return period). See Section 4.4 for specific ground motion data used for each site.

To evaluate the building's response to the developed ground motion spectrum in an analysis, the building and primary lateral elements within are mathematically modeled by hand calculations that use general engineering principals (linear static) or, for the more complex structures, with two or three dimensional computer models (linear static or dynamic). The computer models are typically done using the SAP2000 or ETABS structural analysis software by Computers and Structures International, Berkeley, California.

Typically, in the linear static procedure, hand calculations are used to determine magnitude of lateral forces on individual elements within the building to investigate the elements adequacy to resist lateral loads. Lateral loads are calculated based upon the spectral accelerations at the fundamental period of the building and are applied statically. Distribution of the lateral load is relative to the mass distribution within the structure.

Where a linear dynamic analysis with computer modeling is used for the detailed evaluation, the earthquake response of the structure is approximated by first performing a modal analysis of the linear elastic model and then applying an appropriate response spectrum and damping level representing the input ground motion in accordance with ASCE 31-03. Periods and mode shapes are computed and earthquake forces calculated for key structural elements assuming structural behavior remains linear elastic. Typically a damping value of 5 percent for the structure is selected for dynamic analysis as a reasonably conservative estimate for post-yield

behavior under the earthquake ground motions. Sufficient mode shapes are extracted, using the eigenvector analysis method, in order to achieve a minimum of 90-percent mass participation in both principal horizontal directions. The modal forces are combined using the complete quadratic combination (CQC) method. The dynamic forces obtained from the analysis are combined with appropriate dead and live load forces, with the resulting combined forces defined as the elastic demand force.

Whether calculated by the linear elastic computer model or by using general engineering principals, the elastic demand (D) for each element is compared to the capacity (C) of that element, where the capacity is defined as the expected elastic strength at yield. Element actions are defined as Deformation-Controlled or Force-Controlled. Except for brittle-failure mechanisms (such as concrete or masonry wall anchorage), most actions are considered Deformation-Controlled. For elements governed by Deformation-Controlled actions (those members capable of inelastic behavior) the yield capacity of the member is multiplied by a component modification factor to account for permissible deformations beyond yield. These modification factors are referred to as *m*-factors. Acceptable *m*-factors for various component actions are defined in ACSE 31-03 and vary depending on the level of evaluation performance desired (e.g. *Life Safety* for 2/3 MCE). Acceptable element performance is denoted as when the element capacity multiplied by the appropriate *m*-factor is greater than or equal to the demand from the analysis. Another way to define acceptable behavior is when the ratio of demand to capacity (DCR = Demand/Capacity) for each element is less than or equal to the acceptable values of *m* for a given type of action and performance objective. For Force-Controlled element actions DCR must be less than or equal to unity (in essence *m* = 1.0).

4.0 Site Specific Seismic Hazards

The seismic hazard evaluation identifies earthquake effects at the site (e.g., ground shaking or ground failure) and quantifies the likelihood of their occurrence, irrespective of buildings or other improvements on the site. Seismic hazards include strong ground shaking, ground rupture due to faulting, seismically-induced settlement, liquefaction, and slope failure.

4.1 Strong Ground Shaking

Beverly Hills has significant seismic hazards, due primarily to the presence of the Santa Monica fault and other nearby faults. Future ground motion at a specific site is often estimated based on a probabilistic seismic hazard analysis (PSHA) considering the location, geometry, slip rate and maximum magnitude for active and potentially-active faults in the region, and the use of ground motion attenuation relations suitable for the type of faulting and the site soil profile. Ground motion at a site is often characterized in terms of peak ground acceleration (PGA). Based on published geologic reports and maps, strong ground shaking may affect the Beverly Hills High School site as the result of earthquakes likely to occur on the following active regional faults.

ACTIVE REGIONAL FAULTS			
Fault or Fault Zone	Distance and Direction From Site	Recent Activity	Maximum Magnitude
Santa Monica (A)	<1/2 mile NW	--	6.6
Hollywood-Raymond (A)	1.5 miles NE	--	6.5
Newport-Inglewood (A)	2 miles SE	1933 M6.3	7.1
Malibu Coast (A)	7 miles W	1989 M5.3	6.7
Puente Hills (A)	7 miles E	--	7.1
Upper Elysian (A)	7 miles NE	--	6.4
Verdugo (A)	11 miles NE	--	6.9
Palos Verdes (A)	12 miles SW	--	7.3
Northridge (A)	13 miles NW	--	7.0
Sierra Madre (A)	15 miles NE	1991 M5.6	7.2
San Andreas (A)	37 miles NE	1857 M7.8	7.8

4.2 Fault Rupture

California Earthquake Fault Zones (EFZs), established by the State of California under the Alquist-Priolo Earthquake Fault Zoning Act (first enacted in 1973), are delineated around known traces of active faults. In accordance with state law, cities and counties must withhold development permits for new construction used for human occupancy and for extensive additions to or remodeling of existing structures until geologic investigations demonstrate that the proposed construction is not threatened by surface displacement from future faulting. If an active fault is found, a structure cannot be placed over the trace of the fault and must be set back from the fault (generally 50 feet). In addition, the effects of faulting are considered when

estimating the degree of earthquake-related damage for existing facilities located within the fault or drag zone.

The site is not located within a California Earthquake Fault Zone (nearest EFZ on the Newport Inglewood Fault). The closest mapped active or potentially active fault is the active Santa Monica Fault located less than 1/2-mile from the site. Since no active or potentially active faults are known to cross the site, the potential for ground surface rupture due to recognized faulting is considered to be low.

4.3 Other Earthquake Hazards

Seismically induced settlement, liquefaction (loss of soil strength in saturated soil deposits during strong ground shaking), and slope failure (landslides or local failures triggered by earthquakes) may affect soils supporting foundations. The effects of these other earthquake hazards can lead to loss of bearing capacity and excessive settlement of foundations, resulting in increased seismic-related building damage. In California, Seismic Hazard Zone (SHZ) maps have been issued by the State Department of Conservation for some major urban areas showing areas prone to liquefaction and landslides. These maps show areas where investigations are required for liquefaction and landslide hazards before development and construction permits can be obtained.

Regional geologic and hazard maps indicate subsoils at the site consist of older Quaternary alluvium near the northwest (higher) portion of the campus and younger Quaternary alluvium for the remainder (lower portion) of the campus. The depth to ground water at the site is greater than 20 feet. The site is not located within a California Seismic Hazard Zone (SHZ) for liquefaction (Beverly Hills Quadrangle, official map released 3/25/99). Regional information indicates a low to moderate liquefaction potential. Based on the available information, the seismically induced liquefaction potential at the site is considered to be low.

The site is not located within a California SHZ zone for landslide (Beverly Hills Quadrangle, official map released 3/25/99). The site consists of moderate slope with the high portion near the northwest portion of the campus and slope downward towards the east and south. Based on this information, the potential for earthquake-induced landslide or slope stability failure is low.

The site is not located adjacent to a coastal or inland body of water or downstream of a dam, and is therefore not subject to flooding by earthquake-related tsunami, seiche, or dam failure.

4.4 Site-Specified Ground Motion

Ground Motion at the project site was evaluated in accordance with the requirements of ASCE 31-03 (formerly FEMA 310). Earthquake ground motion is based upon an earthquake hazard level that is equal to 2/3 of the Maximum Considered Earthquake (MCE). The MCE is defined as an earthquake hazard based on a probability of exceedance of 2 percent in a 50-year exposure period (approximately 2500 year return period). At 2/3 of the MCE level, as used in these building evaluations, the design earthquake is very similar to the earthquake hazard based on a probability of exceedance of 10 percent in a 50-year period (approximately 475 year return period). The 475 year earthquake is the defined earthquake ground motion used by the 2001 CBC code for the design of new buildings. The MCE Response Spectrum is defined by two values obtained from 2002 USGS study for rock; S_5 and S_1 , the Short-Period Spectral Response Acceleration and Spectral Response Acceleration at one second, respectively. The

S_s parameter is defined at 0.2 seconds; both the S_s and S_1 are listed in the table below. Actual spectral design values are modified for Site Class D (stiff soil). The Peak Ground Acceleration for a 475 year return period (similar to 2/3 MCE), Short-Period Design Spectral Response Acceleration Parameter (S_{DS}), and Design Spectral Response Acceleration Parameter at one second (S_{D1}) are also summarized in the following table:

SITE SPECTRAL RESPONSE ACCELERATION PARAMETERS					
Ground Motion Level	PGA	S_s	S_1	S_{DS}	S_{D1}
2/3 MCE (Earthquake Hazard used for ASCE 31 Evaluation)	0.59g	1.246g	0.424g	1.246g	0.64g
MCE - 2% in 50 years (2475 year return period)	0.88g	1.866g	0.636g	1.866g	0.95g
10% in 50 years (475 year return period)	0.49g	1.230g	0.443g	1.242g	0.69g

5.0 Seismic Evaluation Results and Recommendations

As previously discussed, the structural evaluations of the buildings were completed using the approach contained in ACSE 31-03. To accomplish this, an evaluation of the seismic strength of Buildings B, E, and H was completed using a linear-elastic computer model or calculations based upon basic engineering principals and relative rigidities of lateral force resisting components to determine demands on specific elements of the structure. Only preliminary analysis was completed for Buildings A and F. The seismic demands were compared to acceptable values defined in ACSE 31-03 for a *Life Safety* performance level, incorporating calculated modified inelastic demand-to-capacity ratios (*m*-factors) to account for the ductility of specific element types. The conclusions reached using this evaluation procedure are used to determine deficiencies (if any) in the buildings' ability to maintain a *Life Safe* performance level when subjected to the defined earthquake hazard.

The results for each building evaluated are provided below.

5.1 Building A (Classrooms, Cafeteria, Parking)

For the evaluation of the roof diaphragms and concrete shear walls, earthquake demand forces were calculated using the equivalent lateral static force method described earlier. For the upper story steel moment resisting frames, general redundancy was evaluated. The following observations were made as a result of our equivalent force analysis of the building subjected to forces as specified by ASCE 31-03:

- The capacity of the existing gypsum fill roof diaphragm does not meet the requirements for a *Life Safety* performance level. The maximum DCR for the diaphragm significantly exceeds *Life Safety* values.
- A major concern with future earthquake performance of moment frame buildings involves the existing beam-to-column connections of the moment resisting frames (MRF's). The connections in this building, as detailed on the construction documents, are similar to those that performed poorly in the 1994 Northridge earthquake. Although many affected connections were not damaged, a wide spectrum of unexpected brittle connection damage did occur. The cause of the connection damage has been attributed to factors related to the configuration of the beam-to-column interface, and limitations in the material properties, workmanship and inspection and testing of these joints. The ability of existing welded steel moment frame buildings to resist earthquake ground shaking through inelastic behavior is now understood to be significantly less than that previously assumed prior to the 1994 Northridge earthquake.

For the preliminary analysis of the steel moment-resisting frames, the redundancy of the frames was calculated. Redundancy of the lateral force resisting system is an important factor affecting the performance of buildings in an earthquake. Buildings with a low redundancy, i.e. few lateral force resisting elements to resist the seismic loads, tend to suffer more damage under earthquake ground motions. The layouts of the moment frames within the building have a moderately high level of redundancy as calculated by current code criteria. Therefore, even if several of the moment-resisting frame connections were to fail, it would not likely lead to collapse of the building. The life-safety risk of the steel moment frame portions of the building was judged to not be a significant life-safety risk, based on the preliminary analysis.

- The capacity of the existing concrete walls to resist in-plane lateral forces appears to marginally meet the requirements for *Life Safety* performance level, based on the preliminary analysis.

Based upon the results of the structural analysis, the predicted structural performance of the building does not satisfy all of the provisions of *Life Safety* as outlined in ASCE 31-03. Seismic strengthening of the gypsum roof diaphragm would be required to reduce the life-safety hazards associated with the building. The structure should be seismically retrofit, as a minimum, to meet ACSE 41-06 structural performance guidelines for *Life Safety*.

5.2 Building B (Domestic Science, Classrooms, Administration, Auditorium, Music & Arts, and Drama Lecture)

To evaluate the seismic performance of the Building B structures, the elastic demand forces of concrete shear walls were calculated from a two-dimensional mathematical model developed for each building with an exception of Auditorium building (three-dimensional model) using the structural analysis software ETABS. Based on the requirements of ASCE 31-03, a linear static analysis, adopting the equivalent lateral static forces, was conducted for two-dimensional models.

For the Classroom building, one-third of the exterior concrete shear walls in longitudinal direction were modeled as a representative segment of the lateral force resisting system and is a justified simplification due to the repetitive shear wall pattern along the building. A concentrated load was applied at each floor level to account for the earthquake load. The in-plane and out-of-plane demand forces at wall piers were compared with the specified capacities of reinforce concrete shear walls. Wood floor diaphragm stresses and anchorages to the walls were evaluated using the static seismic load procedure described above.

For the Administration building, the exterior concrete shear walls in both longitudinal and transverse directions were modeled. A concentrated load was applied at each floor level. The demand forces of shear walls were compared with their in-plane and out-of-plane strengths. Wood floor diaphragm stresses and anchorages to the walls were also compared with the specified capacities.

The same methodology applies for the evaluation of the Domestic Science, Art and Music and the Drama Lecture buildings. The in-plane and out-of-plane demand forces of concrete shear walls in both longitudinal and transverse directions were compared with their capacities. Diaphragm stresses of wood roof and floors, and anchorages of the walls to the horizontal diaphragms were evaluated. In addition, the capacity and detailing of the steel braced frames of the Drama Lecture building were considered.

For the evaluation of Auditorium building, a linear elastic dynamic analysis of a three-dimensional ETABS model was conducted with input ground motion consisting of elastic response spectra as specified in ASCE 31. The ground motion used in the analysis was based on 2/3 of the maximum considered earthquake (MCE) which is approximately equal to ground motion with a 10% probability of exceedance in 50 years. Then, the DCRs of concrete columns and shear walls were determined and compared to allowable m -factors.

The following observations were made as a result of either equivalent lateral static load or response spectrum analysis of Building B subjected to 2/3 of maximum considered earthquake (MCE) level as specified in ASCE 31-03:

Building B (General):

- Existing strengthening plans from 1936 do not indicate any positive attachment of the newer gunite to the original clay-tile walls. Positive attachment is required to prevent the tile from peeling away from the exterior. Further evaluation of the existing condition is necessary and may require localized destructive testing. If, as it appears, there is no direct attachment between the unreinforced tile and gunite layers of the walls strengthening will likely be required.
- Where they occur, unreinforced hollow clay tile interior nonbearing walls were strengthened by replacing the plaster on one side of the wall with a thin (3" thick) layer of lightly reinforced gunite. The gunite is not adequate to prevent damage or potential failure of the walls. In a strong earthquake these walls may collapse and thus, are considered a life safety hazard. To mitigate the potential hazard these walls should be removed and replaced with light gage steel framed walls.
- Typical roof and floor diaphragms consist of 1x straight sheathing. In some cases the straight sheathing is covered by other wood flooring. Straight sheathed diaphragms acting alone are not permitted for use as earthquake load resisting elements in school buildings by the California Building Code (2007 CBC, Section 3417.1.5). These types of diaphragms have very little strength to resist in-plane shears due to earthquake ground motions. Where straight sheathed diaphragms occur, new plywood sheathing should be added.

Classroom building:

- The in-plane and out-of-plane flexural and shear capacities of the shear walls meet the requirements for *Life Safety* performance level.
- Wood floor and roof diaphragm stresses do not meet the requirements for *Life Safety* performance level. The demand-capacity-ratio (DCR) of the diaphragm stress is 16% higher than the allowable 'm' values for *Life Safety*.
- Floor and roof diaphragm-to-wall anchorage does not meet the requirements for *Life Safety* performance level. The DCR at longitudinal wall anchorage is approximately twice the acceptable level for *Life Safety*.

Administration building:

- Both transverse and longitudinal shear walls comply with the requirements for *Life Safety* performance level.
- Wood floor diaphragm stresses do not meet the requirements for *Life Safety* performance level. The DCRs are 9% to 37% higher than the allowable 'm' values for *Life Safety*.
- At the roof diaphragm, the horizontal steel x-brace capacities are adequate to meet *Life Safety* performance level.

- Floor and roof diaphragm-to-wall anchorage does not meet the requirements for *Life Safety* performance level. The DCRs are 81% and 57% higher than the acceptable value for *Life Safety* in transverse and longitudinal wall anchorages, respectively.

Auditorium building:

- The column capacities considering the axial-flexural interaction do not meet the requirements for *Life Safety* performance level. The DCRs of the columns at second floor are noted up to 80% higher than the allowable '*m*' values for *Life Safety*.
- The shear wall capacities do not meet the requirements for *Life Safety* performance level. The DCRs of the shear walls at second floor were 1.78 to 2.34 times higher than the allowable '*m*' values for *Life Safety*.

Art & Music building:

- The capacities of shear walls do not comply with the requirements for *Life Safety* performance level. The in-plane flexural of the longitudinal shear wall is exceeded by 18% of the allowable '*m*' values for *Life Safety* although the shear capacity is in the acceptable range.
- Floor diaphragm stresses do not meet the requirements for *Life Safety* performance level. The DCRs are 1.11 and 2.61 times the allowable '*m*' values for *Life Safety* in transverse and longitudinal loadings, respectively.
- Floor diaphragm-to-wall anchorage marginally complies with the requirements for *Life Safety*.

Drama Lecture building:

- In-plane and out-of-plane capacities of the reinforced masonry shear walls meet the requirements for *Life Safety* performance level.
- The brace members of the steel braced frames do not meet the requirements for *Life Safety* performance level. In addition, the configuration of the braced frames is that of a 'K'-brace. Although permitted for use at the time of construction, 'K'-braces are no longer allowed in this application due to the limited ductility of the system and the large lateral loads that can be imposed on the columns at the intersection of the column and the bracing member. The braced frames should be strengthened by increasing the capacity of the frames and by altering the configuration of the braces.
- Roof shear stresses of the blocked plywood diaphragm meet the requirements for *Life Safety* performance level.
- Roof diaphragm-to-wall anchorage marginally complies with the requirements for *Life Safety*.

Based upon the results of the structural analysis, the predicted structural performance of the building does not satisfy the provisions of *Life Safety* as outlined in ASCE 31-03. Therefore, seismic strengthening of many elements of the structures would be required to reduce the life-safety hazards associated with the building. The deficiencies identified above should be addressed, and the structures should be seismically retrofit, as a minimum, to meet ACSE 41-06 structural performance guidelines for *Life Safety*.

5.3 Building E (Gymnasium and Locker Rooms)

For Building E a detailed structural evaluation was completed using linear static evaluation method. Elements of the structure were evaluated with equivalent lateral force analysis, and for the longitudinal perimeter walls; a supplemental ETABS two-dimensional computer model was conducted to determine the distribution of lateral forces to the wall piers and lintels. In either case, elements or portions of the building were subjected to forces as specified by ASCE 31-03 (as described in Section 3.0). Included in the evaluation were the in-plane and out-of-plane wall capacities, adequacy of lateral wall anchorage, and roof diaphragm capacity.

The following observations were made as a result of our detailed analysis:

- Where they occur, unreinforced hollow clay tile interior nonbearing walls were strengthened by replacing the plaster on one side of the wall with a thin (1" thick) layer of lightly reinforced gunite. The plaster is not adequate to prevent damage or potential failure of the walls. In a strong earthquake these walls may collapse and thus, are considered a life safety hazard. To mitigate the potential hazard these walls should be removed and replaced with light gage steel framing.
- Straight wood sheathing was standard construction and conformed to code when the buildings were built; however, straight sheathing is less capable under seismic loads in transferring diaphragm shear forces and controlling deflections than current designs, which typically use plywood sheathing. Due to the marginal capacity of straight wood sheathing the straight sheathed roof diaphragm at the main gymnasium is overstressed in shear. Demand capacity ratios (DCRs) exceed the allowable *Life Safety* 'm' values by 10% to 20%.
- The in-plane and out-of-plane flexural and shear capacities of the shear walls and piers meet the requirements for *Life Safety* performance level.
- The DCRs for the wall anchors attached to the wood framing at the roof and floor level are greater than the allowable 'm' values for *Life Safety*. However, if the steel framing is considered, as the walls span horizontally between the steel members, the wall anchorage is deficient only at the roof level.
- At the locker rooms (east and west ends of Building E), wall anchorage provided is minimal and does not meet a *Life Safety* level of performance along the north and south elevations.
- For the locker rooms roof and floor shear stresses of the blocked plywood diaphragm meet the requirements for *Life Safety* performance level.

Based upon the results of the detailed evaluation, the predicted structural performance of the Physical Education buildings does not satisfy all of the provisions of *Life Safety* as outlined in ASCE 31-03. Therefore, seismic strengthening of several elements of the structure would be required to reduce the life-safety hazards associated with the building. The deficiencies identified above should be addressed, and the structure should be seismically retrofit, as a minimum, to meet ACSE 41-06 structural performance guidelines for *Life Safety*.

5.4 Building F (Gymnasium and Natatorium)

For the evaluation of the Swimming Pool building, the elastic demand forces of wood arch frames were calculated from a two-dimensional mathematical model of the typical wood arched frame using the SAP2000 computer program. The arched frame consisted of three individual frames whose components were made of a series of double curved-tapered sections. In the model, the tapered section was simplified to be a double linearly-tapered section. The connections between tapered sections along the longitudinal direction in a frame were assumed to be pinned such that no moment could be transferred. At the bolt groups interconnecting the three frames, equal constraint technique was used to restrain the relative displacement between the frames at the connections. To account for the earthquake load, a uniformly distributed lateral load based on the equivalent lateral static force concept per ASCE 31-03 was imposed on both sides of the building frame. The forces obtained from the lateral load were combined with appropriate dead and live load forces, and the resulting combined forces were defined as the elastic demand force. The framing member and the corresponding connection demand forces were compared with their capacities. The frame analysis was supplemented by linear static evaluations of selected elements of the lateral force-resisting system.

The following observations were made as a result of either equivalent lateral static load analysis of Building F subjected to 2/3 of maximum considered earthquake (MCE) level as specified in ASCE 31-03.

- The flexural capacity of the individual framing member of the building arched frame does not meet the requirements for *Life Safety* performance level. The DCRs are noted 12% to 23% higher than the acceptable 'm' values for *Life Safety*.
- The bolted connections of the building arched frame marginally comply with the requirements for *Life Safety* performance level.
- Although straight sheathing is used for the roof diaphragm, the stresses in the diaphragm are below the allowable levels and therefore, the diaphragm meets a *Life Safety* level of performance (assuming the arched trusses act as lateral force-resisting elements for the building).
- In the longitudinal direction, lateral forces are resisted by two bays of steel "X"-rod bracing. The "X"-rod bracing marginally meets the *Life Safety* compliance level.

Based upon the results of the structural analysis, the predicted structural performance of the building does not satisfy the provisions of *Life Safety* as outlined in ASCE 31-03. It is recommended that the wood arched frames be seismically strengthened to provide adequate resistance under major earthquake event. The structure should be seismically retrofit, as a minimum, to meet ASCE 41-06 structural performance guidelines for *Life Safety*.

5.5 Building H (Cafeteria)

To complete the detailed evaluation of the roof diaphragms and concrete shear walls, earthquake demand forces were calculated using the equivalent lateral static force method described earlier. The following observations were made as a result of our equivalent force analysis of the building subjected to forces as specified by ASCE 31-03:

- Existing strengthening plans from 1936 do not indicate any positive attachment of the newer gunite to the original clay-tile walls. Positive attachment is required to prevent the tile from peeling away from the exterior. Further evaluation of the existing condition is necessary and may require localized destructive testing. If, as it appears, there is no direct attachment between the unreinforced tile and gunite layers of the walls, strengthening will likely be required.
- Unlike Building B the unreinforced hollow clay tile interior nonbearing walls were removed and replaced with light gage steel studs and plaster as part of the 1936 seismic strengthening. These lighter walls are not a life safety falling hazard.
- Typical roof and floor diaphragms consist of 1x straight sheathing. In some cases the straight sheathing is covered by other wood flooring. Straight sheathed diaphragms acting alone are not permitted for use as earthquake load resisting elements in school buildings by California Building Code (2007 CBC, Section 3417.1.5). These types of diaphragms have very little strength to resist in-plane shears due to earthquake ground motions. Where straight sheathed diaphragms occur, new plywood sheathing should be added.
- The in-plane and out-of-plane flexural and shear capacities of the shear walls meet the requirements for *Life Safety* performance level.
- Wood floor and roof diaphragm stresses do not meet the requirements for *Life Safety* performance level. The demand-capacity-ratio (DCR) of the diaphragm stress is higher than the allowable 'm' values for Life Safety.
- Roof diaphragm-to-wall anchorage does not meet the requirements for *Life Safety* performance level.

Based upon the results of the structural analysis, the predicted structural performance of the building does not satisfy the provisions of *Life Safety* as outlined in ASCE 31-03. Therefore, seismic strengthening of several elements of the structure would be required to reduce the life-safety hazards associated with the building. The deficiencies identified above should be addressed, and the structure should be seismically retrofit, as a minimum, to meet ACSE 41-06 structural performance guidelines for *Life Safety*.

6.0 Conclusions and Recommendation Summary

The buildings included within this seismic study were each built prior to the introduction of modern seismic design procedures in building codes, which were first added to the Field Act in 1978. This building vulnerability, combined with the significant seismic hazards affecting the site, result in the deficiencies identified.

The seismic studies of the subject buildings have identified numerous seismic deficiencies that represent life-safety hazards, as defined by ASCE 31-03 criteria. However, some of the buildings have limited deficiencies in only certain elements, and will require less seismic strengthening than others. Presented below are the seismic deficiencies identified in the evaluation. The cost to seismically strengthen the buildings is dependent on many factors. These factors include:

- **Desired Performance Level:** Upgrading the seismic force-resisting systems of existing buildings to current code criteria is typically cost prohibitive. Most often, a desired performance level, such as Life-Safety, or Immediate Occupancy, is chosen. While reducing the risk to life in buildings is of utmost concern, some level of damage control is often desirable, particularly in facilities that need to be operational after a large earthquake. The incremental cost to provide some level of additional damage control is sometimes relatively small. Any seismic strengthening should, as a minimum, meet *Life Safety* performance level per the requirements of ACSE 41-06 "Seismic Rehabilitation of Existing Buildings" or requirements of Chapter 34 "Existing Buildings", 2007 California Building Code.
- **Construction Phasing:** If the seismic strengthening is completed in conjunction with other building upgrades (such as architectural, mechanical/electrical, ADA, communications, etc.), the cost will be much lower than if the seismic strengthening is completed as an independent phase.

The accuracy of cost estimates for seismic strengthening work is also directly related to the depth of the analysis and to development of detailed strengthening plans for the cost estimator to evaluate. Very conceptual details and plans for strengthening the buildings are included in Appendix A. More accurate cost estimates can be achieved by completing more detailed evaluations (particularly for Buildings A and F) and more so, by developing a complete set of preliminary strengthening plans.

RECOMMENDATIONS SUMMARY:

Building A

Based upon the deficiencies identified in Section 5.0, strengthening of Building A should consist of:

- Remove and replace the gypsum diaphragm with new metal deck diaphragm. Roof area is approximately 80,000 sf.
- A detailed evaluation and/or strengthening design may identify other areas requiring strengthening including, isolated shear walls, the stair towers, etc.

Building B

Based upon the deficiencies identified in Section 5.0, strengthening of Building B should consist of:

- Strengthen existing wood sheathed roof and floor diaphragms by overlaying with new 3/8" thick Struct I plywood and raftering diaphragm. Approximately 61,000 square feet of diaphragm.
- Anchor original unreinforced masonry walls to existing gunite walls. Anchorage would consist of new dowels or bolts embedded through the masonry and into the gunite with epoxy. Total effected area of wall is approximately 50,000 sq ft.
- Strengthen or provide new out-of-plane anchorage of heavy masonry/concrete walls at roof and floors. Anchorage would be spaced at a maximum of 4 feet on center. Total effected length of wall is approximately 2,800 linear feet.
- Remove existing unreinforced (or lightly reinforced) hollow clay-tile partition walls and replace with walls of light gage steel framing and gypsum wallboard. Total effected length of wall is approximately 700 linear feet.
- Strengthen shear walls and columns at the Auditorium building and strengthen longitudinal shear wall at the Art and Music building. Strengthening could consist of adding new layer of reinforced concrete over the existing walls or by infilling open areas along the wall lines with new concrete walls. Additional foundation work should be anticipated.
- Provide new steel tube or pipe braces, replacing the existing "k" braces, in the two steel brace frames in the Drama Lecture room.
- A detailed strengthening design may identify other areas requiring strengthening, including isolated shear walls, columns, etc.

Building E

Based upon the deficiencies identified in Section 5.0, strengthening of Building E should consist of:

- Strengthen existing wood sheathed roof diaphragm at the main gymnasium building by overlaying with new 1/2" thick Struct I plywood and raftering diaphragm. Approximately 14,000 square feet of diaphragm.
- Anchor original unreinforced masonry walls to existing gunite walls in limited areas, if required. Intrusive investigation and/or destructive testing would be necessary to determine if strengthening is required. Anchorage would consist of new dowels or bolts embedded through the masonry and into the gunite with epoxy. Total effected area of wall is approximately 5,000 sq ft.
- Strengthen or provide new out-of-plane anchorage of heavy masonry/concrete walls at roof of main gymnasium and at north and south walls of locker room. Anchorage would be spaced at a maximum of 4 feet on center. Total effected length of wall is approximately 400 linear feet.

- Remove existing unreinforced (or lightly reinforced) hollow clay-tile partition walls and replace with walls of light gage steel framing and gypsum wallboard. Total effected length of wall is approximately 450 linear feet.
- A detailed strengthening design may identify other areas requiring strengthening, including isolated shear walls, columns, etc.

Building F

Based upon the deficiencies identified in Section 5.0, strengthening of Building F should consist of:

- Replace two of the middle wood truss arches with new steel arches. As an option to strengthening the trusses, it may be possible to strengthen the existing wood sheathed roof diaphragm by overlaying with new 3/8" thick Struct I plywood and adding new plywood to the end walls of the building.
- A detailed strengthening design may identify other areas requiring strengthening, including shear walls, columns, etc.

Building H

Based upon the deficiencies identified in Section 5.0, strengthening of Building H should consist of:

- Strengthen existing wood sheathed roof and floor diaphragms by overlaying with new 3/8" thick Struct I plywood and nailing diaphragm. Approximately 19,000 square feet of diaphragm.
- Anchor original unreinforced masonry walls to existing gunite walls. Anchorage would consist of new dowels or bolts embedded through the masonry and into the gunite with epoxy. Total effected area of wall is approximately 2,500 sq ft
- Strengthen or provide new out-of-plane anchorage of heavy masonry/concrete walls at roof and floors. Anchorage would be spaced at a maximum of 4 feet on center. Total effected length of wall is approximately 400 linear feet.
- A detailed strengthening design may identify other areas requiring strengthening, including isolated shear walls, columns, etc.

7.0 Limitations

The seismic risk evaluation was performed by MHP on behalf of LPA Inc. Architects for the purpose of evaluating the structural integrity of the building(s) and determining the seismic risk at the project.

Physical testing was not performed and is considered outside the scope of this assignment. Intrusive testing was neither authorized nor performed.

The scope of work for the seismic review was based on standards developed and outlined by MHP, Inc. Differences, problems, and/or code violations were noted where observed; however, it is possible that areas containing deficiencies, physical inadequacies, or code and other regulatory violations may be present but were not observed at the time of the inspection. The recommendations and cost estimates provided in the report are intended to serve as general guidelines to be used in future repair, maintenance, and capital improvement decisions. The implementation of any recommendations will require specific details, plans, and specifications to be prepared by a licensed engineer or architect. Detailed cost estimates can be made based on the specific details and plans.

The information presented in this report has been developed in accordance with the above limitations, using that degree of professional care and skill ordinarily exercised under similar circumstances by engineers using the standards of practice and care normally exercised in the design and evaluation of investment-grade buildings in the local marketplace. No other warranty, express or implied, is made.

This report is subject to the limitations set forth above and is for the exclusive use of LPA inc. Architects and Beverly Hills Unified School District. Use by others is authorized only after acknowledging and accepting the limitations stated and upon the express written permission of MHP.

By:

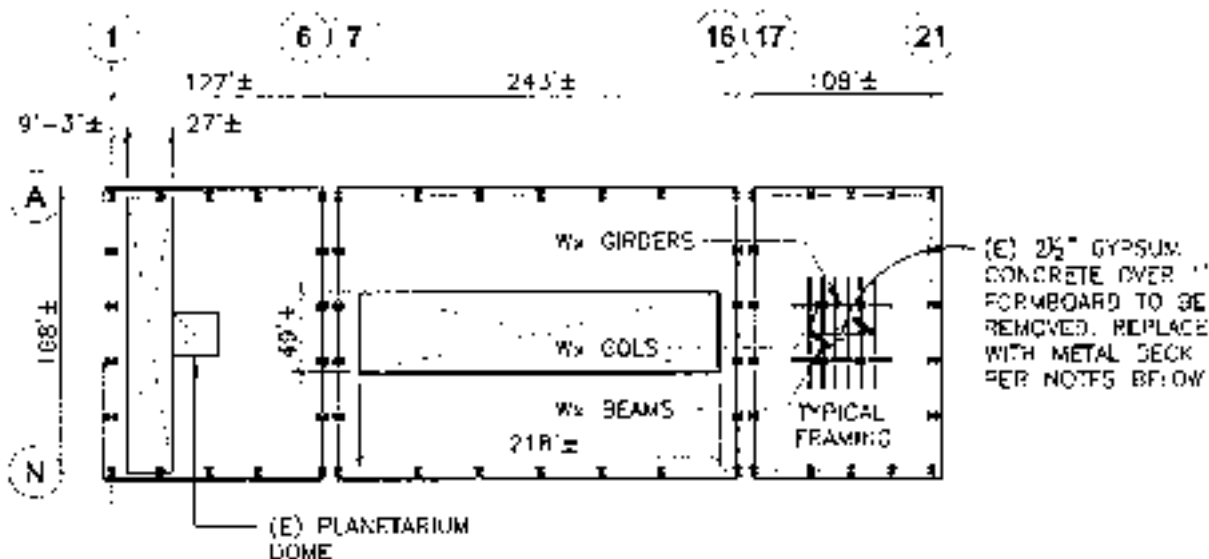


Jesse Karns, S.E., CA S4321
Partner



Lance R. Kenyon, S.E., CA S3399
Partner

APPENDIX A
Preliminary Schematic Strengthening Plans



BUILDING A ROOF FRAMING

SCALE: 1" = 100'



EDGE: ϕ 12" O.D.
 END: 5 PER SPAN



METAL DECK
 PER PLAN.

(E) Wx BEAM
 PER PLAN.

NEW DECK TO BEAM **A1**

SCALE: NONE



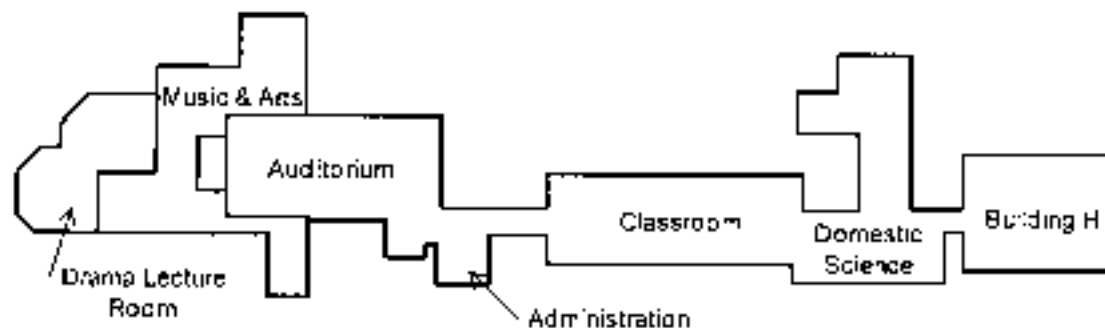
ITEM 1 ROOF:

REMOVE & REPLACE GYPSUM CONCRETE AND BULB TEES OVER ENTIRE ROOF AREA W/ 20GA HSB-36 METAL DECK W/ RIGID INSULATION SEE DETAIL A1. SUSPENDED AND HARD LID CEILING, DUCTWORK, ETC. TO BE REMOVED AND REPLACED AND/OR REPAIRED AS REQUIRED

ITEM 2 MISCELLANEOUS:

ISOLATED STRENGTHENING OF SHEAR WALLS, POSSIBLY STAIR TOWERS, AND OTHER ITEMS. ESTIMATED COST OF \$4-\$8 PER SQUARE FOOT OF TOTAL BUILDING AREA (325,000 SF).

Building A: Strengthening Scheme



BUILDING B ROOF FRAMING

SCALE: 1" = 100'



ITEM 1 ROOF & FLOOR DIAPHRAGMS:

PROVIDE NEW $\frac{5}{8}$ " THICK STRUCTURAL I PLYWOOD SHEATHING OVER EXISTING 1x STRAIGHT SHEATHING AT BOTH ROOF AND FLOOR LEVELS. NAIL WITH 8d @ 4"OC, BOUNDARIES @ 6"OC, EDGES @ 12" FIELD. AREA TO BE COVERED AS FOLLOWS: ROOF 32,000 SQ. FT.
FLOOR 29,000 SQ. FT.

ITEM 2 MASONRY ANCHORAGE:

ANCHOR EXISTING ORIGINAL UN-REINFORCED MASONRY WALLS TO THE EXISTING CONCRETE PER DETAIL (B1). AREA AFFECTED IS 47,300 SQ. FT. OF PERIMETER AND INTERIOR WALL.

ITEM 3 WALL ANCHORAGE:

ANCHOR ROOF AND FLOOR FRAMING TO EXISTING INTERIOR AND PERIMETER WALLS PER DETAILS (B2) AND (B3). LINEAL FEET AFFECTED BY THESE DETAILS AS FOLLOWS (INCLUDING ROOF AND FLOOR LEVELS): DETAIL B2 1,552 L.F.
DETAIL B3 1,196 L.F.

ITEM 4 MISCELLANEOUS:

ISOLATED STRENGTHENING OF SHEAR WALLS, COLUMNS, AND MISCELLANEOUS ITEMS, INCLUDING AUDITORIUM COLUMNS & SHEAR WALLS, ARTS & MUSIC SHEAR WALLS, AND DRAMA/ LECTURE K-BRACE FRAMES, ASSUME \$10-\$20 PER SQUARE FOOT OF FLOOR AREA (112,000 FT²)

Building B and H: Strengthening Scheme



BUILDING E ROOF FRAMING

SCALE: 1" = 100'



ITEM 1 ROOF DIAPHRAGM:

MAIN BUILDING (APPROX 14,000 SQ FT.) ADD NEW $\frac{1}{2}$ " STRUCTURAL I PLYWOOD SHEATHING OVER EXISTING ROOF SHEATHING. NAIL WITH 8d @ 4"OC, BOUNDARIES @ 6"OC, EDGES @ 12"OC FIELD.

ITEM 2 MISCELLANEOUS:

ISOLATED STRENGTHENING OF SHEAR WALLS, WALL ANCHORAGE, AND OTHER ITEMS. ESTIMATED COST OF \$15-\$25 PER SQUARE FOOT OF ROOF AND FLOOR AREA (56,000 SQ FT TOTAL)

Building E: Strengthening Scheme

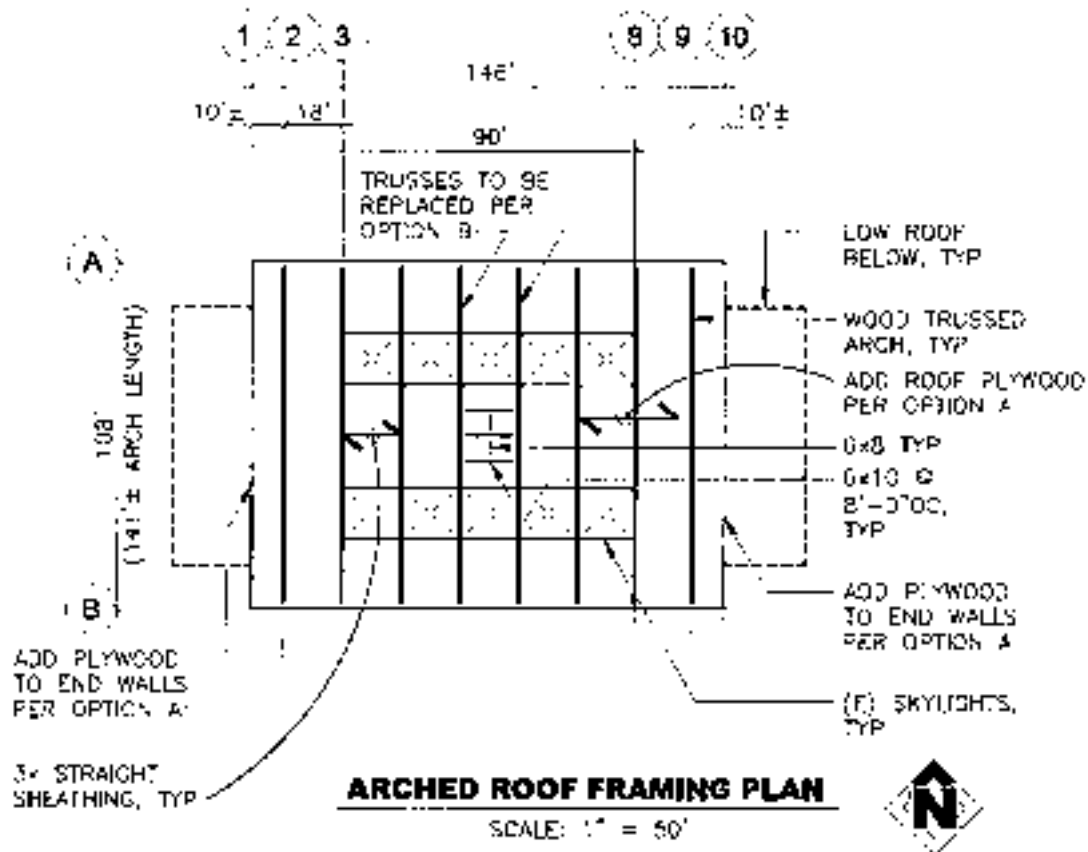
NEW 1 LATERAL SYSTEM:

OPTION A:

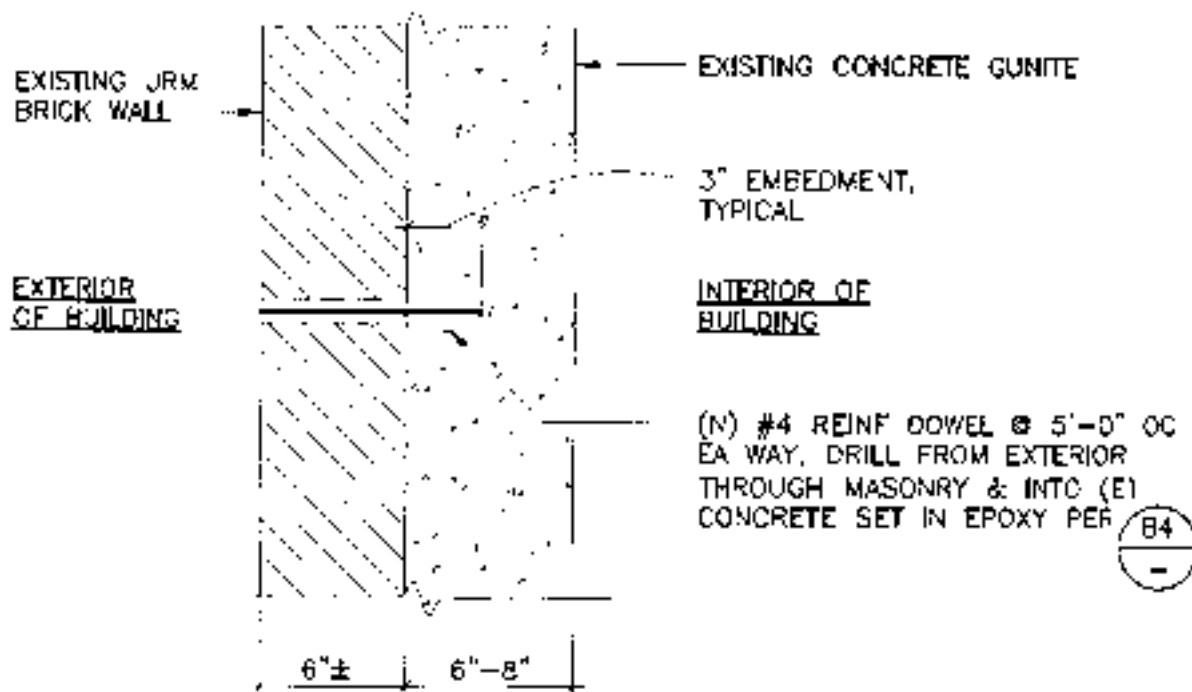
PROVIDE NEW 3/8-INCH THICK PLYWOOD SHEATHING OVER THE EXISTING ROOF SHEATHING AND NEW 1/2-INCH THICK PLYWOOD SHEATHING AT THE EAST AND WEST END WALLS OF THE BUILDING.

OPTION B:

REPLACE TWO MIDDLE WOOD TRUSS ARCHES WITH NEW STEEL ARCHES.



Building F: Strengthening Scheme

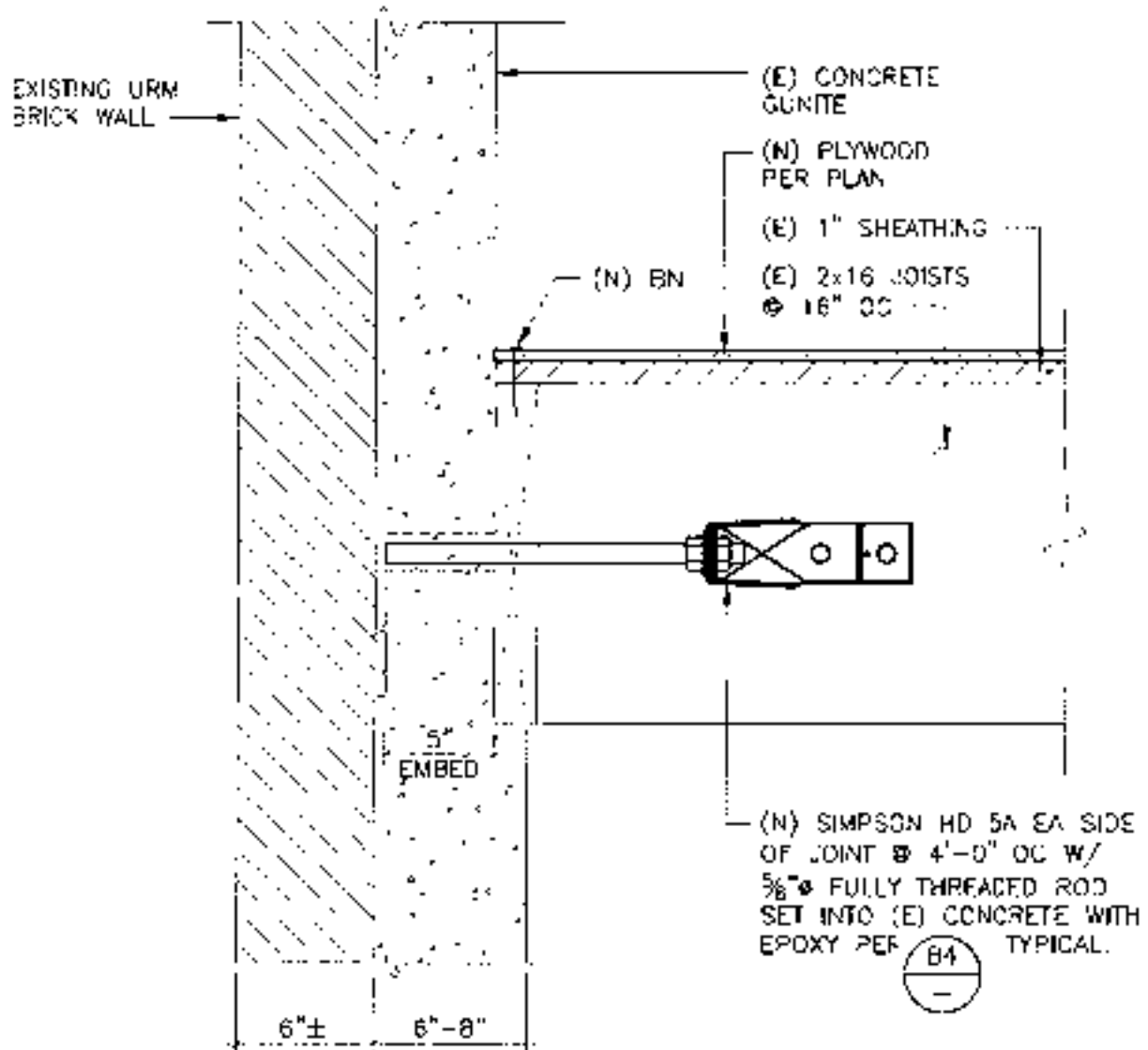


ANCHORAGE FOR EXISTING MASONRY

SCALE: 1 1/2" = 1'-0"

Strengthening Scheme Detail



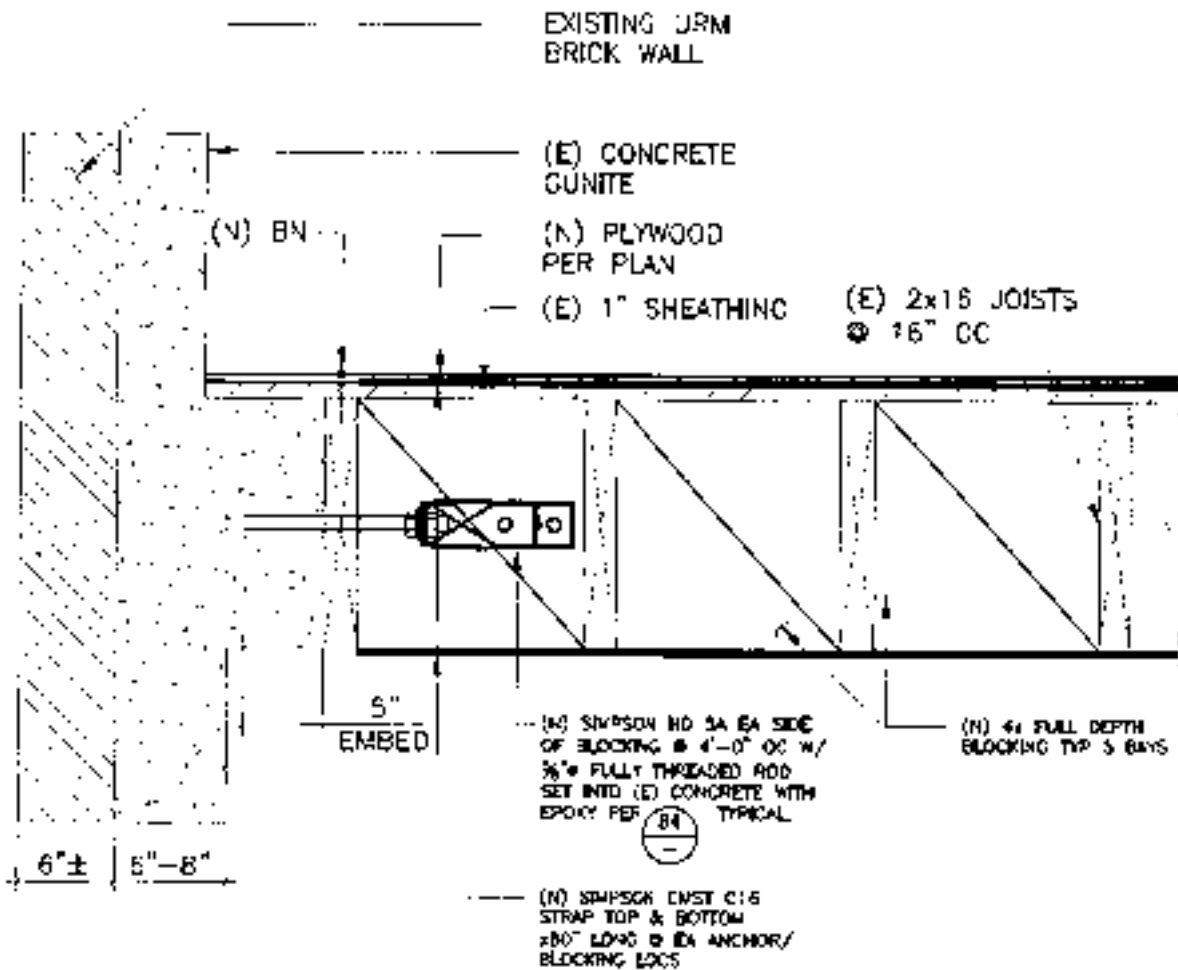


WALL ANCHORAGE

SCALE: 1 1/2" = 1'-0"



Strengthening Scheme Detail



WALL ANCHORAGE

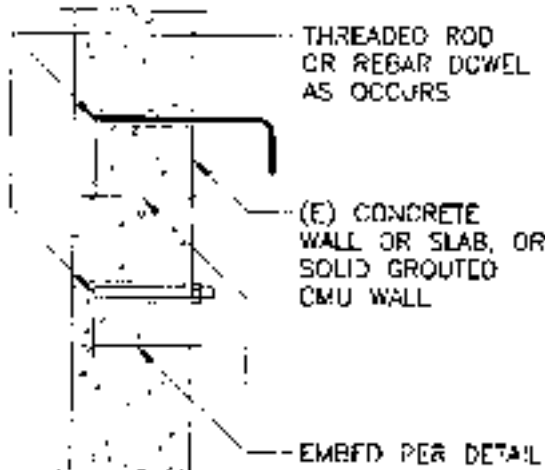
SCALE: 1" = 1'-0"



Strengthening Scheme Detail

ADHESIVE ANCHOR DETAIL NOTES:

1. INSTALLATION SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS AND THE APPLICABLE EVALUATION REPORT
2. HOLES FOR INSTALLATION OF THE THREADED ROD OR REINFORCING BAR SHALL BE DRILLED USING A DRILL THAT IS SET IN ROTO-HAMMER MODE AND THAT HAS A CARBIDE-TIPPED BIT THAT COMPLIES WITH ANSI B212.15.
3. HOLES SHALL BE CLEANED OF DUST AND DEBRIS, USING A WIRE BRUSH AND COMPRESSED AIR AS REQUIRED TO REMOVE PARTICULATE DEBRIS AND TO ACHIEVE A RELATIVELY DUST-FREE SURFACE.
4. O.I., SCALE, AND RUST SHALL BE REMOVED FROM THE THREADED ROD OR REINFORCING BAR PRIOR TO INSTALLATION.
5. CONTINUOUS SPECIAL INSPECTION IN ACCORDANCE WITH SECTION 1701 OF THE UNIFORM BUILDING CODE IS REQUIRED DURING INSTALLATION. THE SPECIAL INSPECTOR SHALL RECORD DATA SPECIFIED IN THE "SPECIAL INSPECTION" SECTION OF THE APPLICABLE EVALUATION REPORT.



6. APPROVED ADHESIVE ANCHOR SYSTEMS AND EVALUATION REPORTS AS FOLLOWS:

COVERT CIA GEL-7000	ER-4846
HILTI HT HY-150	ER-5192
SIMPSON SET 1.7	ER-5279

ADHESIVE ANCHORS IN NORMAL-WEIGHT CONCRETE AND CMU

SCALE: NONE



Strengthening Scheme Detail

APPENDIX B
Photographs



Photo 1: Overall view of site showing Buildings A, B, E, F, and H

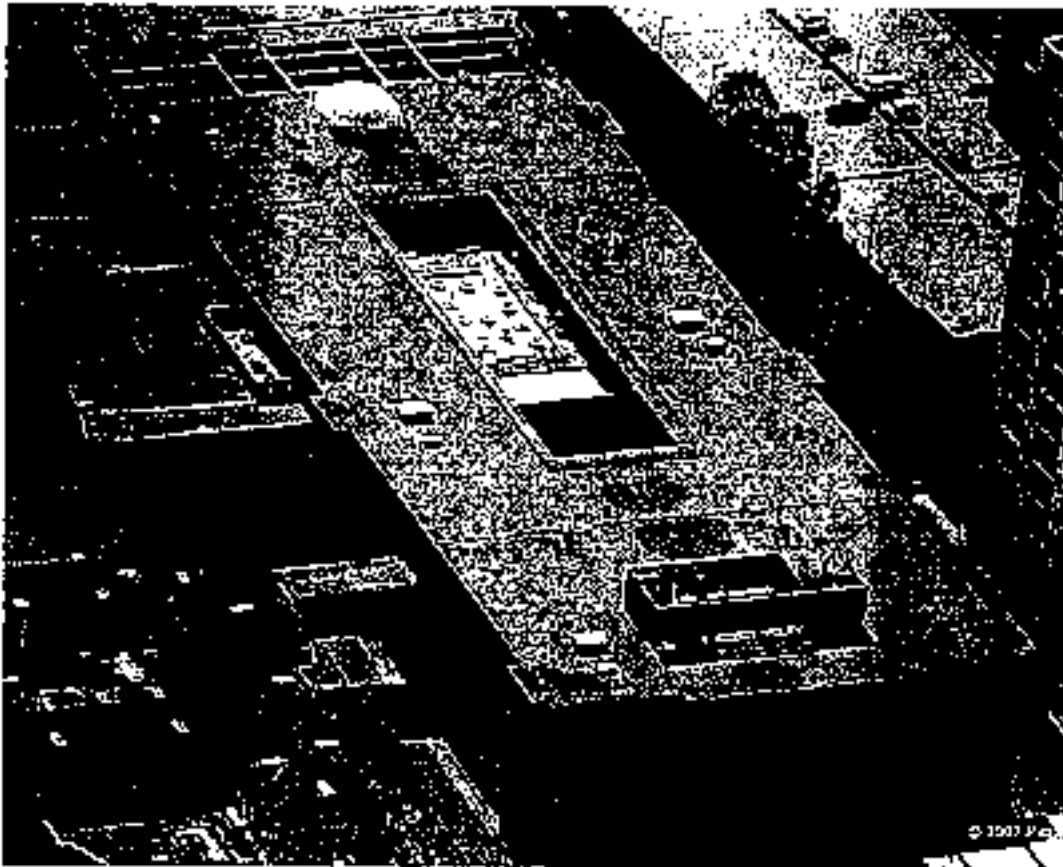


Photo 2: Overall view of Building A



Photo 3: Building A – Northwest Star Tower



Photo 4: Building A - Northeast Stair Tower



Photo 5: Atrium



Photo 6: Bridge between Buildings A and B.



Photo 7: First Floor Framing



Photo 8: Seismic Joint at Attic



Photo 9: Porous gypsum roof framing



Photo 10: Overview of Building B.

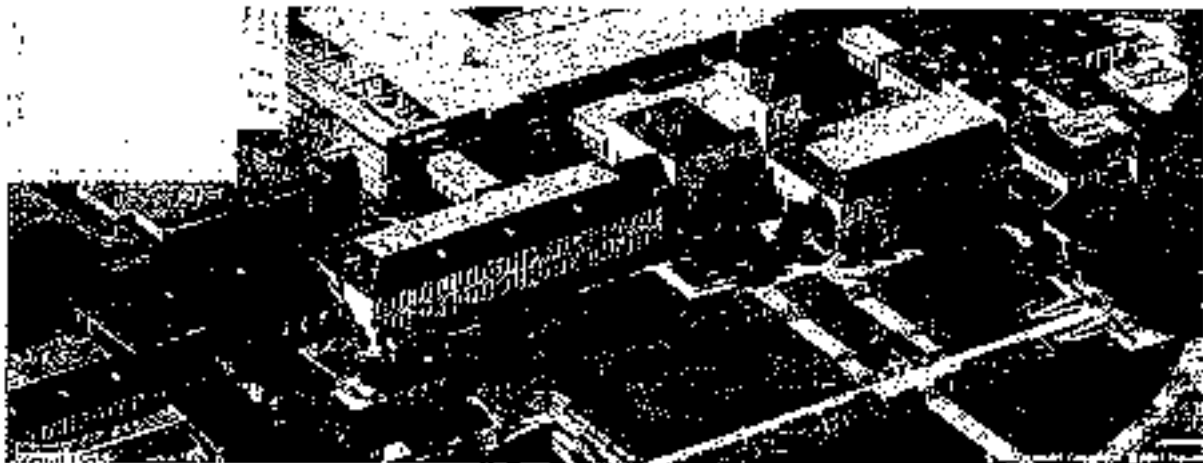


Photo 11: Overall view of Building B.



Photo 12: Arcade Domestic Science



Photo 13: Classroom north elevation



Photo 14: East elevation

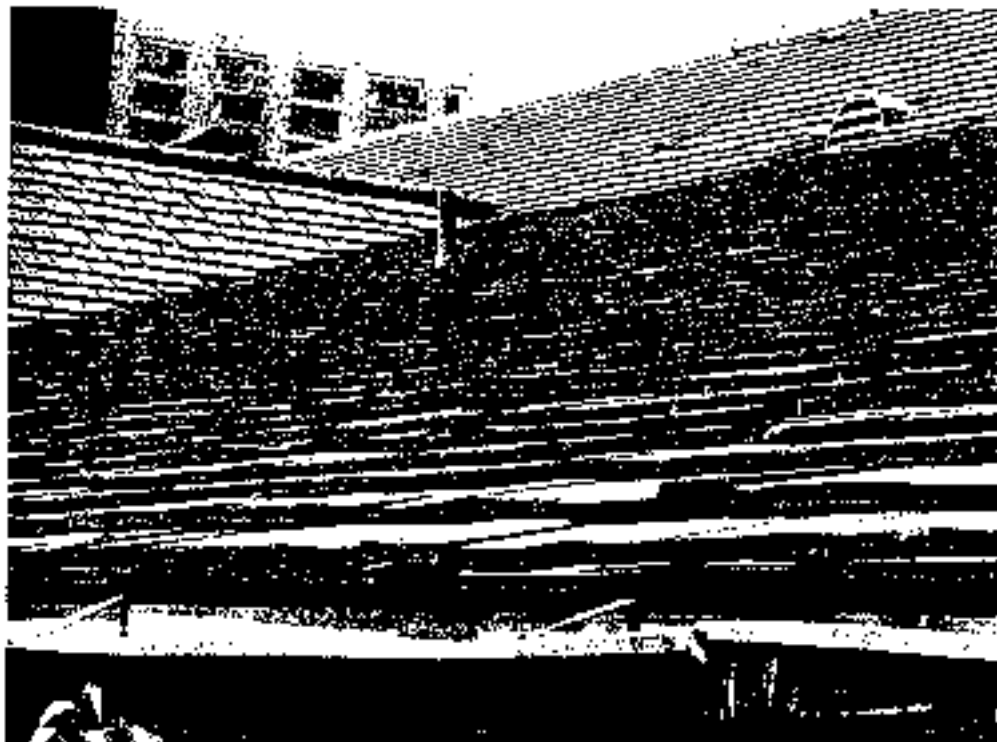


Photo 15: Clay tile roofing



Photo 16: Clock tower



Photo 17: Seismic joint



Photo 18: Addition to Art & Music

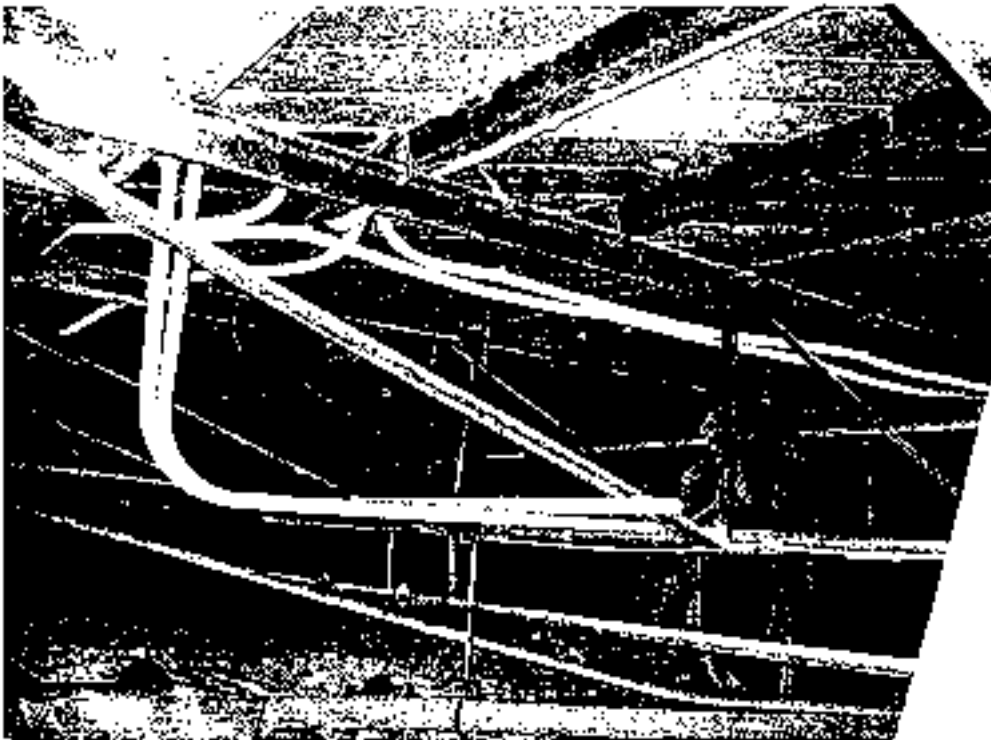


Photo 19: Art & Music 1st Floor framing.



Photo 20: South elevation Art & Music

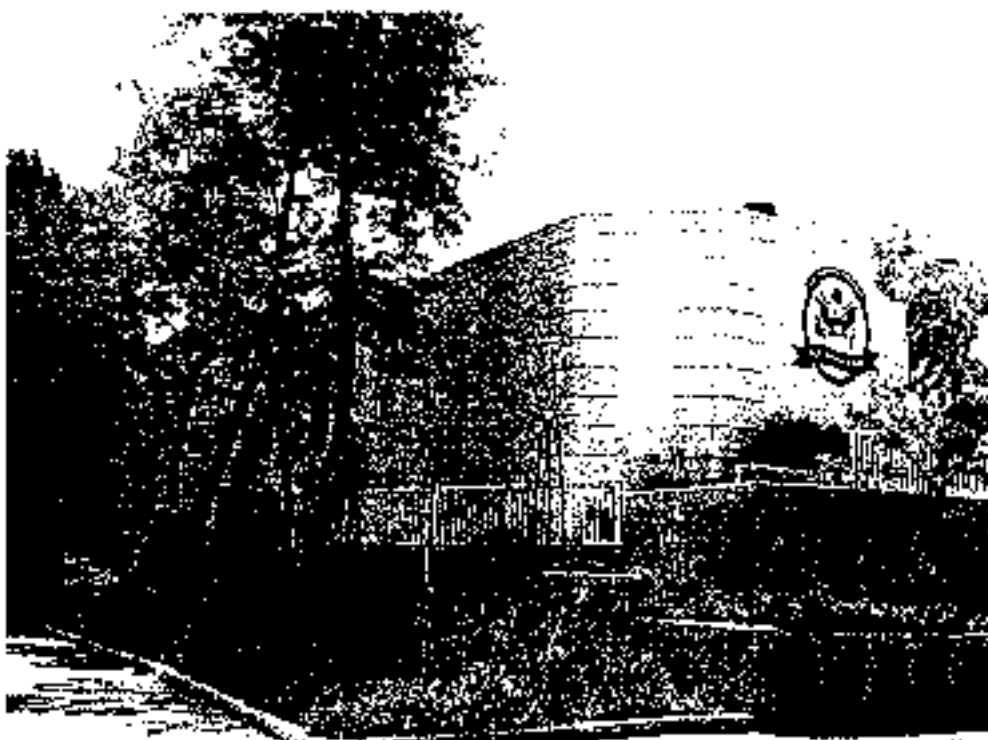


Photo 21: Northwest corner of Drama lecture room.



Photo 22: Classroom bridge at south elevation

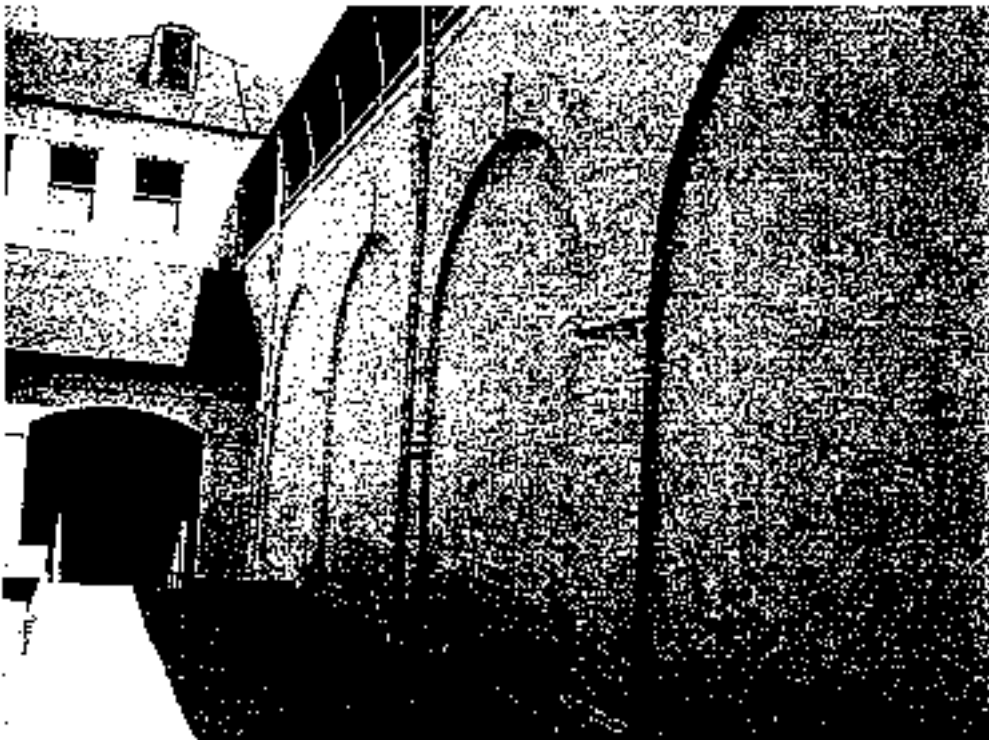


Photo 23: Architrave.



Photo 24: Auditorium flyloff roof framing

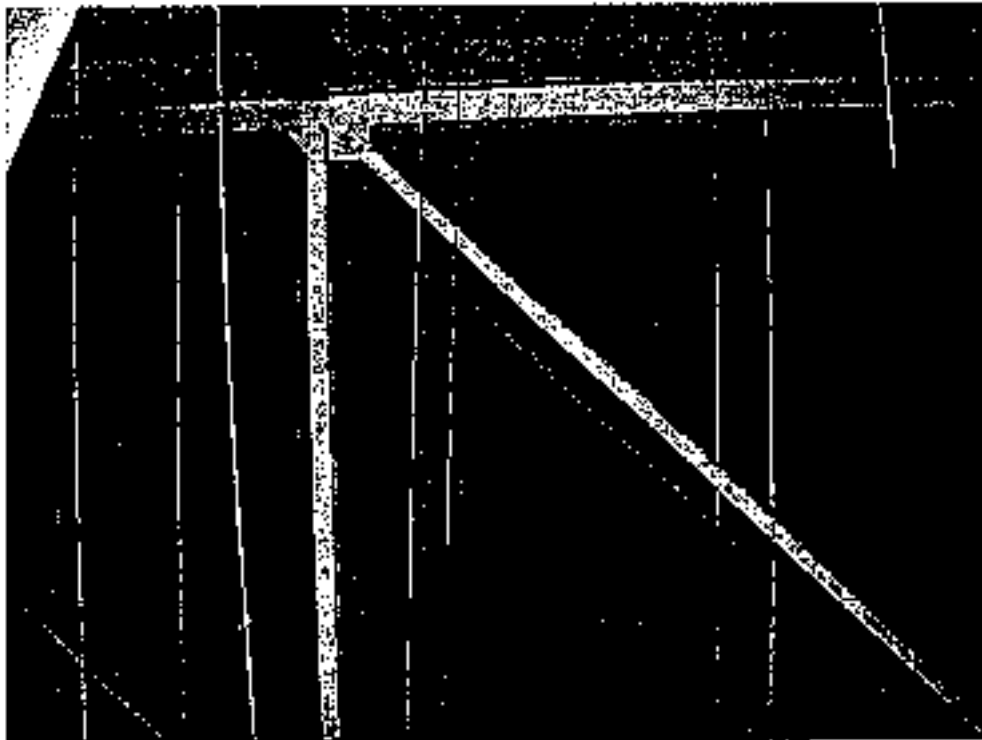


Photo 25: Auditorium roof framing

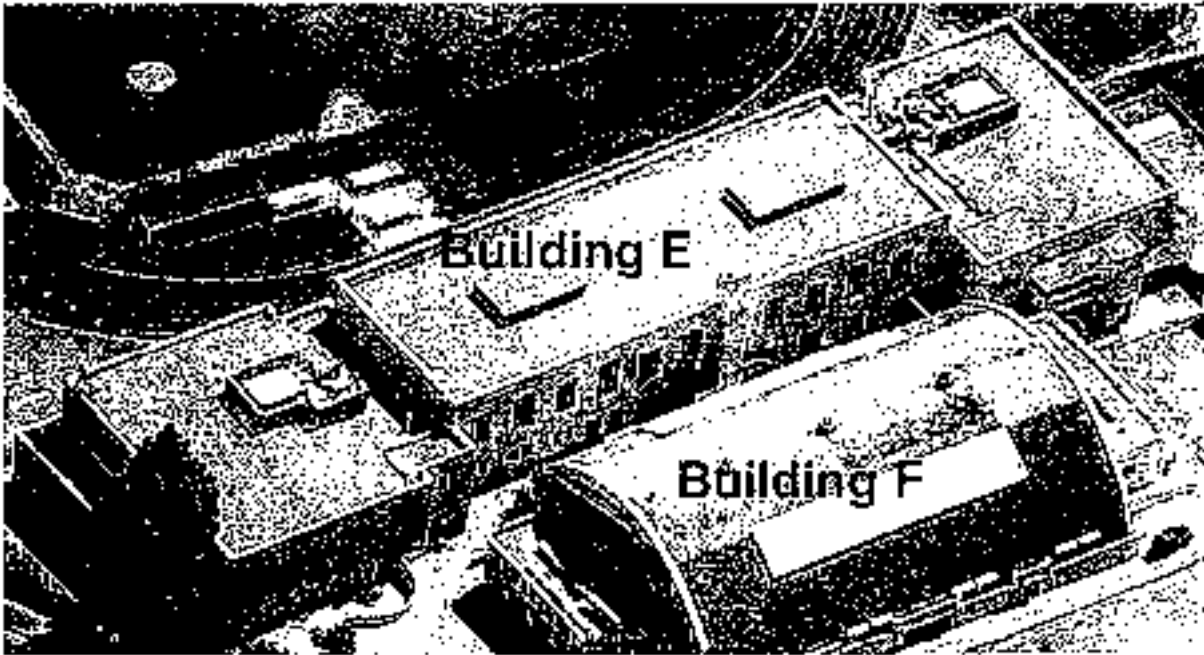


Photo 26: Overall view of Buildings E and F



Photo 27: Building E.



Photo 28: Main Gym



Photo 29: Roof framing at 'pop-up'

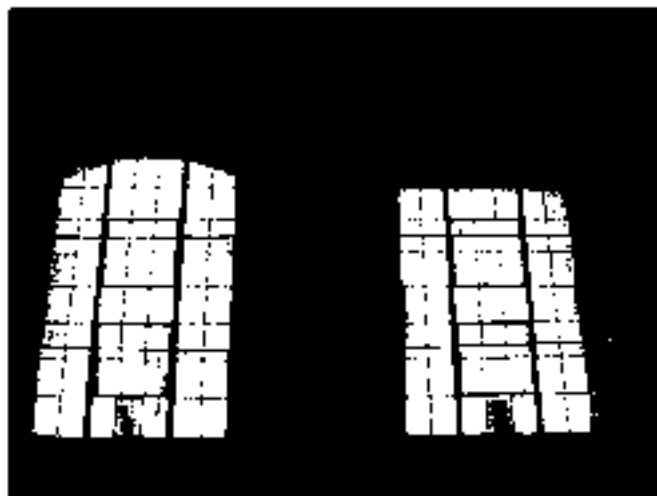


Photo 30: Window framing



Photo 31: Building F Northwest corner

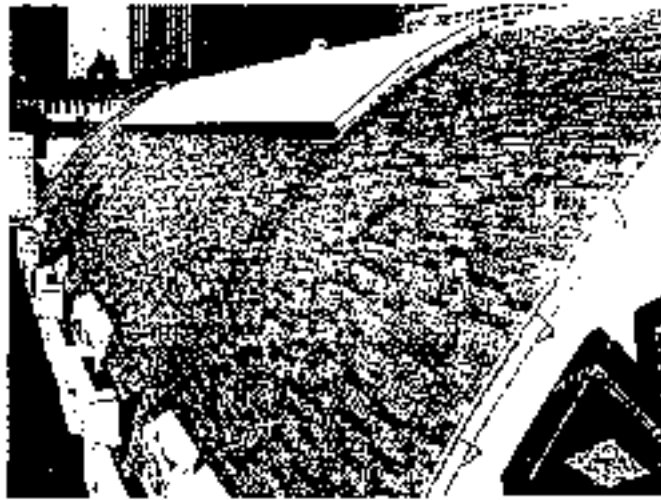


Photo 32: Pool



Photo 33: Building F South Elevation.

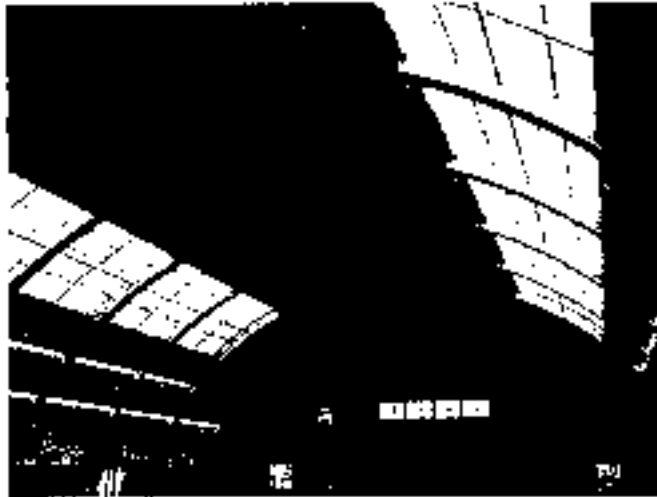


Photo 34: Building F Roof Framing.

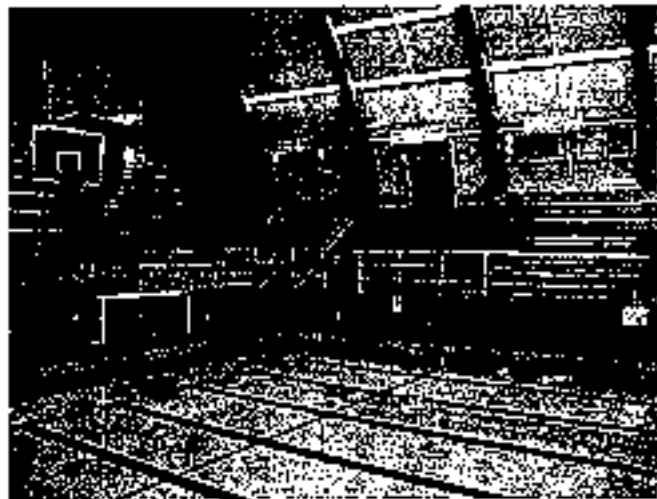


Photo 35: Pool.

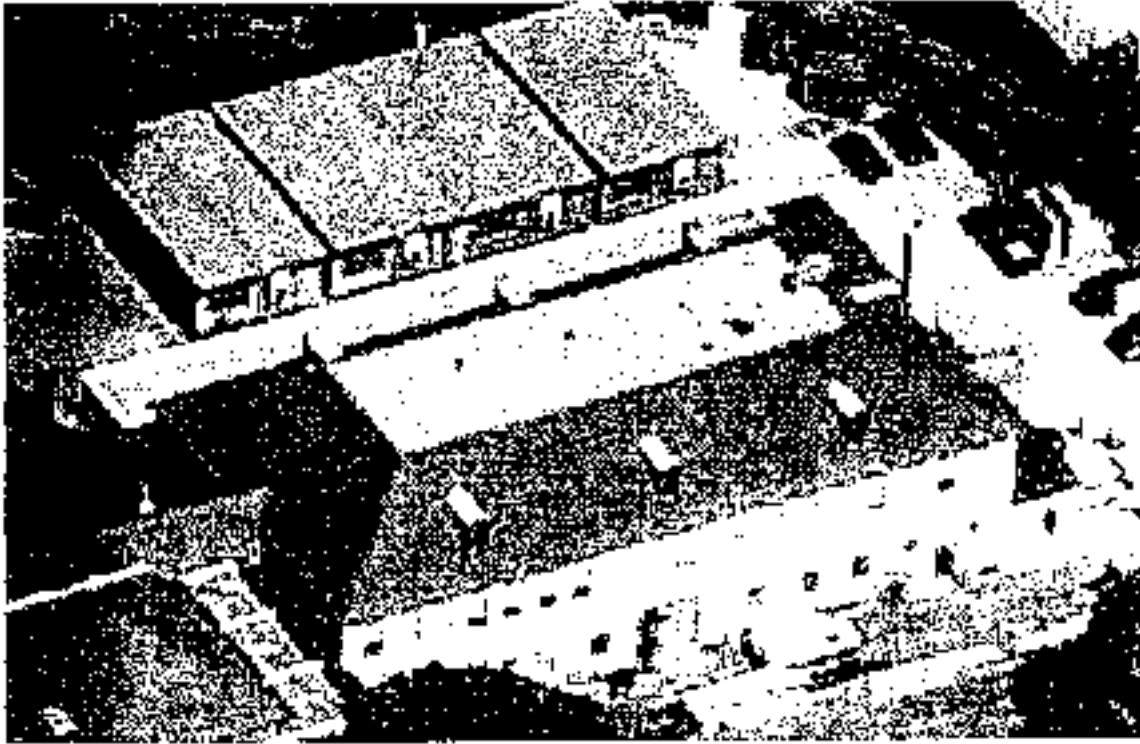


Photo 36: Overall view of Building H (California)

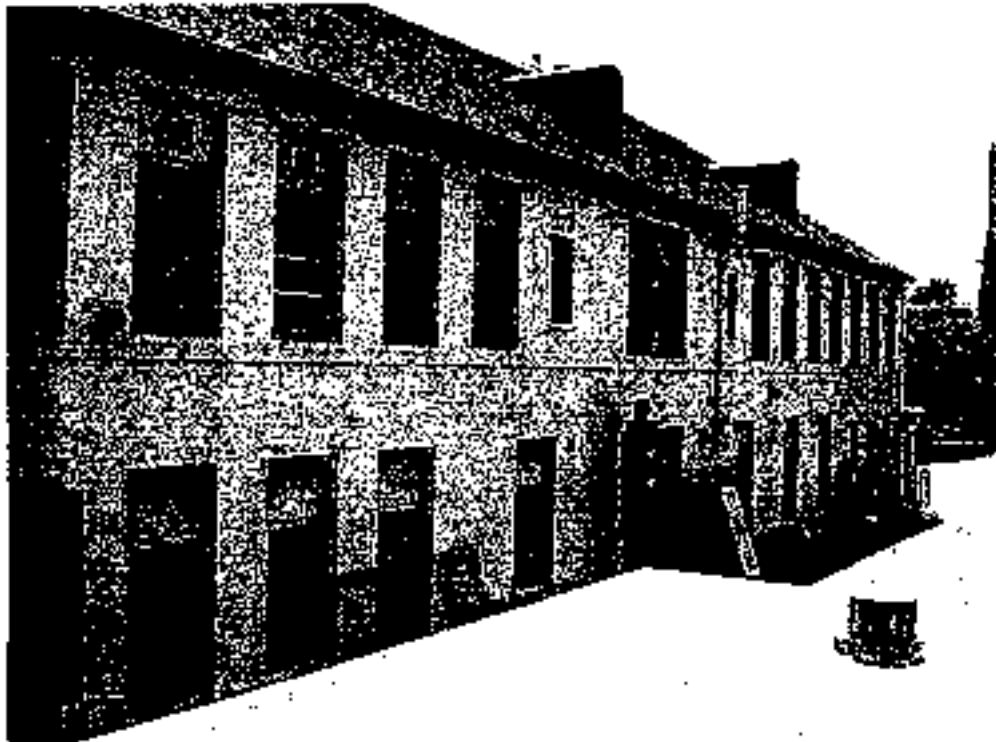


Photo 37: South Elevation of Building H (California)

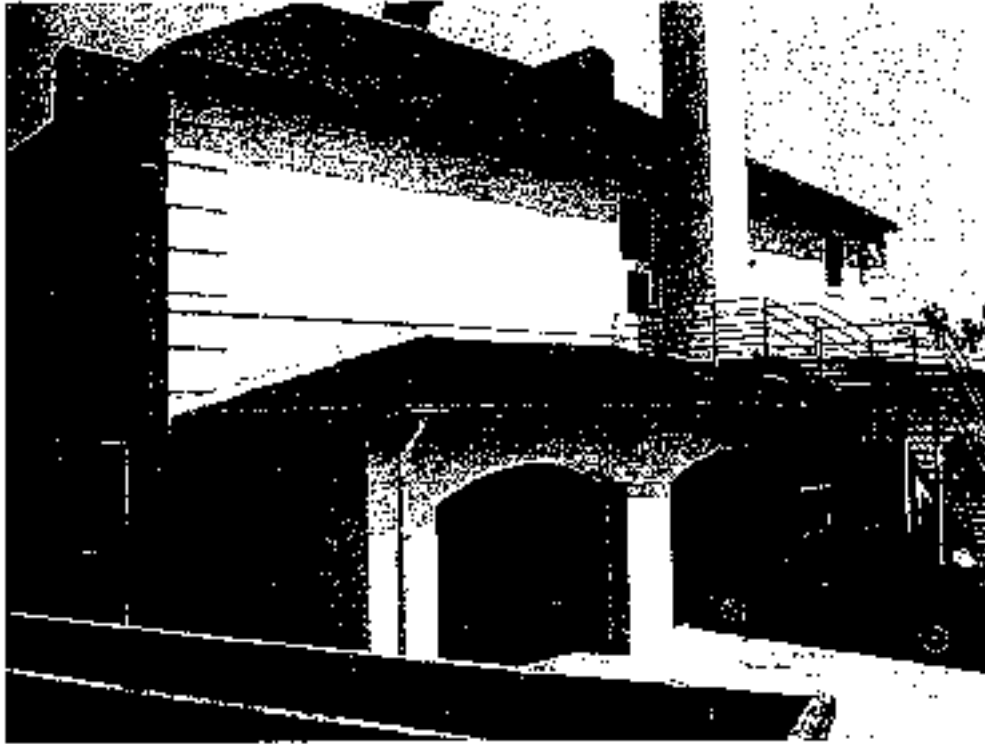


Photo 38: East Elevation of Building H (Cafeteria)



Photo 39: North Elevation of Building H (Cafeteria)

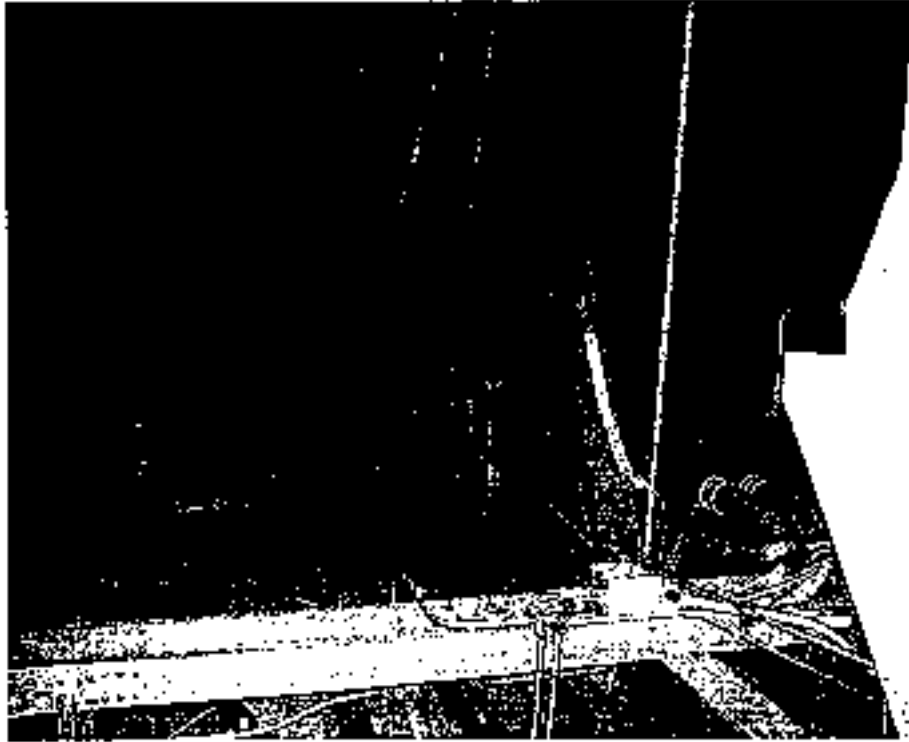


Photo 40: Roof Framing

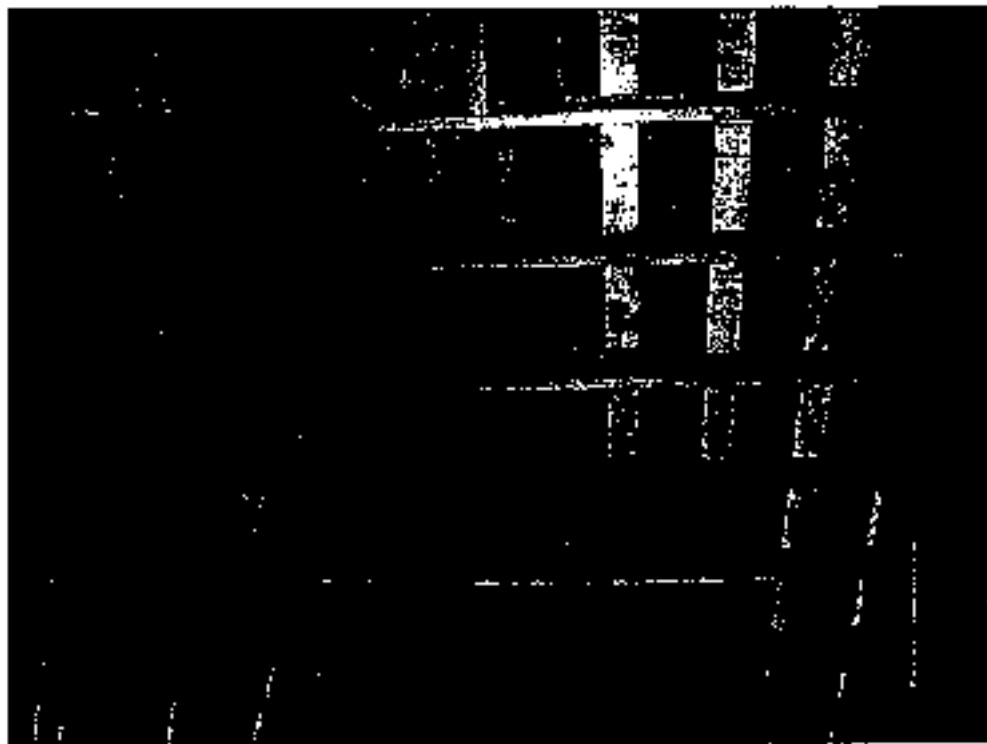


Photo 41: Straight snatching of roof diaphragm



Photo 42: Wall tic.

APPENDIX C
Figures

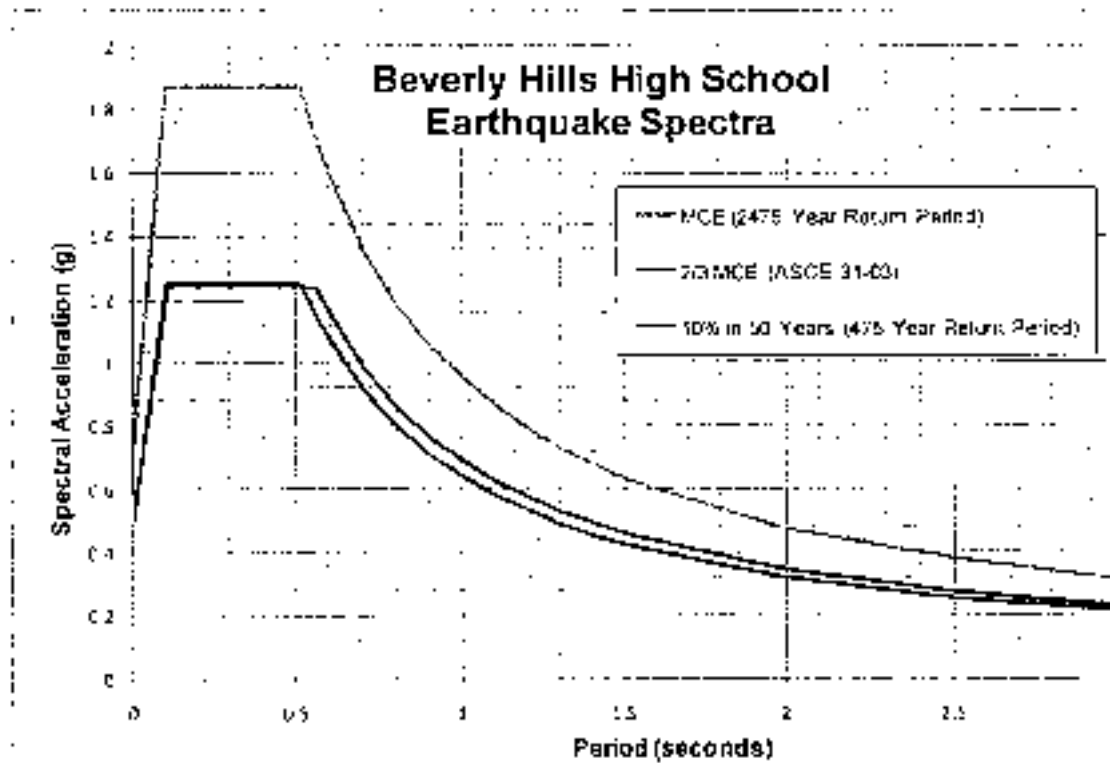


Figure 1: Beverly Hills High School Response Spectra

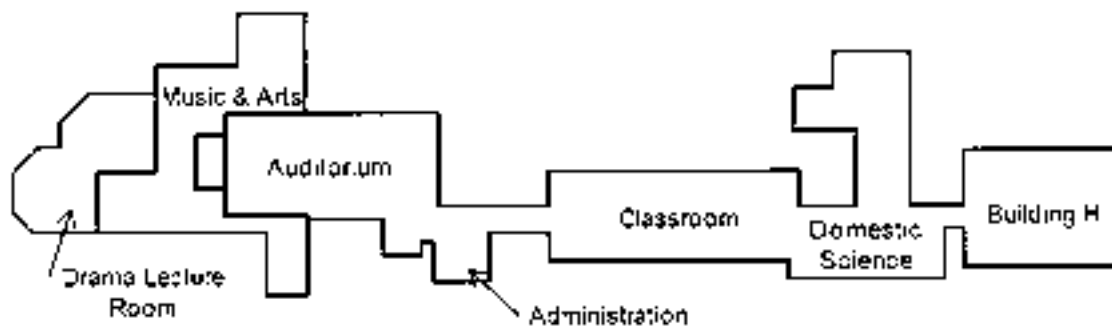


Figure 2: Buildings B and H

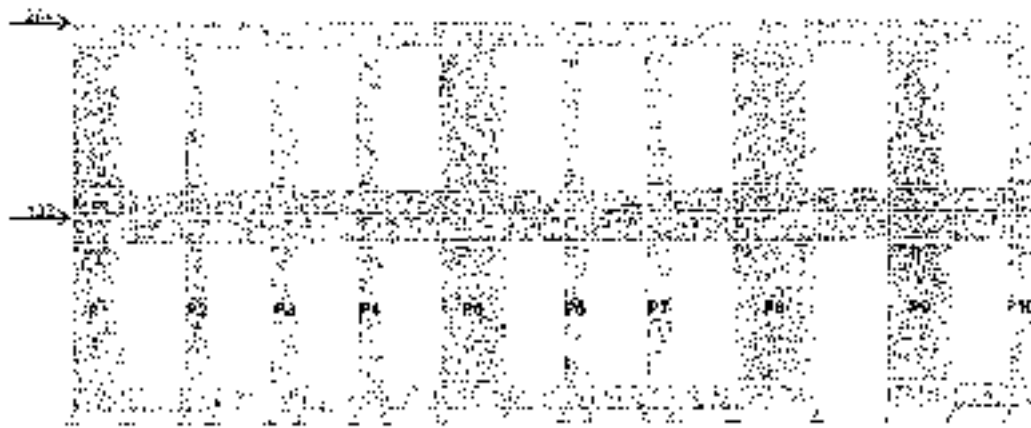


Figure 3: Building B (Classroom), ETABS Model (Longitudinal Exterior Wall)

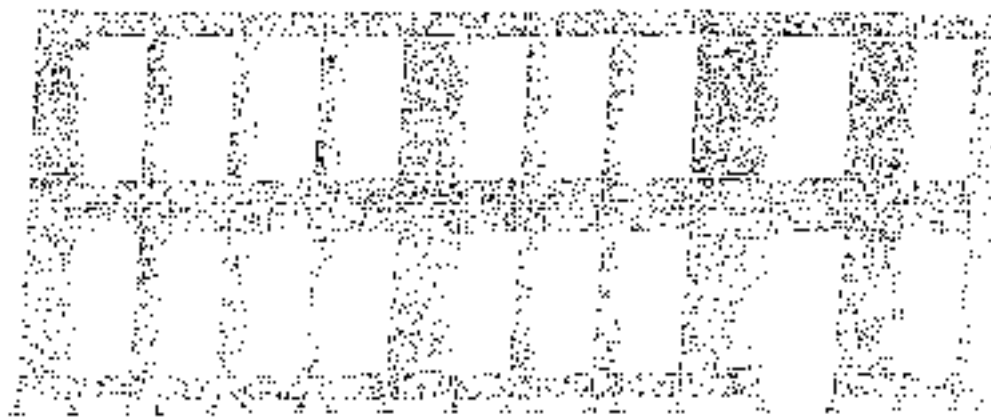


Figure 4: Building B (Classroom), Deformed Shape

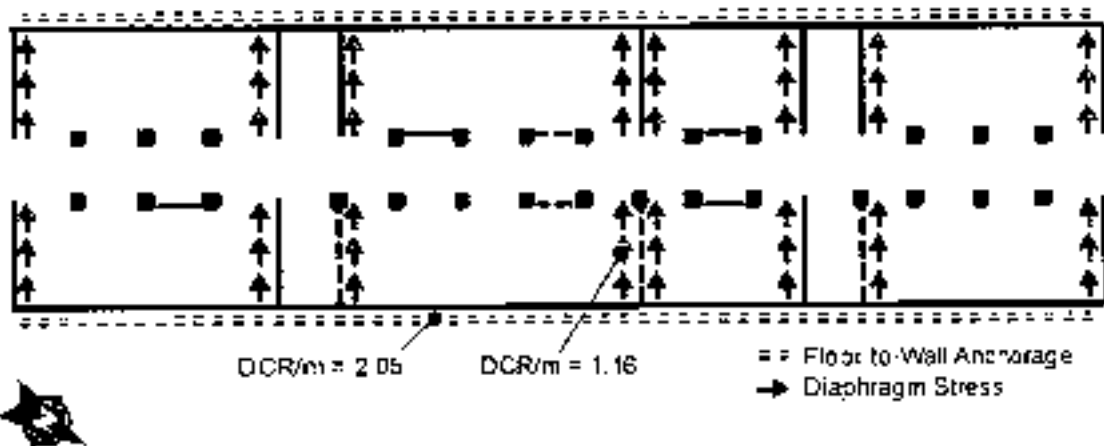
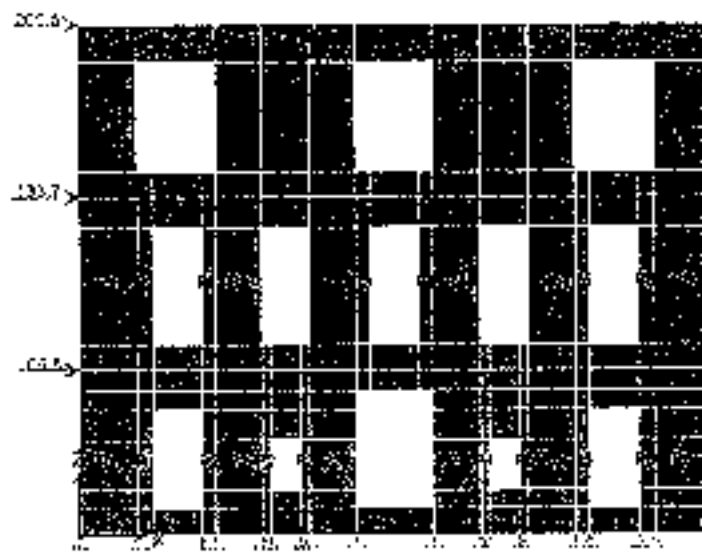


Figure 5: Building B (Classroom), Structural Deficiencies at Second Floor

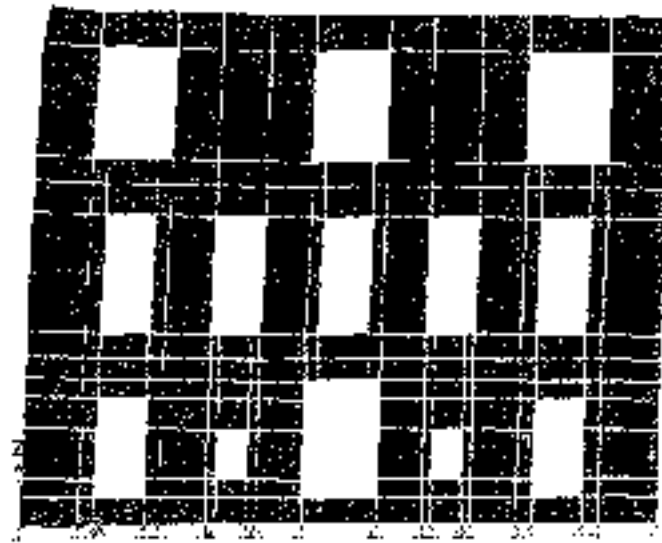


(a) Longitudinal Exterior Wall

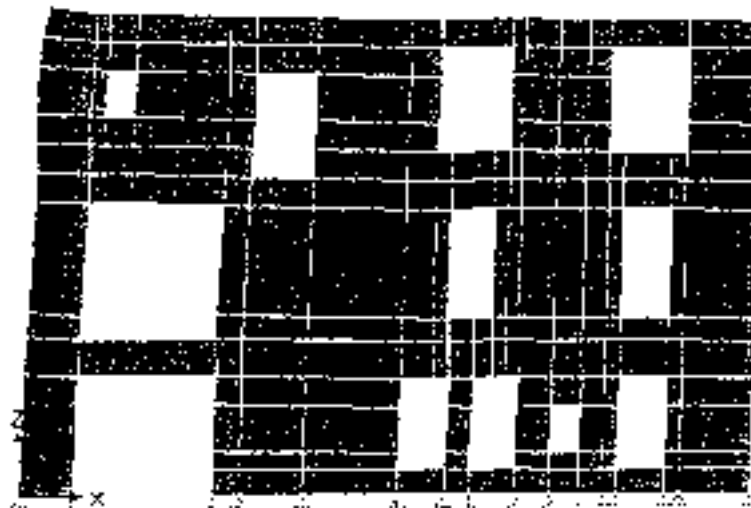


(b) Transverse Exterior Wall

Figure 6: Building B (Administration), ETABS Model

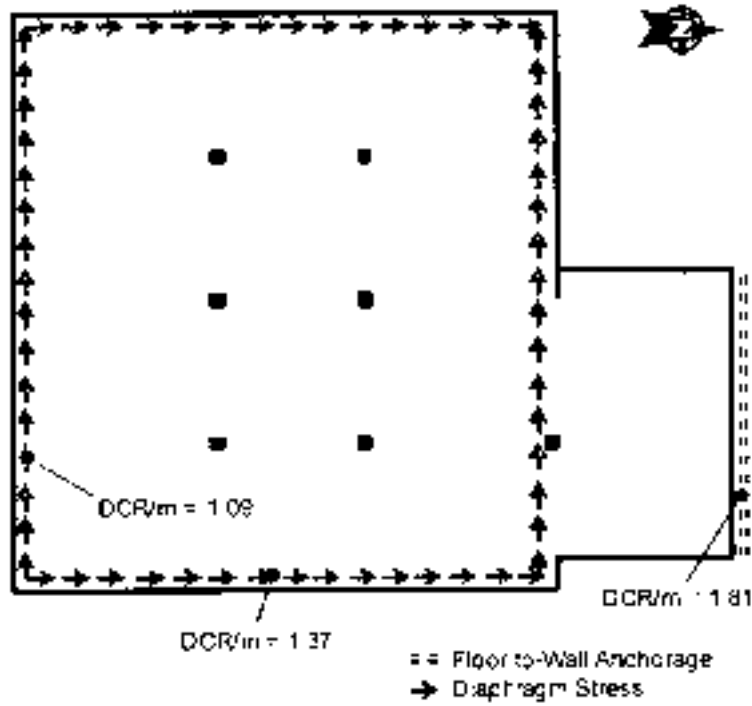


(a) Longitudinal Exterior Wall

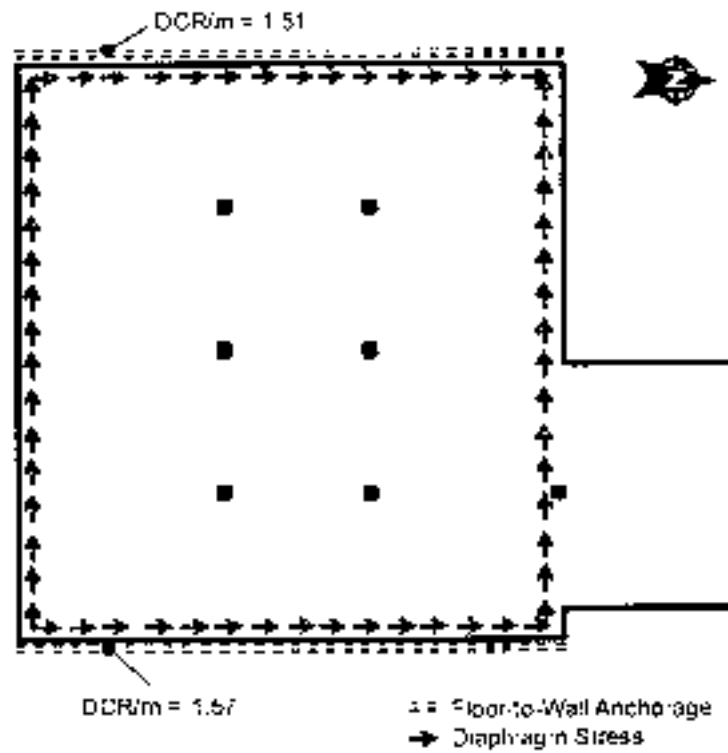


(b) Transverse Exterior Wall

Figure 7: Building B (Administration). Deformed Shape

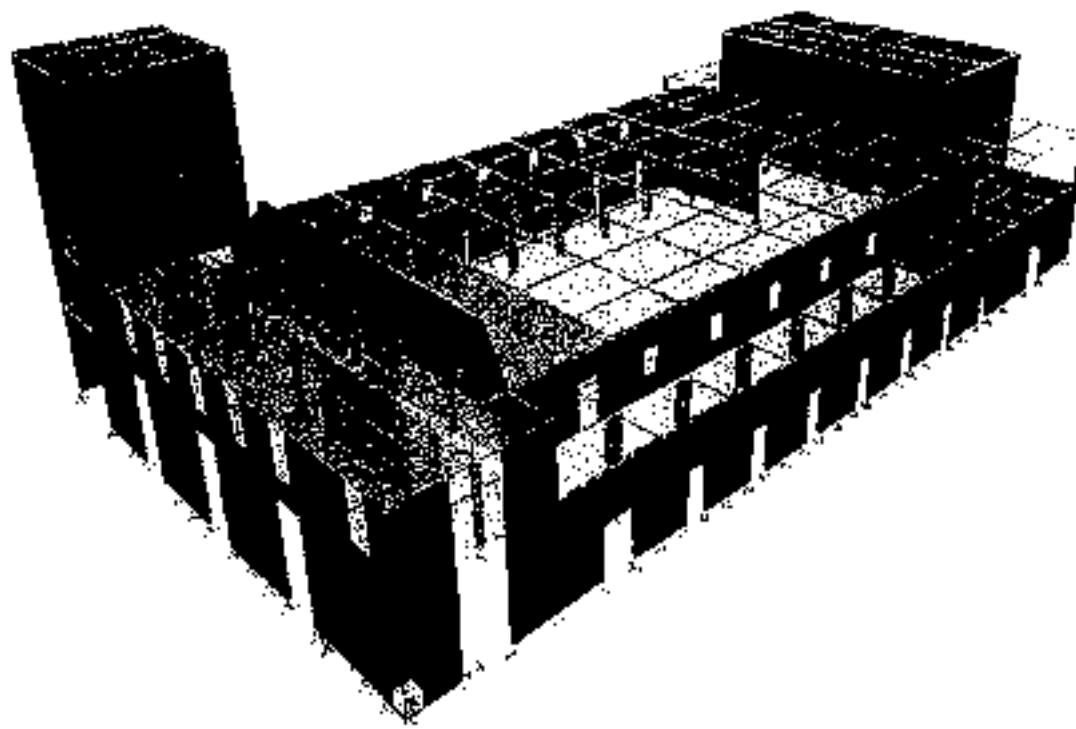


(a) Second Floor



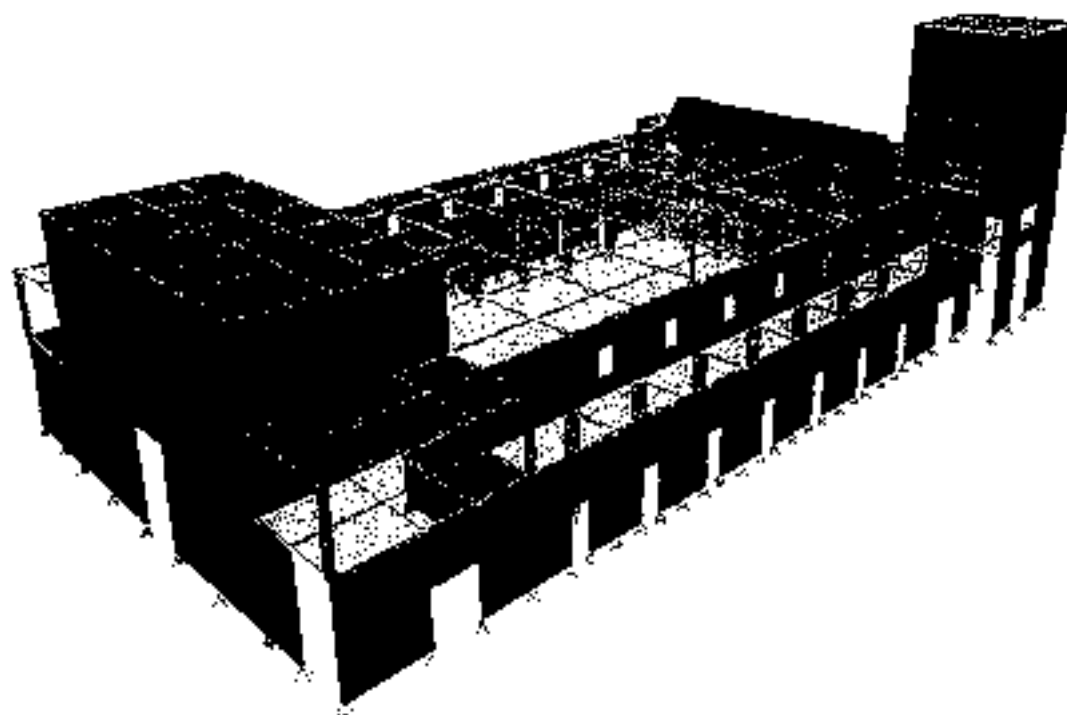
(b) Third Floor

Figure 8: Building B (Administration). Structural Deficiencies



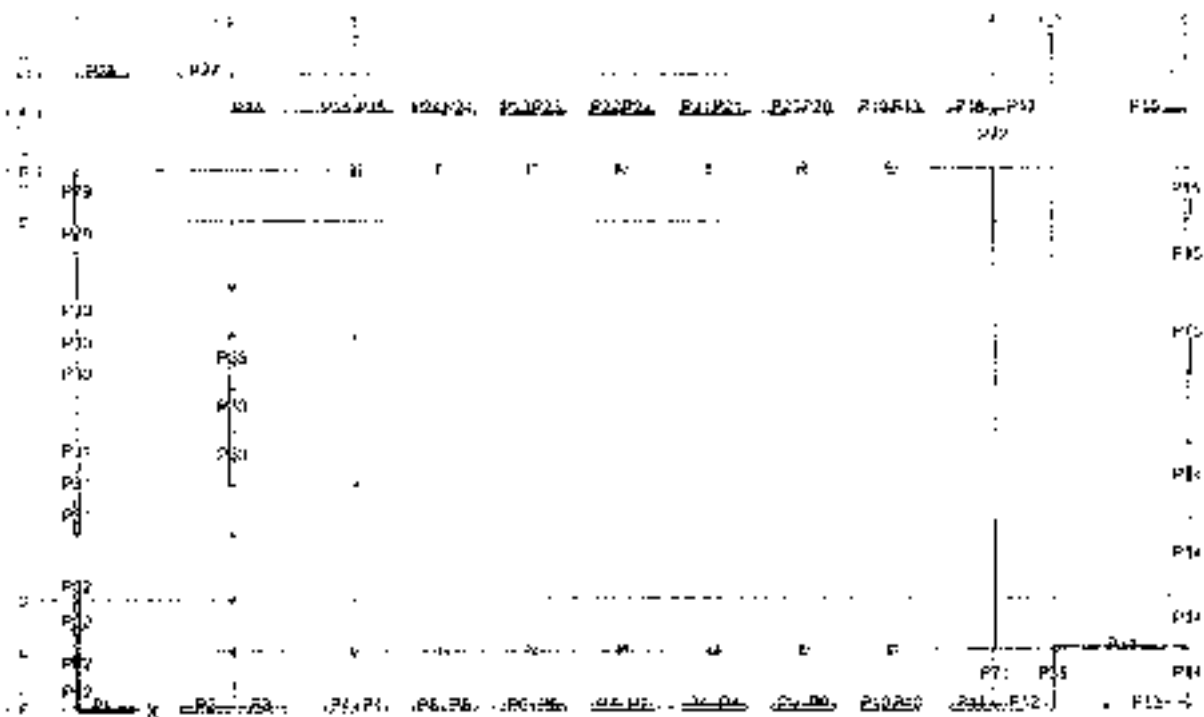
View from South

(a)

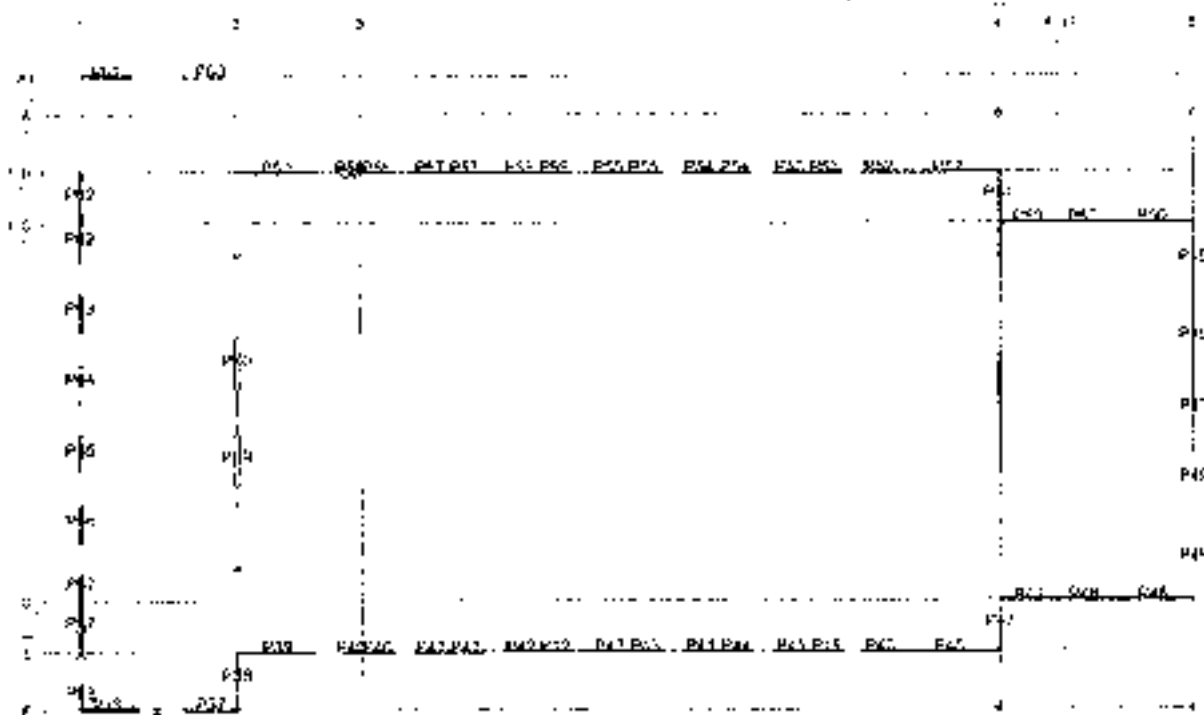


(b) View from North

Figure 9: Building B (Auditorium), ETABS Model

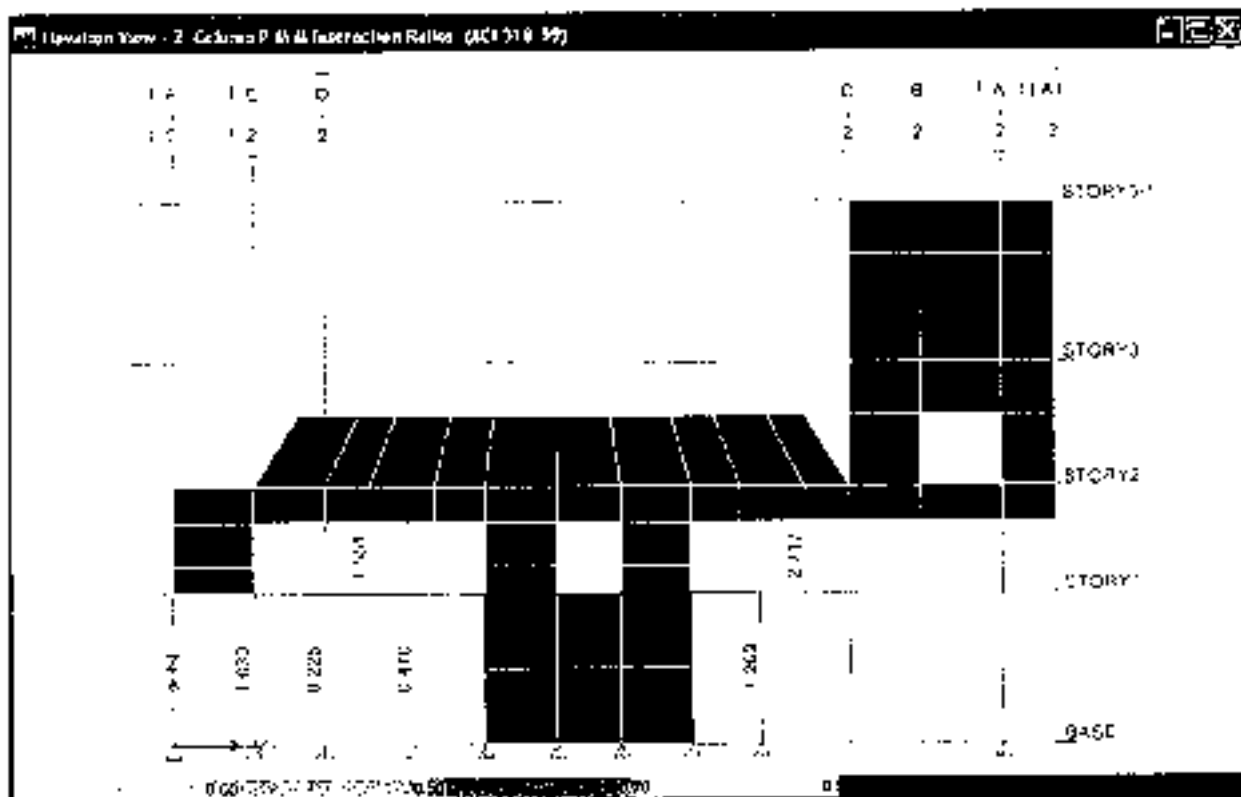


(a) First Floor

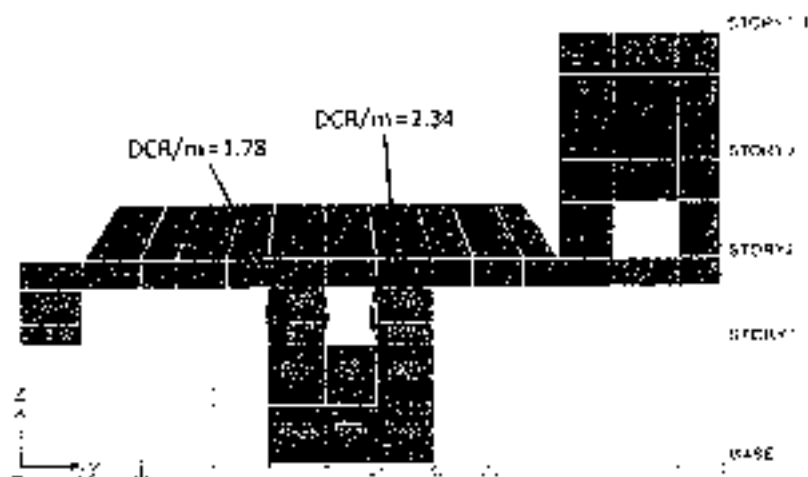


(b) Second Floor

Figure 10: Building B (Auditorium), Shear Walls and Piers



(a) Columns



(b) Shear wall piers

Figure 11: Building B (Auditorium), Demand-Capacity Ratios

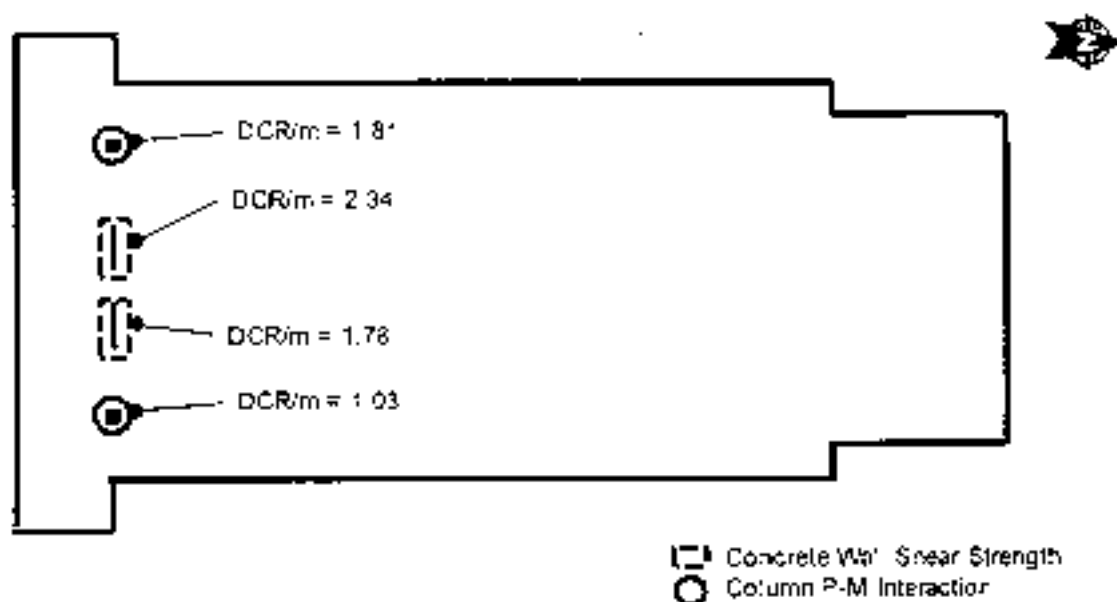
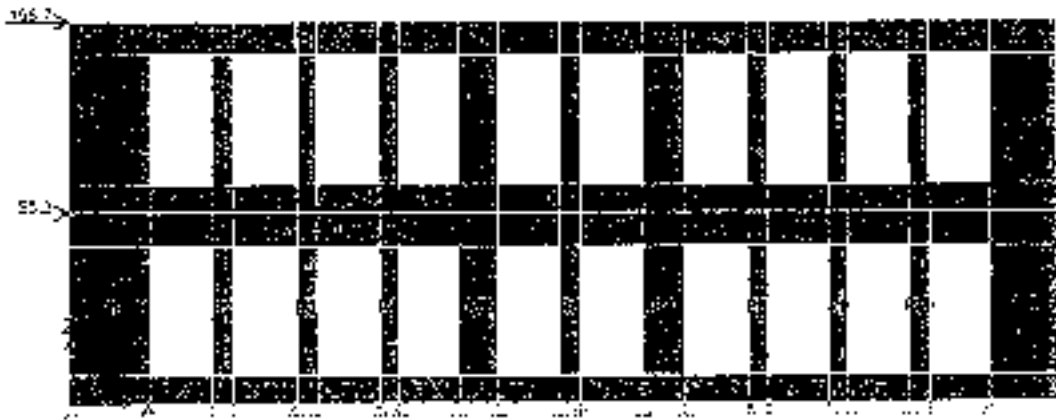
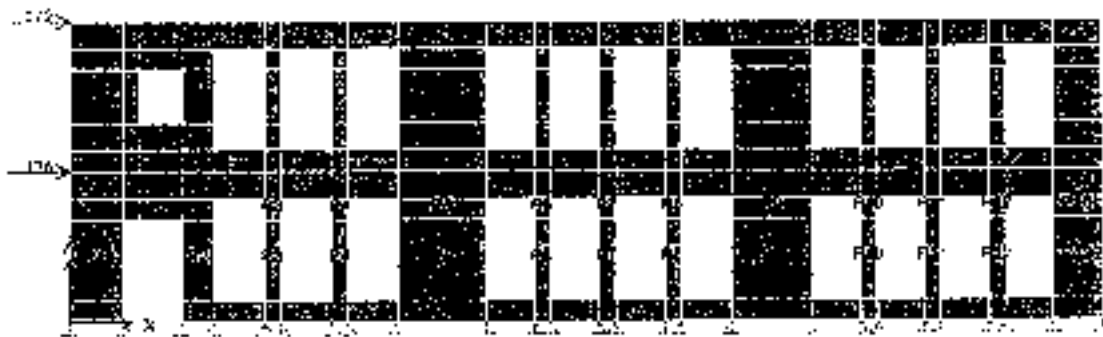


Figure 12: Building B (Auditorium), Strength Deficiencies of Second Floor Walls

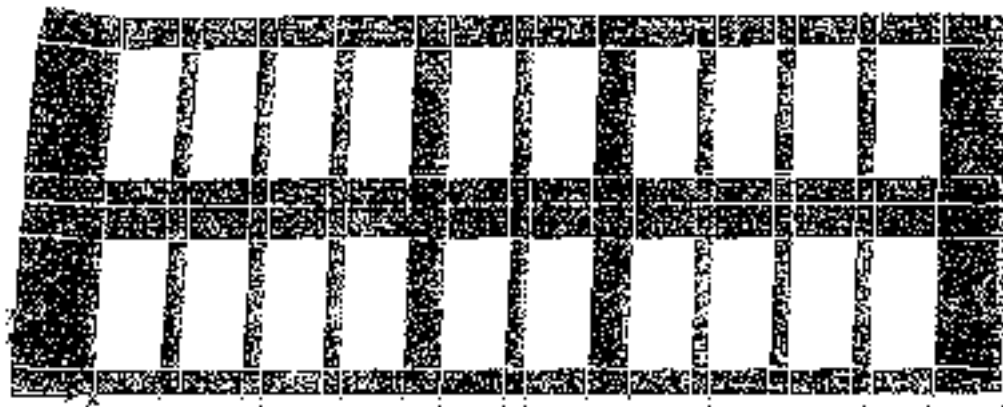


(a) Longitudinal Exterior Wall

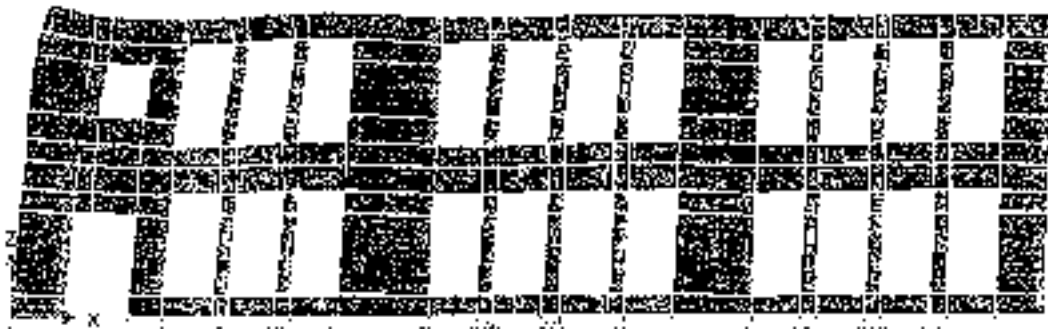


(b) Transverse Exterior Wall

Figure 13: Building B (Art & Music), ETABS Model



(a) Longitudinal Exterior Wall



(b) Transverse Exterior Wall

Figure 14: Building B (Art & Music), Deformed Shape

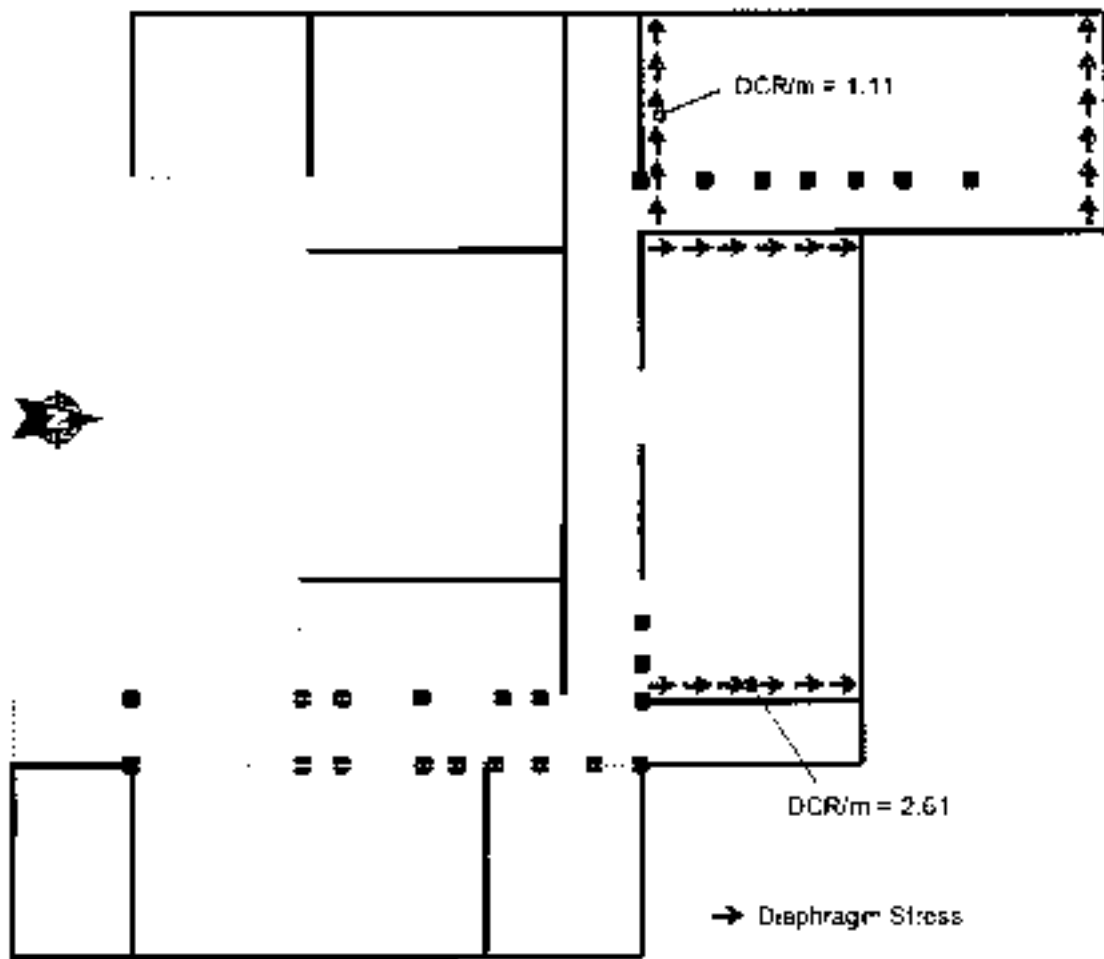


Figure 15: Building B (Art & Music), Structural Deficiencies at 2nd Floor Diaphragm

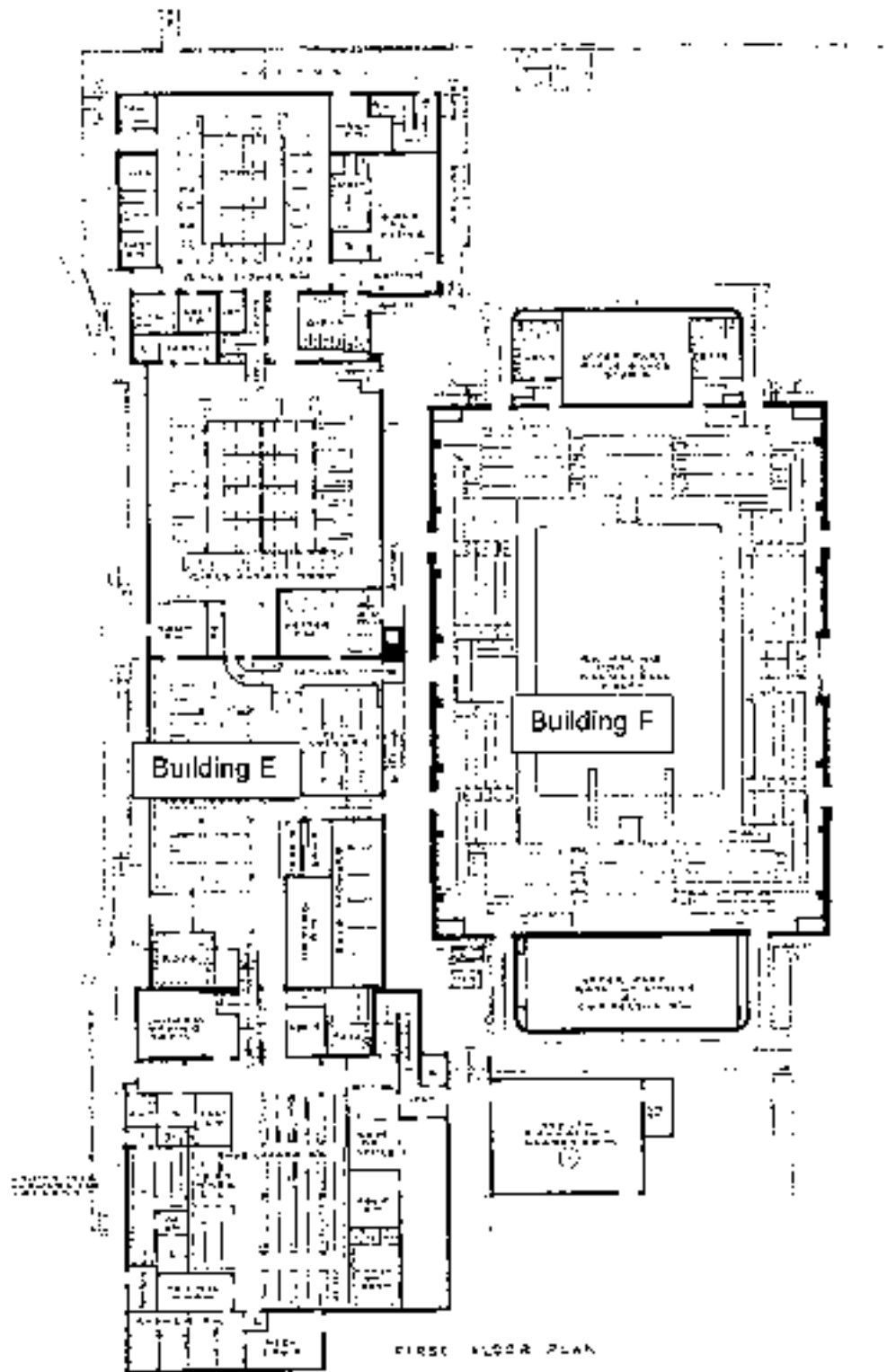


Figure 16: Buildings E & F

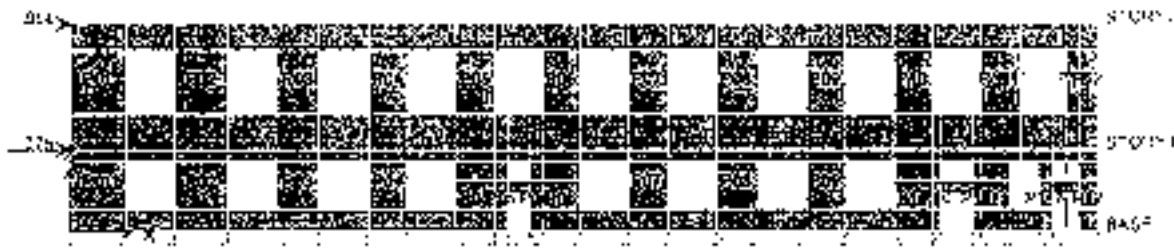


Figure 17: Building E, ETABS Model (Longitudinal Wall)



Figure 18: Building E, Deformed Shape

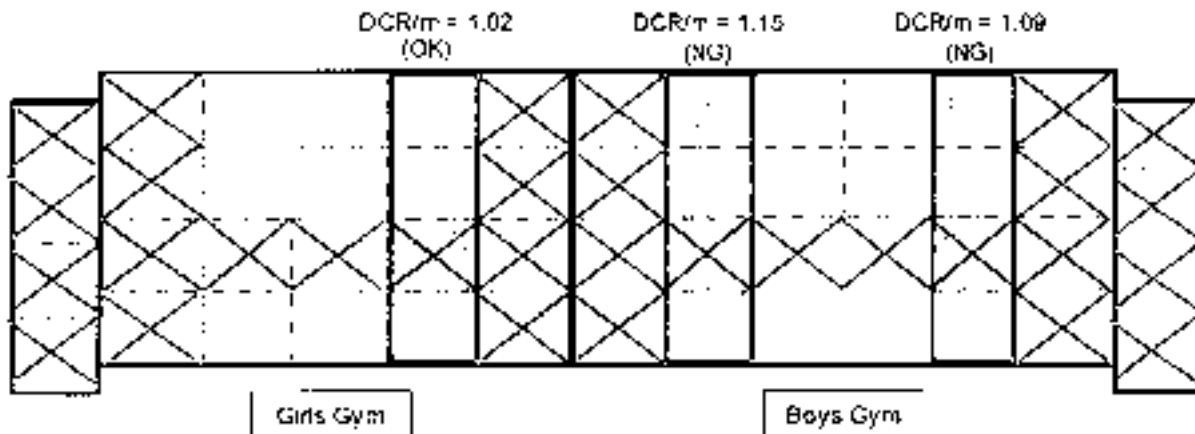


Figure 19: Building E, Diaphragm Deficiency at Roof Level

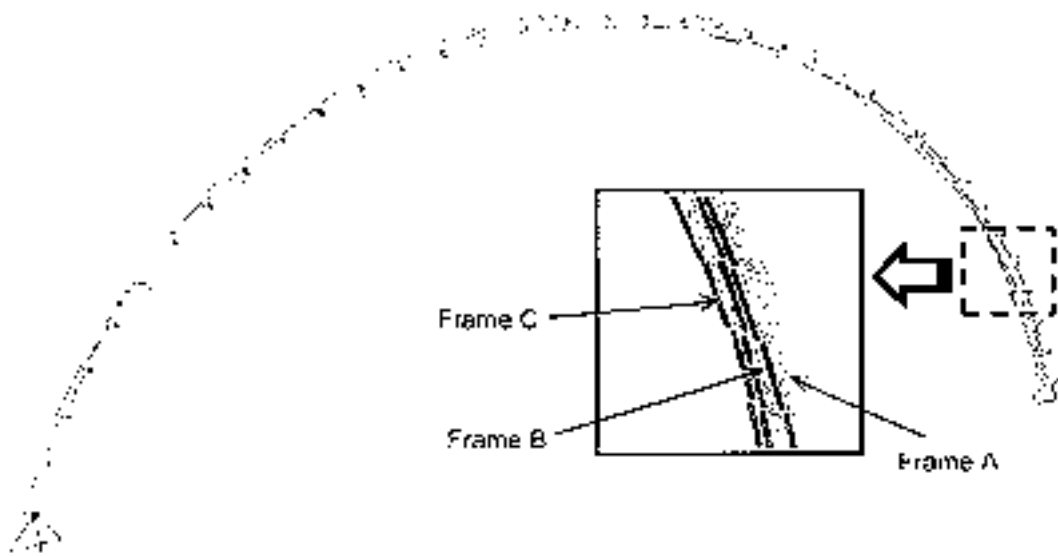


Figure 20: Building F. SAP2000 Model of Composite Wood Arched Frame

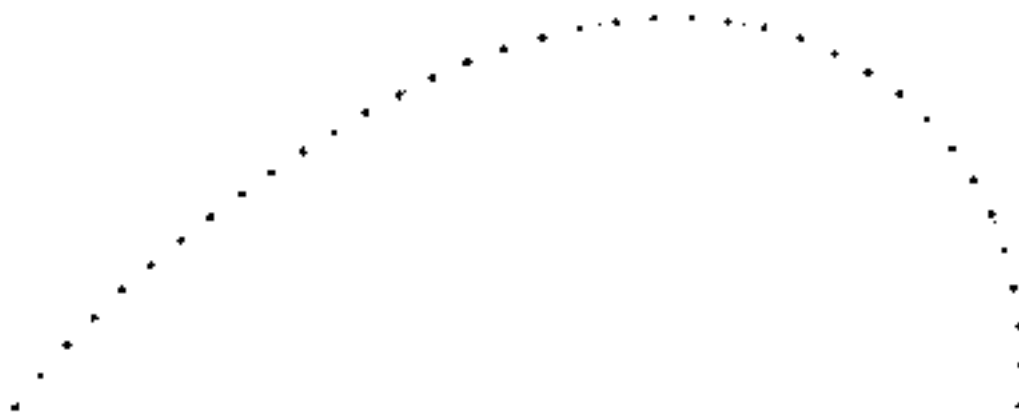


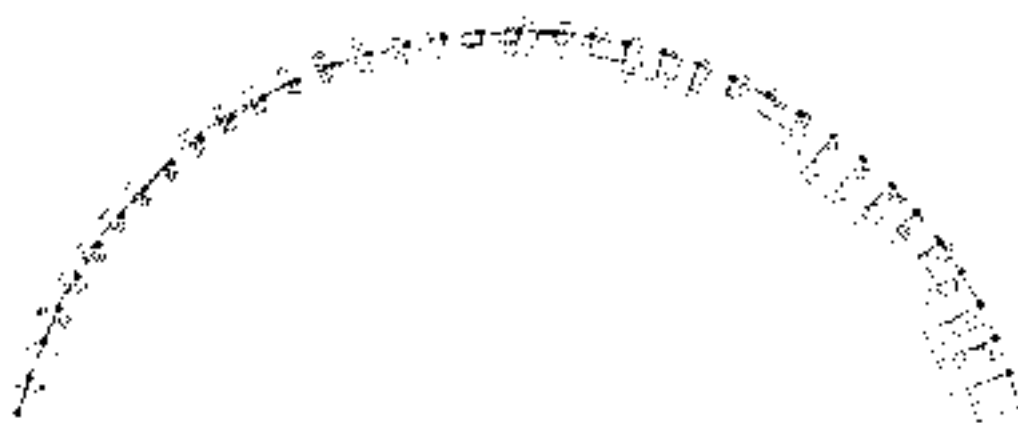
Figure 21: Building F Deformation under Earthquake Load



(a) Frame A



(b) Frame B



(c) Frame C

Figure 22: Building F, Axial Force Diagram (1.1D+0.25L+1.0E) [unit: kips]



(a) Frame A

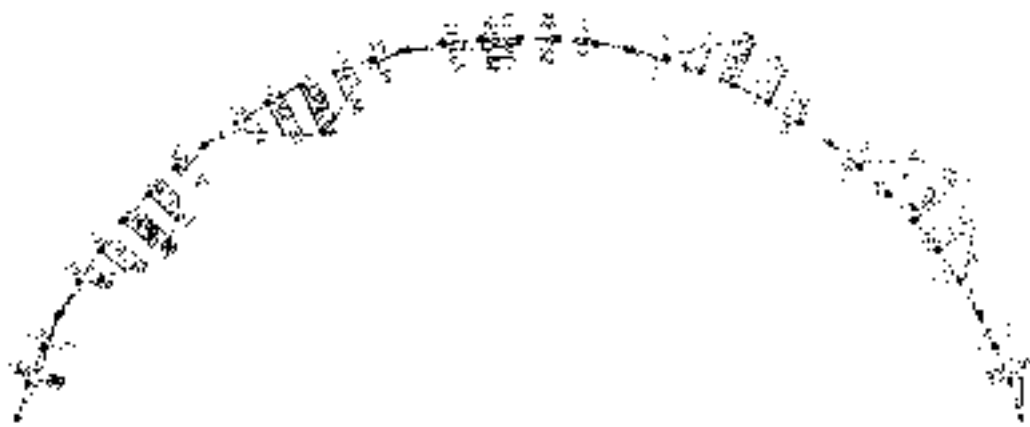


(b) Frame B

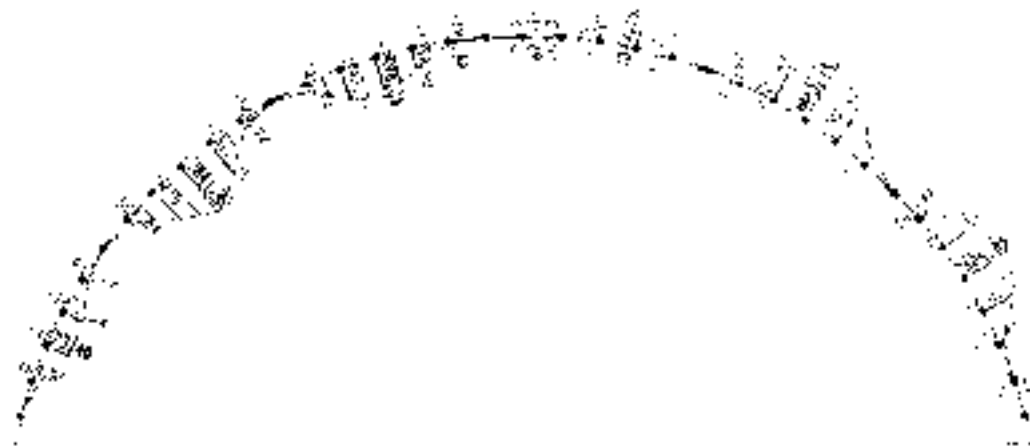


(c) Frame C

Figure 23: Building F. Shear Force Diagram (1.1D+0.25L+1.0E) [unit: kips]



(a) Frame A



(b) Frame B



(c) Frame C

Figure 24: Building F, Bending Moment Diagram (1.1D+0.25L+1.0E) (unit: kip-in)

Appendix F-
K8 Seismic
Report

1

2

3

4

5

This section was intentionally left blank. Preliminary structural information regarding the K-8 sites appears in the infrastructure report. Further structural studies will be needed. That information will be provided for inclusion when complete.



Appendix G-
Arts Education
Report

BEVERLY HILLS UNIFIED SCHOOL DISTRICT
K-12
STANDARDS-BASED

Arts Education Plan



to make arts education accessible to students
in all schools
in all grades
from all populations

June 17, 2005

We teach a child to sing or play the flute we teach her how to listen. When we teach her to draw we teach her to see. When we teach a child to dance, we teach him about his body and about space and when he acts on stage, he learns about character and motivation. When we teach a child design we reveal the geometry of the world. When we teach children about the folk and traditional arts and the great masterpieces of the world, we teach them to celebrate their roots and find their own place in history.

Jane Alexander, Chairman (1993-1997)
National Endowment for the Arts

Beverly Hills Unified School District
Board of Education

Alissa Roston, President
Myra Lurie, Vice President
Myra Demeter, Ph.D, Member
John Millan, Member

Superintendent

Jeffrey Hubbard

District Community Arts Team

Susan Liberati, Ed.D, Co-Chair
Assistant Superintendent of Educational Services

Alissa Roston, Co-Chair
President, Board of Education

Myra Lurie
Member, Board of Education

Toni Staser
Assistant Principal, BHHS

Susan Cambigue-Tracey
Director of Curriculum and Teaching Artist Training, Los Angeles Music Center,
Education Division

Dana Berk
Assistant Principal, BHHS

Deb Joseph
Technical Arts, BHHS

Joel Pressman
Performing Arts Department Chair, BHHS

Gil Young
Visual Arts, ER

William Aardappel
Music, ER

Linda Briskman
City of Beverly Hills

Bill Bradbury
Instrumental Music, BV/HM

Beverly Mense
Art, HAW

Benjamin Stokes
Instrumental Music, HAW/ER

Joan & Arnold Seidel
HM Grandparents

Susan Berk

Debbie Grossman
BH Symphony President

David Roston
Student, BHHS

Dawnalynn Murakawa-Leopard
Principal, HM

Dan Leopard

Lou Moore
Executive Director, W.A. Cultural Center of Beverly Hills

Barbara Gilson

Jimmy Delshad
City Council

Ron Rosen

Franny Rennie
PTA

David Stanford
Theatre 40

Margo Horowitz

Helene Harris
Committee Chair, PTA Cultural Arts

Richard Farmer
Performing Arts, BHHS

Susan Stauss
Architecture Commission

Aviva Laufer
PTA

Deborah Frank

HM Parent

Mike Federman
Visual Arts Department Chair, BHHS

Shana Lanzetta
K-8 Music Director, HM

Jenny Koltai
HAW Parent

Vicki Reynolds

Tony Dahlerbruch
Deputy City Manager

Shaoul Afalion
Parent

Jeanne Hoel
MOCA – Coordinator School Programs

Chris King
Technical Arts Department Chair, BHHS

Dave Stiles
Performing Arts Media Director, BHHS

Judith Chan
Music, BV

Christa Gutheinz
Music, HAW

Barbara Zarider
First Grade, ER

Joy Chase
Skirball Cultural Center

Elizabeth Escamilla
Getty Center

Marilyn Wulliger
Ret. BHHS Teacher

Project Background and Planning Process

In the Fall of 2004, The Beverly Hills High School District was selected by The Los Angeles County Task Force on Arts Education to be one of five districts to participate in the 2004/2005 Community Arts Education Project, a key strategy in Arts for All: Los Angeles County Regional Blueprint for Arts Education. Arts for All is a 10-year strategic plan to restore dance, music, theatre, and the visual arts in Los Angeles County and provides technical assistance to school districts to build their capacity to provide arts education through the adoption of a policy, a long-range plan and a budget.

Co-chairs were named and an Arts for All Committee comprised of 51 board members, educators, community stakeholders, and parents was formed. The California Alliance for Arts Education also provides the services of a consultant/coach to help guide the process.

The Arts for All Committee held its first meeting on September 30, 2004 and then met monthly throughout the remainder of the school year. The first task was to conduct an assessment of the current arts program. A survey was sent to all school sites and the results were compiled into one document. The Arts for All Committee then reviewed the results and began discussing the elements of a model arts education program. The ideas that came from this discussion were formulated into the draft of the Board Policy. On February 8, 2005, the Board Policy for Visual and Performing Arts Education was adopted on the first read. Co-currently, The Arts for All Committee continued to examine the current reality of the District's arts program and created a vision for an optimal one. Once this was done, the committee broke into sub-committees to create the strategic plan. Each sub-committee presented to the entire Arts for All Committee their proposals in the form of strategies to implement the prioritized goals. The Strategic Plan was then written and a budget was produced.

A Common Goal

A comparison of the District's and the Blueprint's missions and belief statements suggest a common goal that both agencies seek to achieve.

Los Angeles County Regional Blueprint for Arts Education: Arts for All

Mission

To bring about systematic change in the 82 school districts of Los Angeles County in order to implement comprehensive, sequential K-12 arts education for every public school student in the county, adopting curricula in alignment with the state board of education-approved Visual and Performing Arts (VAPA) framework and Standards. Such systematic changes will require the mobilization of diverse stakeholders, including policy makers, implementers, and recipients of arts education.

Beliefs

The arts are vital and indispensable part of a comprehensive education of every student, fostering each student's development into a responsible citizen. A comprehensive education must include a balanced, sequential (K-12) high-quality program of instruction in the arts.

Exposure to and participation in the arts has been demonstrated to enhance students' creativity, critical thinking, and problem solving abilities, as well as improving students performance in other core subject areas, goals often not met through other means.

The arts enable students to build self-esteem and self discipline, to work cooperatively within groups, and to effectively express themselves.

Integrating the arts into other subject areas improves academic achievement,

Beverly Hills Unified School District

Mission

The mission of the Beverly Hills Unified School District, the heart of our city's tradition of pride and excellence, is to ensure that our students are humane, thinking, productive citizens through an educational system characterized by state-of-the-art technology; a dynamic interdisciplinary curriculum; an exemplary instructional and support team; student-centered active learning; respect for diversity; strong parent and community involvement; and a nurturing environment where all share a common purpose and a joy for learning.

Beliefs

A person's right to thoughts and ideas is inviolate.

Self-respect is essential to individual and community well-being.

Every person has immeasurable intrinsic value.

Society requires standards of right and wrong.

Every person is entitled to personal safety.

Every person has a right to the basic necessities of life.

Every person deserves the opportunity to achieve his or her

motivates attendance, increases test scores, promotes involvement, and encourages disciplined behavior.

The arts contribute to building a productive and forward-thinking workforce by teaching skills and competencies required by an Information based economy.

With Los Angeles County's ever-expanding diversity, the arts serve as an essential bridge across language and cultural differences and build linkage, both within and between communities.

Preparing general classroom teachers, credentialed arts teachers, professional artists, and administrators to effectively Teach in the arts and through the arts is essential for successful implementation of the vision.

In our media-driven society, knowledge of the arts is a necessary part of cultural literacy. Each of us is exposed daily to a myriad of images, which we must be able to read and discern if we are to make informed choices as consumers and citizens.

Fulfillment of the vision will have a positive impact not only on students, parents, and schools, but also on institutes of higher learning, the private sector, and the community at large.

potential.

Family is the primary influence on each person's development.

The individual's capacity to think can be continuously developed.

Literacy is vital to individual empowerment.

Human dignity is sacrosanct.

Every person has the right to education.

Diversity of all kinds enriches the individual and society.

Family is basic to the preservation and creation of societal values.

There can be no progress without change.

Every person is accountable for his or her behavior and actions.

Honesty is the basis for successful human relationships.

The L.A County Blueprint and Beverly Hills Unified School District share beliefs that arts are essential to life and that all students deserve a quality education. Both organizations seek to provide personalized learning experiences in order that all students be afforded the opportunity to achieve at their highest potential. It is in the context of these shared beliefs that this K-12 standards-based arts plan to make arts education accessible to students in all schools, all grades, and from all populations, is presented.

The arts are a catalyst for engagement. By bringing the arts into the center of school life, students begin to slip into the journey of learning with full absorption. The arts are a means for putting things together so that students can have a relevant experience. They transform something ordinary into something extraordinary because it has personal meaning. Learning becomes an active journey that leads self discovery.

Eric Booth

Appendix A
Beverly Hills Unified School District Board Policy

Board Policy: 6142.6

Adopted: 2-8-05

Revised:

Section 1.01 VISUAL AND PERFORMING ARTS EDUCATION

The Board of Education recognizes that Arts Education, including dance, music, theatre, and visual arts, is part of the core curriculum for all K-12 students and that the value and benefits of arts education have been extensively documented. The Board also recognizes that instruction in the basic skills and content knowledge of the arts develops perceptual abilities that extend to all careers and areas of life. An arts education enables students to develop an appreciation of the arts, critical and creative thinking skills, initiative, self-esteem, and discipline. It is also recognized that in our multicultural state, the arts build bridges and help pupils broaden their perspectives and understand their world and the diverse cultural influences that surround them. Communication, imagination, and information are keys to career opportunities, education, and a life-long appreciation of the arts. Therefore: It is the policy of the Beverly Hills Unified School District to acquaint all of the students of the joy of the arts so they can perform, produce, and appreciate what art can do for them and for the world.

The Board of Education recognizes that a comprehensive curriculum includes a sequential K-12 arts education as a part of the program for all students in all grades during the school day. The arts education program should enable students to achieve the goals outlined in the Content Standards for California Public Schools, which include the Visual and Performing Arts Content Standards.

The Board of Education supports the need to provide adequate funding for K-12 Arts Education and recognizes that, in times of budget cutbacks, reductions must be distributed equitably across subject areas, rather than eliminating arts programs.

In order to implement quality, standards-based, sequential K-12, and comprehensive arts education, with equity and access for all, the Board of Education supports the need to provide the following:

- A standards-based curriculum and assessment
- A qualified arts coordinator(s) who provides leadership, vision, planning, and resources for the District
- Qualified teachers in all the arts disciplines at all grade levels, supported by ongoing standards-based professional development in the arts for classroom and arts teachers
- Opportunities during school hours for arts teachers to collaborate

- A student-to-teacher ratio in each of the arts that is appropriate for the delivery of effective instruction along with adequate classified staff to support the arts program
- Standards-based instructional materials and resources, including, but not limited to, equipment, facilities, textbooks and technologies that support learning

BP 6142.6

- Visual and performing arts classrooms that are appropriately designed and equipped for the unique requirements of each arts discipline
- Opportunities to showcase student learning/work in a public forum simulating the experience of professional artists
- Opportunities for students to be exposed to a wide variety of artistic styles, venues, and performances including working with professional artists, collegial programs, cultural organizations, and field trips
- Opportunities for students in elementary and middle grades to work with and gain exposure to the arts programs at the other K-8 schools and the high school through school visits, assemblies, workshops, mentoring programs and other such activities
- Community resources, including business as well as parent involvement, partner with schools to provide funds and resources for arts programs

The Superintendent or designee shall develop a budgeted plan, establish procedures to implement Board policies, and provide for the ongoing review, evaluation and development of the District's arts education program.

Beverly Hills Unified School District
Arts for All
Three Year Plan

GOAL 1	Implementation Task				
Curriculum & Instruction	05-06	06-07	07-08	Preliminary Budget Implications	People Responsible
<p>1.1 Conceptualize the Curriculum</p> <p>1.1a Develop understanding of the California VAPPA Framework & State Standards & expectations at each grade level for all four areas. Establish a VAPPA Steering Committee comprised of teachers, administrators & parents.</p> <p>1.1b Revise and revise the district standards to ensure that they continue to reflect State standards</p> <p>1.1c Prioritize the district standards to identify key learning & at each grade level and a 1s area so that they are sequential and create a spiral learning pattern.</p> <p>1.1d Determine the appropriate instructional structures to support mastery of standards as delivered (class time support)</p> <p>1.1e Identify & develop student performance indicators that would demonstrate mastery of standards. Develop rubrics by which to measure students' performance levels</p> <p>1.1f Create local assessments for each grade level and arts areas</p> <p>1.1h Design and implement a summer arts program</p> <p>1.1i Provide ongoing professional development to support the implementation of BT of the above items</p>			<ul style="list-style-type: none"> • Materials – copies of VAPPA Framework & California state standards \$5,000 • Substitutable time – to release teachers on the VAPPA Steering Committee from the classroom to work together to understand standards, develop key learning & determine performance indicators, develop rubrics, create assessments, plan instruction, review and analyze assessment data (150subs, 30 teachers 5days) Two per grade level K-5 VAPPA teachers, \$18,000 • Professional development – training in subject-specific areas (specific methodologies, new arts areas, continuing education to develop expertise, etc.) and in standards based instruction and assessment (150subs, 30 teachers 9days) \$18,000 • Collaboration (80subs, 30 teachers 3days) \$10,800 • Subs - collaboration • Collaboration Time - 80/20 (teacher, 4 days 80 subs) 9,600 • Collaboration Time - subs • Subs, Presenters 	<ul style="list-style-type: none"> • Assistant Superintendent Educational Services • Assistant Superintendent, Human Resources • Arts teachers • Arts coaches • Arts staff • Superintendent Educational Services, Arts Teachers • Assistant Superintendent Ed. Services Arts 	

<p>1.2 Implement the Curriculum</p>		<p>1.2a Implement the instructional delivery structure identified the previous year</p> <p>1.2b Design and implement instruction to support mastery of the standards as prioritized the previous year</p> <p>1.2c Implement the local assessment system as defined the previous year</p> <p>1.2d Provide ongoing professional development to support standards-based instruction and assessment, and to support the development of curricular and instructional expertise at all grade levels and in all areas</p> <p>1.2a Implement performance indicators</p> <p>1.2f Implement and refine summer arts program</p>	<p>1.3a Review assessment data from the previous year</p> <p>1.3b Revised and implement changes to the assessment system as indicated by assessment data</p> <p>1.3c Review and implement changes to the instructional delivery system as indicated by assessment data</p> <p>1.3d Continue to implement instruction to support mastery of the prioritized standards</p> <p>1.3e Evaluate the summer arts program</p> <p>1.3f Design and implement an internship/superior program</p>	
<p>1.3 Evaluate and Revise the Curriculum</p>			<p>1.3g Provide ongoing professional development to support standards-based instruction and assessment, and to support the development of curricular and instructional expertise at all grade levels and in all areas</p>	

GOAL 2	Implementation Task			People Responsible
Evaluation	05-06	06-07	07-08	Preliminary Budget Implications
<p>2.1 Conceptualize the Evaluation Program</p>	<p>2.1a Determine what a successful arts program would look like, incorporating the definitions and components articulated in the BHUSD Board Policy</p> <p>2.1b Determine how to collect data with regards to the identified indicators of success</p> <p>2.1c Develop rubrics for program evaluation</p> <p>2.1d Create feedback systems to collect necessary data</p> <p>2.1e Local standards-aligned assessments</p> <p>2.1f Present to SBAH students & community & select feedback</p>	<p>2.2a Collect data reflective of the program's success</p> <p>2.2b Review and analyze data about the success of arts showcases (quality of art being showcased, audience attendance rates, student participation rates, audience student and community feedback, awards won, etc.) Showcase organizers include events such as the PTA. Reflections context: the LA county fair, chore, instrumental drama and dance performances, district showcases, festivals, corrections, etc.</p>	<ul style="list-style-type: none"> • Provide time to teachers to design evaluation systems, gather and analyze data, plan changes • Facilitate the collection of data (mailing costs, survey/feedback form production costs, etc.) 	<ul style="list-style-type: none"> • Assistant Superintendent, Educational Services • Principals, Arts coordinators • Arts teachers at all grade levels
<p>2.2 Implement the Evaluation Program</p>		<p>2.2c Review and analyze data about students' mastery of standards (assessment results)</p> <p>2.2d Conduct and analyze a program's benchmark assessment - collect data from program participants about the strengths and areas of need for the program</p> <p>2.2e Review and analyze any</p>		<ul style="list-style-type: none"> • Assistant Superintendent, Educational Services

2.3 Evaluate and revise the evaluation program		<p>Additional data collected</p> <p>2.21 Based on analysis of above data, plan changes and revisions to the arts program & create an action plan with timeline to implement changes</p>	<p>2.3a Implement changes planned during the previous year</p> <p>2.3b Continue the data collection and analysis process</p> <p>2.3c Continue to implement action plan</p>	
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Goal 3 Resources & Facilities	Implementation Task			Preliminary Budget Implications	People Responsible
3.1 Budget for equipment and instructional materials	<p>3.1a Assessing if of facility inventory, needs, equipment, furniture</p> <p>3.1b Plan to improve facilities</p> <p>3.1c Prioritize items</p>	<p>05-06</p>	<p>06-07</p>	<p>07-08</p>	<p>To be determined</p> <p>District staff, teachers and architects, Director of Fac. Affs</p>
	<p>3.1d Develop a plan to improve facilities. Identify existing space that could be restructured to meet the instructional needs of the arts program in multi-purpose rooms & auditoriums</p> <p>3.1e Assess cost/available instructional materials, needs</p>	<p>06-07</p>		<p>To be determined</p>	
		<p>3.1f Create double classrooms for dance & theatre, one wall with mirrors + barre, sprung wood floor, raised stage, storage and A/V capabilities & appropriate lighting</p> <p>3.1g Appropriate spaces and facilities for storage</p> <p>3.1h Develop budget to purchase items needed</p>			

Goal 4	Implementation Task			Preliminary Budget Implications	People Responsible
Funding and Support	05-06	06-07	07-08	None	<ul style="list-style-type: none"> District and Site Staff, PTA, teachers who raise money for their programs District and site staff, teachers committee BHEP PTA Board
4.1 Budget: District and Site Staff	<ul style="list-style-type: none"> 4.1a Identify current budget from all sources 4.1b Identify funds needed to fund our program 4.1c Develop a BH Arts campaign (catchy name, Get smart with Art) to fund a campaign, identify donors Annual Event 4.1d Work with a grant writer to find and apply for grants 	<ul style="list-style-type: none"> 4.1e Build the operational and endowment fund 4.1f Work with a grant writer to find and apply for grants 	<ul style="list-style-type: none"> 4.1g Continue to fund raise 4.1h Write Grants 	None	<ul style="list-style-type: none"> District staff
4.2 Create a database of resources	<ul style="list-style-type: none"> 4.2a Create a wish list of specific needs or services that could be funded by individuals 				
Goal 5 Partnerships & Communication	Implementation Task			Preliminary Budget Implications	People Responsible
	05-06	06-07	07-08		

<p>5.1 Develop partnerships with arts organizations and arts programs throughout Greater Los Angeles</p>	<p>5.1a Research partnerships that already exist in the District</p> <p>5.1b Conduct a survey of those partnerships that exist with detail. Analysis of how often, the specific age groups reached, costs, which free or fee arts, etc.</p> <p>5.1c Assess the success of those partnerships and determine the value for continuation, enrichment or distribution</p> <p>5.1d Research arts organizations in Greater Los Angeles for their education and artistic outreach programs</p> <p>5.1e Develop relationships with those organizations reported from the survey</p> <p>5.1f Establish a plan for the development and continuation of partnership programs for all students thru out the school year</p> <p>5.1g Determine funding needs for the next three years</p> <p>5.1h Analyze the above research with regard to costs and develop a three year funding needs plan to incorporate in overall funding plan</p>	<p>5.1i Maintain relationships with those partnerships that foster enrichment</p> <p>5.1j Establish a Partnership Council: representative from the not profit arts org who will share their expertise and knowledge of available programs and new ideas to partnerships for the District, its teachers and students</p> <p>5.1k Reinforce the successful programs and increase the number of programs to reach more students</p> <p>5.1l Partnership Council to assist in funding plan where possible</p>			<p>* Arts Person and Rep from Partnership Council</p>
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			<p>5.11r Continue relationships with those partnerships that foster enrollment</p> <p>5.11s Develop ongoing dialogue between Partnerships Council and the District to further enrich outreach programs activities</p> <p>5.12 Increase outreach programs and the number of students reached</p> <p>5.13 Partnerships Council continues to assist in funding plan where possible</p>		
<p>5.2 Communicate and coordinate with teachers on an ongoing basis</p>	<p>5.2a Share information of what is available for their classes as well as for themselves</p>	<p>5.2b Arrange meetings with teachers and Partnership Council</p>	<p>5.2c Continue sharing information and meetings</p>		<p>* PR person with Arts person</p>
<p>5.3 Forge relationships with local media (Courier, Weekly KBWV, etc) to promote partnerships and District activities</p>	<p>5.3a Set meetings with local media to establish relationships</p> <p>5.3b Identify those programs and activities that would generate press</p>	<p>5.3c Continue to meet and develop press relations</p> <p>5.3d Continue to identify programs that generate press</p>	<p>5.3e Continue to meet and develop press relations</p> <p>5.3f Continue to identify programs that generate press</p>		
<p>5.4 Increase Community Involvement</p>	<p>5.4a Communicate site activities and programs with parents and community</p> <p>5.4b Develop programs with community</p>	<p>5.4c Establish on going dialogue format with community</p> <p>5.4d Continue to develop programs with community</p>			

<p>5.5 Establish relationships with the City Fine Arts Commission and/or any other appropriate arts entity or activity in the City.</p>	<p>5.5a Set meetings with the City officials and City staff to explore possible relationships between City arts fundations, services, committees, and activities</p> <p>5.5a Outline a plan for interaction and involvement with the City or BH and activities and programs</p>	<p>5.5c Establish set meetings to maintain relationships with the City</p> <p>5.5d Implement the plan for interaction and involvement with the City of BH arts and visual arts programs</p>	<p>5.5e Continue to set meetings to maintain relationships with the City</p> <p>5.5f Continue to implement the plan for interaction and involvement with the City of BH and activities and programs</p>	<p>5.5e Continue establishing dialogue formal with community</p> <p>5.5f Continue to develop programs with community</p>	
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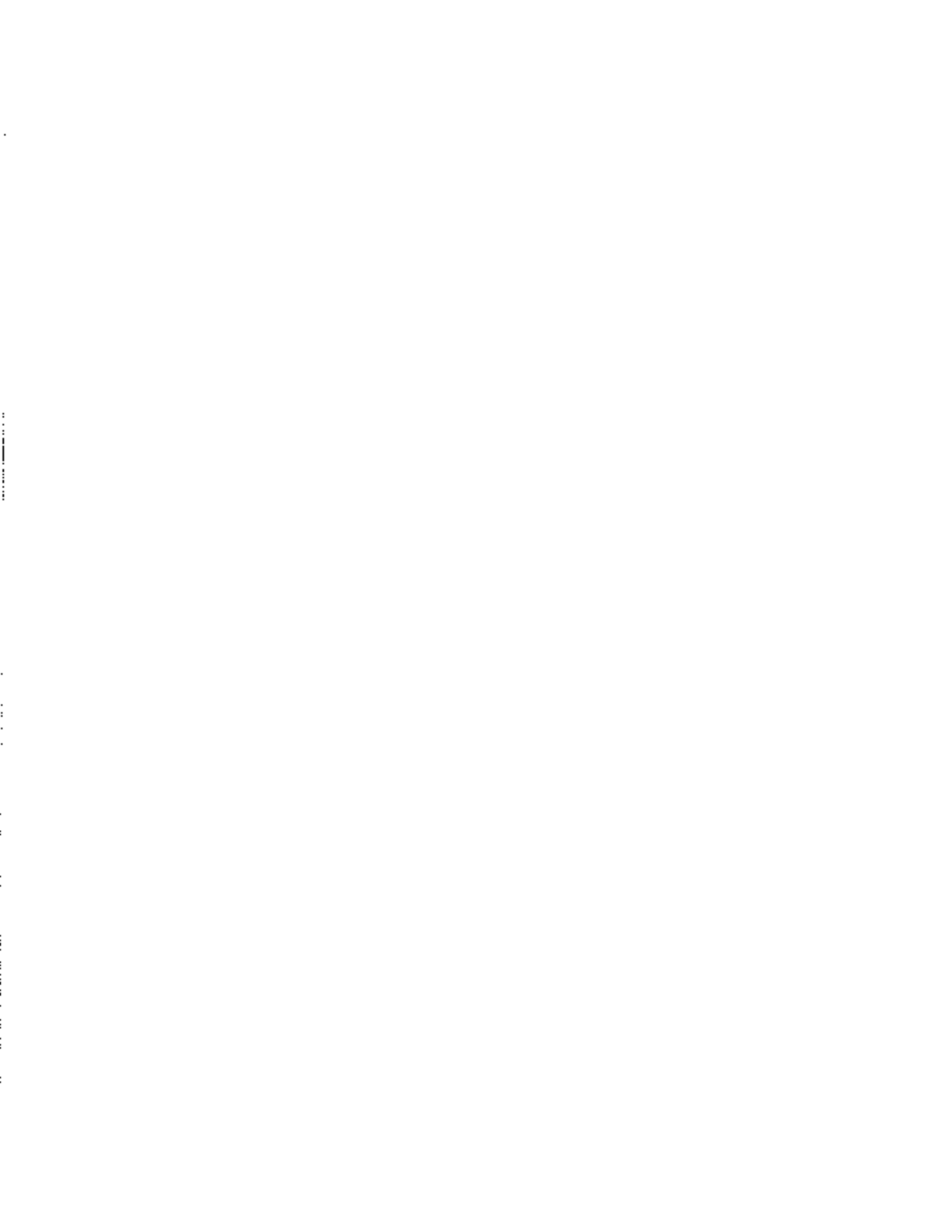
GOAL 6

Implementation Task

<p>Program Administration</p> <p>6.1 Recruit and maintain highly qualified personnel to implement arts education</p>	<p>05-06</p> <p>6.1a Establish job description for an Arts Coordinator (visually two Performing arts and visual arts)</p> <p>6.1b Determine staffing needs per school; a quarter spreadsheet for each of the arts disciplines (Ideally, full time dance, theatre, music, and Art teacher per school)</p>	<p>06-07</p> <p>6.1c Hire an Arts Coordinator (Visual and Performing)</p> <p>6.1d Begin hiring of qualified specialists for 2007 school year (SMT)</p>	<p>07-08</p>	<p>Preliminary Budget Implications</p> <ul style="list-style-type: none"> • 75K • 250K - 350K 	<p>People Responsible</p> <ul style="list-style-type: none"> • Assistant Superint. Ed Services & HR • Assistant Superint. Ed Services & HR Arts Coordinator; Principals
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		<p>need 2 dance, 2 theater, 1 music specialist, class size 28 to 1 for effective instruction</p>	<p>8.18 Marzano Arts Coordinator 8.11 Hired specialists begin in September and are marinated</p>		
<p>6.2 Provide In-service Training for all four arts disciplines</p>	<p>6.2a Train current classroom teachers to include arts throughout the standards-based curriculum 6.2b Provide opportunities during school hour for current arts specialists to collaborate</p>	<p>6.2c Continue to assess staff development needs and provide staff development (utilize arts coordinators) 6.2d Research and build a master schedule that provides collaboration time built in for all arts together</p>	<p>6.2e Continue to assess staff development needs and provide staff development (utilize specialists) 6.2f Implement new master schedule</p>	<ul style="list-style-type: none"> 20K-42K 70K 	<ul style="list-style-type: none"> Asst Super, Ed Services, Arts Specialist Arts Coordinator, Principals
<p>6.3 Explore the best way to deliver arts instruction for all students</p>	<p>6.3a Research various schools' current arts programs to see how all the disciplines have been incorporated into master schedule (i.e. Fall/Spring courses, yearbook, book scheduling for 6-8, ...)</p>	<p>6.3b Build a master schedule that incorporates all K-12 students receiving instruction in all the arts disciplines</p>	<p>6.3c Master schedule is implemented and students are receiving instruction in all arts disciplines</p>	<ul style="list-style-type: none"> 0 (release time for those involved from current commitments) 	<ul style="list-style-type: none"> Asst Super, Ed Services, Arts Coordinator, Principals, Asst Principals

Appendix I-
Educational Technology
Implementation
Report





Educational Technology Tactical Implementation Plan – April 2007

The following items are the designated Educational Technology Implementation tasks recommended for the Tactical Plan – implementation within the next six months. The items are ordered by priority although omitting any of the items would result in non-delivery of a very minimal plan outcome.

District Office

Data Center

The current server room at the district office is a shared open area that is also used as an IT work area, office space, and spares storage. This multi-use scenario is not acceptable for enterprise data center applications, which require:

- Physical security
- Environmental control
- Power isolation and redundancy/continuity
- Network integrity.

The district is currently in the process for constructing a new data center facility in the first floor storage room.

A 228 square foot section of this storage room will be enclosed within a wall with a fire-rated door and card access.

A dedicated 1-2 ton horizontal air conditioning unit will be installed in the room capable of 24-hour operation but likely will be set keep the room at a constant 78 degrees Fahrenheit.

Five 7' telecommunications racks will be installed to house new and existing LAN/WAN networking gear and district servers.

Penetrations will be made and conduit installed to provide a pathway from the current MPOE in the lower level for telecommunications circuits.

A large system UPS will be installed to support power continuity for all the equipment in the data center.

This construction should be complete by May 2007.

Wide Area Network & Internet Connectivity

For the Wide Area Network, I am recommending a migration to Opti-MAN technology from AT&T, the district's local telecommunications service provider.

A primary circuit for the District Office to the Opti-MAN service at 20Mb will provide the main connection. A secondary 20Mb circuit to the Internet will also be required. This circuit may be consolidated with the primary circuit, possibly at 50Mb.

Each K-8 school will require a minimum of 5Mb Opti-MAN to the district office. The high school is connected to the district office via private fiber.

A new router will be required to support the WAN. This new router will be installed in the new data center facility.

Pricing comparison show that the district is currently spending approximately \$9,000 per month on telecommunications services.

CalNET pricing quotes from AT&T show that the district will be able to triple WAN telecommunications speeds between the sites, and the internet while still reducing the cost of data communications services.



Network Solutions IT CONSULTING

8316 Laramont Street Blvd. Suite 208, San Diego, CA 92111 858-574-0710 office 858-874-5278 fax

Implementation of Voice of IP (VoIP) will allow the district to save another \$1,000 each month in telecommunications services for the current PBX system.

Local Area Network & Wireless

The LAN within the district office building must be re-constructed. New fiber and copper cabling must be installed according to Category 6 specifications. Additional drops shall be allocated for each office location as well as ceiling drops for wireless access points.

A new Core Switch will be installed at the district office to provide routing and switching services for the district office, as well as the district-wide services. In addition, the new core switch will provide critical connectivity and management services to support the STC and HS networks as well as future district-wide network services.

New power-over-ethernet (POE) switches will be required for the district office and be installed in the Data Center, as well as the three IDF locations. Power over Ethernet will support the wireless access points as well as Voice-over IP telephones in the future. The three switches located in the IDFs will also require a small UPS. Wireless Controllers will be required to help manage the site and district-wide wireless networks.

In order to determine the actual cabling requirement, a cabling assessment is being performed the week of April 9th to determine the capacity and of the current fiber optic backbone cabling and classroom raceways for the new network equipment. As much of the existing fiber will be used but it is likely that new copper horizontal cabling will be required.

IT Work Space

IT personnel should have dedicated office space as opposed to sharing the data center space. In addition, a space allocation for IT staging, repair/maintenance, and lab testing should be allocated, along with a spares storage area. Neither of these space allocations should be in the data center.

High School Network Upgrade

In order to determine the actual cabling requirement, a cabling assessment is being performed the week of April 9th to determine the capacity and of the current fiber optic backbone cabling and classroom raceways for the new network equipment. As much of the existing fiber will be used but it is likely that new copper horizontal cabling will be required.

The STC Building will be getting all new backbone and horizontal cabling, and these will be brought back to the High School for Core Switching

A minimum of 8-wired network drops should be terminated in each classroom providing six (6) wired network access from three walls and two (2) ceiling mounted network drops to support installation of a Wireless Access Point.

The network switches should be designed to support the STC building as well as all the drops and wireless of the high school.

The current Voice PBX should not be impacted by the structured cabling installation. The cable plant should be designed to support a migration to VoIP with no additional cabling modifications.

Core Switching

The High School network, in support of the STC implementation must have a fully configured core switch similar that to be installed at the District Office.

Wireless

The STC will be implemented as a fully wireless capable building. Drops installed above the ceilings will support wireless access in all classrooms, as well as locations outside the building.



Science, Math & Technology Center

Local Area Network & Wireless

Core Switching

The STC will drive many of the new technologies and network infrastructure required at the district office and the high school. The implementation of the 4500 series core switch at the STC will directly connect to both the high school 6500 series and district office 6500 core switches. These core network infrastructure will support all the near-and long- term bandwidth requirements for these sites for at least five years.

Wireless

The STC will be implemented as a fully wireless capable building. Drops installed above the ceilings will support wireless access in all classrooms, as well as locations outside the building.

Digital Classrooms

Each classroom in the STC will be a "digital classroom." The digital classroom shall provide a ceiling-mounted XGA projector. The projector shall be remotely switch-able between multiple input sources, including:

- Computer
- Document Camera
- DVD/VHS player/tuner
- Cable Television.

Voice-over Internet Protocol (VoIP)

The STC will be the showcase of the most up-to-date technologies for communication and collaboration. VoIP will allow the STC to immediately have access to video conferencing capabilities in each classroom to other classrooms within the STC.

However, since the core services for VoIP will be installed in the District Office, both the high school and the district office will be able to move to VoIP very quickly.

Video Conferencing

The STC will showcase the Cisco Meeting Place technologies to support multi-media video conferencing between many users.

Card Access Control

All main building doors and classroom doors will be secured with Card Access instead of keys. This system will allow monitoring and control of building and classroom access, and track access activity.

Computer Upgrade

A lifecycle approach must be taken in regards to classroom and lab computers. Each site has different populations of computers, Mac and PCs, but the majority of classroom computers are quite old. Only selected labs in some schools have more up-to-date systems.

The lifecycle approach would be to refresh one-third of the computers each year using a three-year lease vehicle. The lease would include a buyout at the end as the preference would be to turn the three-year old computers back.

To front-load the process, two-thirds, of the current population of computers would be replaced and by new, leased computers.



From a systems management and purchasing perspective, it is recommended that a single platform be established for classroom and administrative use, and exceptions allowed based on special applications or requirements.

Education Technology Policy

Policy regarding technology and its use is at the forefront of BHUSD's challenges. Teachers, Administrators, and District Staff are constantly challenged with non-technical issues related to security and access control to the internet.

It is recommended that BHUSD establish a policy decision making body. The district should establish a Policy Board and Policy Committee. The policy committee should be a small representative group consisting of an instructional representative, a site administrative representative, a district technical representative and a district instructional representative.

The policy committee will convene and develop district Ed Tech policies for submission to the policy board. Potential policies will be communicated to the Policy Committee by the district Technology Advisory Committee and any other stakeholder department or individual.

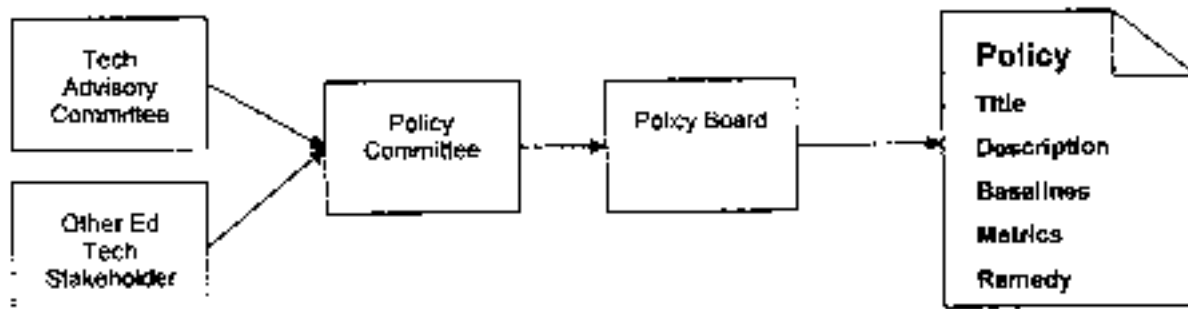
The policy board should consist of the Superintendent, and the Asst. Superintendents. The policy board should be convened informally as necessary to discuss and approve Ed Tech Policies.

Each policy will consist of the following components:

- Title
- Description
- Baselines and/ Metrics
- Remedies.

Current issues that need to be addressed by a policy board: computer platform standardization, and Internet access through the district web filter.

The following flowchart details the process for Education Technology Policy.



Beverly Hills High School Site



0 125 250 500 750 1,000 Feet



