
APPENDIX G – CALIFORNIA DEPARTMENT OF TRANSPORTATION BRIDGE INVENTORY RESULTS



Structure Maintenance & Investigations



Historical Significance - State Agency Bridges

District 07

Los Angeles County

Bridge Number	Bridge Name	Location	Historical Significance	Year Built	Year Wid/Ext
53 1261	WASHINGTON PLACE UC	07-LA-405-27.61-CLC	5. Bridge not eligible for NRHP	1960	
53 1262F	S710-E10 CONNECTOR OC	07-LA-710-R26.57-MONP	5. Bridge not eligible for NRHP	1965	
53 1263	213TH STREET UC	07-LA-405-10.88-CRSN	5. Bridge not eligible for NRHP	1961	
53 1264	AMESTOY AVENUE POC	07-LA-101-19.50-LA	5. Bridge not eligible for NRHP	1958	
53 1267	WESTWOOD FLOOD CONTROL CHANNEL	07-LA-405-28.61-LA	5. Bridge not eligible for NRHP	1959	2008
53 1270	BIXBY SLOUGH	07-LA-001-12.01-LA	5. Bridge not eligible for NRHP	1934	1975
53 1272	VINELAND AVENUE UC	07-LA-134-0.35-LA	5. Bridge not eligible for NRHP	1962	2004
53 1273	LANKERSHIM BLVD UC	07-LA-134-0.51-LA	5. Bridge not eligible for NRHP	1962	
53 1274	CAHUENGA BLVD UC	07-LA-134-0.86-LA	5. Bridge not eligible for NRHP	1962	
53 1275	LEDGE AVENUE UC	07-LA-134-1.11-LA	5. Bridge not eligible for NRHP	1962	2014
53 1276	FORMAN AVENUE UC	07-LA-134-1.36-LA	5. Bridge not eligible for NRHP	1962	2004
53 1277	PASS AVENUE OC	07-LA-134-1.82-BRB	5. Bridge not eligible for NRHP	1962	2011
53 1278	ALAMEDA AVENUE OC	07-LA-134-2.03-BRB	5. Bridge not eligible for NRHP	1962	2011
53 1279	HOLLYWOOD WAY OC	07-LA-134-2.11-BRB	5. Bridge not eligible for NRHP	1962	2011
53 1280	OLIVE AVENUE OC	07-LA-134-2.24-BRB	5. Bridge not eligible for NRHP	1962	
53 1281	CALIFORNIA STREET OC	07-LA-134-2.39-BRB	5. Bridge not eligible for NRHP	1962	
53 1282	BOB HOPE DRIVE UC	07-LA-134-2.67-BRB	5. Bridge not eligible for NRHP	1962	2014
53 1283	RIVERSIDE DRIVE UC	07-LA-134-2.90-BRB	5. Bridge not eligible for NRHP	1962	
53 1284F	S710-S405 CONNECTOR OC	07-LA-710-9.38-LBCH	5. Bridge not eligible for NRHP	1961	
53 1285	LOS ANGELES RIVER	07-LA-134-3.47-LA	5. Bridge not eligible for NRHP	1962	2006
53 1286	FOREST LAWN DRIVE UC	07-LA-134-3.81-LA	5. Bridge not eligible for NRHP	1962	
53 1287	RIVERSIDE DRIVE OC	07-LA-134-4.81-LA	5. Bridge not eligible for NRHP	1962	
53 1289	ENCINO AVENUE POC	07-LA-101-19.99-LA	5. Bridge not eligible for NRHP	1959	
53 1290M	BROCK AVENUE STORM DRAIN	07-LA-005-8.92-DNY	5. Bridge not eligible for NRHP	1953	1982
53 1291	BURBANK BLVD OC	07-LA-405-40.29-LA	5. Bridge not eligible for NRHP	1963	
53 1292	111TH PLACE OC	07-LA-110-14.18-LA	5. Bridge not eligible for NRHP	1989	
53 1296	PARK EQUESTRIAN UC	07-LA-005-25.07-LA	5. Bridge not eligible for NRHP	1957	
53 1297	GOLF CREEK	07-LA-005-25.55-LA	5. Bridge not eligible for NRHP	1957	1975
53 1301	SANTA MONICA VIADUCT	07-LA-010-14.23-LA	5. Bridge not eligible for NRHP	1959	
53 1303	BARRANCA STREET OC	07-LA-010-38.01-WCOV	5. Bridge not eligible for NRHP	1975	
53 1304	FOURTH STREET UC	07-LA-005-17.56-LA	5. Bridge not eligible for NRHP	1960	
53 1305	FIRST STREET UC	07-LA-005-17.77-LA	5. Bridge not eligible for NRHP	1959	
53 1306	ENCINO EQUESTRIAN UC	07-LA-101-18.51-LA	5. Bridge not eligible for NRHP	1958	
53 1310	COLFAX AVENUE UC	07-LA-101-12.35-LA	5. Bridge not eligible for NRHP	1959	
53 1311	RADFORD AVENUE UC	07-LA-101-12.60-LA	5. Bridge not eligible for NRHP	1959	1960
53 1312	MISSION ROAD UC	07-LA-005-18.78-LA	5. Bridge not eligible for NRHP	1959	
53 1313	MICHIGAN AVENUE PUC	07-LA-005-17.91-LA	5. Bridge not eligible for NRHP	1959	
53 1314	CESAR E. CHAVEZ AVENUE OC	07-LA-005-18.06-LA	5. Bridge not eligible for NRHP	1959	
53 1315	LAUREL CANYON BLVD UC	07-LA-101-12.85-LA	5. Bridge not eligible for NRHP	1959	1960
53 1316	S5-E10 CONNECTOR UC	07-LA-005-18.38-LA	5. Bridge not eligible for NRHP	1959	
53 1317F	S5-E10 CONNECTOR OC	07-LA-005-18.62-LA	5. Bridge not eligible for NRHP	1959	
53 1318	110/10WB SEPARATION	07-LA-110-21.45-LA	5. Bridge not eligible for NRHP	1959	
53 1319	W10-S110 CONNECTOR UC	07-LA-110-21.48-LA	5. Bridge not eligible for NRHP	1959	



Structure Maintenance & Investigations



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Bridge Number	Bridge Name	Location	Historical Significance	Year Built	Year Wid/Ext
53 1709	MARKLAND DRIVE UC	07-LA-060-R6.30-MTBL	5. Bridge not eligible for NRHP	1967	
53 1709K	MARKLAND DRIVE UC	07-LA-060-R6.30-MTBL	5. Bridge not eligible for NRHP	1967	
53 1710	195TH STREET OC	07-LA-605-R3.40-CRTS	5. Bridge not eligible for NRHP	1964	
53 1711	183RD STREET UC	07-LA-605-R4.26-CRTS	5. Bridge not eligible for NRHP	1966	
53 1712K	HUMPHREYS AVENUE RAMP SEPARATION	07-LA-710-24.32-LA	5. Bridge not eligible for NRHP	1967	
53 1714G	N710-E&W60 CONNECTOR OC	07-LA-710-24.61-LA	5. Bridge not eligible for NRHP	1967	
53 1715H	E60 & W60 - S710 CONNECTOR OC	07-LA-060-R3.28	5. Bridge not eligible for NRHP	1967	
53 1716F	S710-E&W60 CONNECTOR OC	07-LA-710-24.64-LA	5. Bridge not eligible for NRHP	1967	
53 1717H	E60 & W60 - N710 CONNECTOR OC	07-LA-060-R3.26	5. Bridge not eligible for NRHP	1967	
53 1718	BELLFLOWER BLVD UC	07-LA-091-R15.61-BFL	5. Bridge not eligible for NRHP	1968	
53 1719	BIXBY AVENUE UC	07-LA-091-R15.87-BFL	5. Bridge not eligible for NRHP	1968	2004
53 1720	WOODRUFF AVENUE UC	07-LA-091-R16.07-BFL	5. Bridge not eligible for NRHP	1968	2004
53 1721	DAIRY VALLEY OH	07-LA-605-R4.71-CRTS	5. Bridge not eligible for NRHP	1966	
53 1722	CARSON STREET UC	07-LA-605-R1.74-LKW	5. Bridge not eligible for NRHP	1966	2001
53 1723	SPRING STREET OC	07-LA-605-R0.29-LBCH	5. Bridge not eligible for NRHP	1965	
53 1724	CENTRALIA ROAD OC	07-LA-605-R2.31-LKW	5. Bridge not eligible for NRHP	1964	
53 1725	DEL AMO BLVD OC	07-LA-605-R2.87-CRTS	5. Bridge not eligible for NRHP	1966	
53 1726	REYES ADOBE OC	07-LA-101-36.18-AGRH	5. Bridge not eligible for NRHP	1965	2011
53 1727F	CESAR E CHAVEZ AVENUE UC (S710-60)	07-LA-710-24.97-LA	5. Bridge not eligible for NRHP	1967	
53 1728	BELVEDERE POC	07-LA-060-R3.88	5. Bridge not eligible for NRHP	1967	
53 1729	WOODS AVENUE UC	07-LA-060-R4.08-MONP	5. Bridge not eligible for NRHP	1967	2004
53 1730	LOST HILLS OC	07-LA-101-31.91	5. Bridge not eligible for NRHP	1965	
53 1731	LIBERTY CANYON ROAD UC	07-LA-101-32.78	5. Bridge not eligible for NRHP	1973	
53 1732	SOUTH STREET OC	07-LA-605-R3.75-CRTS	5. Bridge not eligible for NRHP	1966	
53 1733	STUDEBAKER ROAD UC	07-LA-605-R4.39-CRTS	5. Bridge not eligible for NRHP	1966	
53 1734	MEDNIK AVENUE OC	07-LA-060-R3.74	5. Bridge not eligible for NRHP	1967	
53 1735	ARTESIA BLVD UC	07-LA-605-R4.77-CRTS	5. Bridge not eligible for NRHP	1966	
53 1735G	N605-E91 CONNECTOR OC	07-LA-605-R4.78-CRTS	5. Bridge not eligible for NRHP	1966	
53 1736	RIO HONDO	07-LA-060-8.89	5. Bridge not eligible for NRHP	1966	
53 1737H	SAN GABRIEL RIVER (S605-N405)	07-LA-405-0.02-LBCH	5. Bridge not eligible for NRHP	1966	
53 1738	AVENUE "Q" UC	07-LA-014-R60.19-PMDL	5. Bridge not eligible for NRHP	1966	2006
53 1741	GALAVAN STORM DRAIN	07-LA-110-5.90-LA	5. Bridge not eligible for NRHP	1962	
53 1742	GRIDLEY ROAD POC	07-LA-605-R2.59-LKW	5. Bridge not eligible for NRHP	1966	
53 1744	CONCORD STREET UC	07-LA-134-R6.18-GNDL	5. Bridge not eligible for NRHP	1968	2005
53 1745	KENILWORTH AVENUE PUC	07-LA-134-R6.44-GNDL	5. Bridge not eligible for NRHP	1967	
53 1746	PACIFIC AVENUE UC	07-LA-134-R6.57-GNDL	5. Bridge not eligible for NRHP	1967	
53 1747	COLUMBUS AVENUE POC	07-LA-134-R6.74-GNDL	5. Bridge not eligible for NRHP	1968	
53 1748	CENTRAL AVENUE OC	07-LA-134-R6.96-GNDL	5. Bridge not eligible for NRHP	1968	1996
53 1749	BRAND BLVD OC	07-LA-134-R7.13-GNDL	5. Bridge not eligible for NRHP	1968	
53 1750	LOUISE STREET OC	07-LA-134-R7.26-GNDL	5. Bridge not eligible for NRHP	1968	
53 1751	JACKSON STREET OC	07-LA-134-R7.40-GNDL	5. Bridge not eligible for NRHP	1965	
53 1752	GENEVA STREET OC	07-LA-134-R7.60-GNDL	5. Bridge not eligible for NRHP	1968	
53 1755	CLAYTON OH	07-LA-060-12.18-IDY	5. Bridge not eligible for NRHP	1967	1981



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Bridge Number	Bridge Name	Location	Historical Significance	Year Built	Year Wid/Ext
53 2407F	W105-S110 CONNECTOR OC	07-LA-105-R7.43-LA	5. Bridge not eligible for NRHP	1991	
53 2408H	N&S110-E105 CONNECTOR OH	07-LA-110-13.70-LA	5. Bridge not eligible for NRHP	1991	
53 2409	BROADWAY OH	07-LA-105-R7.65-LA	5. Bridge not eligible for NRHP	1989	
53 2410L	MAIN STREET UC	07-LA-105-R7.79-LA	5. Bridge not eligible for NRHP	1985	
53 2410R	MAIN STREET UC	07-LA-105-R7.79-LA	5. Bridge not eligible for NRHP	1985	
53 2413K	ROSECRANS OFF-RAMP	07-LA-710-R15.20-LYN	5. Bridge not eligible for NRHP	1990	
53 2414F	W105-S710 CONNECTOR OC	07-LA-105-R13.65-LYN	5. Bridge not eligible for NRHP	1993	
53 2415G	N710-W105 CONNECTOR OC	07-LA-710-R15.44-LYN	5. Bridge not eligible for NRHP	1990	1991
53 2416F	S710-W105 CONNECTOR OC	07-LA-710-R16.01-LYN	5. Bridge not eligible for NRHP	1992	
53 2418G	E105-N710 CONNECTOR OC	07-LA-105-R13.14-LYN	5. Bridge not eligible for NRHP	1990	1991
53 2419	ROUTE 105/710 & LA RIVER SEPARATION	07-LA-105-R13.47-PRM	5. Bridge not eligible for NRHP	1993	
53 2420F	S710-E105 CONNECTOR OC	07-LA-710-R16.01-LYN	5. Bridge not eligible for NRHP	1990	1992
53 2421K	GARFIELD AVENUE-W105 ON RAMP	07-LA-105-R13.83-PRM	5. Bridge not eligible for NRHP	1993	
53 2423	GARFIELD AVENUE OC	07-LA-105-R14.13-PRM	5. Bridge not eligible for NRHP	1989	
53 2424	FACADE AVENUE OC	07-LA-105-R14.34-PRM	5. Bridge not eligible for NRHP	1988	
53 2425	PARAMOUNT BLVD OC	07-LA-105-R14.65-SGT	5. Bridge not eligible for NRHP	1989	
53 2426	ARTHUR AVENUE UTILITY & POC	07-LA-105-R14.43-PRM	5. Bridge not eligible for NRHP	1988	
53 2427	CENTURY BLVD UP	07-LA-105-R14.38-PRM	5. Bridge not eligible for NRHP	1988	
53 2428	MERKEL AVENUE OC	07-LA-105-R14.95-PRM	5. Bridge not eligible for NRHP	1989	
53 2429	DOWNEY AVENUE OC	07-LA-105-R15.09-PRM	5. Bridge not eligible for NRHP	1989	
53 2430	GARDENDALE STREET OC	07-LA-105-R15.36-DNY	5. Bridge not eligible for NRHP	1989	
53 2431Y	DYNAMETR DRIVE OC	07-LA-134-R13.22-PAS	5. Bridge not eligible for NRHP	1975	
53 2432	HAWTHORNE BLVD OC	07-LA-105-R3.05-HAW	5. Bridge not eligible for NRHP	1993	
53 2434T	IMPERIAL HIGHWAY ON-RAMP OC (CONNECTOR)	07-LA-405-R21.32-LA	5. Bridge not eligible for NRHP	1989	
53 2435	INGLEWOOD AVENUE UC	07-LA-105-R2.53-HAW	5. Bridge not eligible for NRHP	1993	
53 2435F	W105-N&S405 CONNECTOR OC (INGLEWOOD)	07-LA-105-R2.53-HAW	5. Bridge not eligible for NRHP	1993	
53 2438F	S405-W105 CONNECTOR SEPARATION	07-LA-405-R21.42-LA	5. Bridge not eligible for NRHP	1994	
53 2439S	NORTHBOUND COLLECTOR OC	07-LA-405-R21.28-LA	5. Bridge not eligible for NRHP	1989	
53 2442G	N405-W105 CONNECTOR SEPARATION	07-LA-405-R21.01-LA	5. Bridge not eligible for NRHP	1991	
53 2442H	N&S405-W105 CONNECTOR OC	07-LA-405-R21.18-LA	5. Bridge not eligible for NRHP	1989	
53 2443F	S405-E105 CONNECTOR SEPARATION	07-LA-405-R21.51-HAW	5. Bridge not eligible for NRHP	1991	
53 2452	ATLANTIC AVENUE UC	07-LA-105-R12.88-LYN	5. Bridge not eligible for NRHP	1990	
53 2453	WRIGHT ROAD UC	07-LA-105-R13.21-LYN	5. Bridge not eligible for NRHP	1993	
53 2455G	N710-E105 CONNECTOR OC	07-LA-710-R15.44-LYN	5. Bridge not eligible for NRHP	1992	
53 2456F	W105-N710 CONNECTOR/LA RIVER	07-LA-105-R13.65-PRM	5. Bridge not eligible for NRHP	1992	
53 2458	AVALON BLVD UC	07-LA-091-R7.44-CRSN	5. Bridge not eligible for NRHP	1974	
53 2459	CENTRAL AVENUE OC	07-LA-091-R8.43-CRSN	5. Bridge not eligible for NRHP	1974	
53 2460	JOYCE DRAIN	07-LA-060-20.06	5. Bridge not eligible for NRHP	1967	
53 2461	WALNUT DRAIN	07-LA-060-20.91	5. Bridge not eligible for NRHP	1967	
53 2462	WATER STREET DRAIN	07-LA-060-R21.78-IDY	5. Bridge not eligible for NRHP	1967	
53 2464	WHITE OAK AVENUE OC	07-LA-118-R6.80-LA	5. Bridge not eligible for NRHP	1980	
53 2465	ENCINO AVENUE OC	07-LA-118-R7.05-LA	5. Bridge not eligible for NRHP	1980	
53 2466	LOUISE AVENUE OC	07-LA-118-R7.30-LA	5. Bridge not eligible for NRHP	1980	



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Bridge Number	Bridge Name	Location	Historical Significance	Year Built	Year Wid/Ext
53 1228	PRAIRIE AVENUE UC	07-LA-405-16.78-TOR	5. Bridge not eligible for NRHP	1962	
53 1229	REDONDO BEACH BLVD UC	07-LA-405-16.88-TOR	5. Bridge not eligible for NRHP	1962	
53 1230	166TH STREET UC	07-LA-405-17.14-LNDL	5. Bridge not eligible for NRHP	1962	2003
53 1231	ROUTE405/107 SEPARATION	07-LA-405-17.56-LNDL	5. Bridge not eligible for NRHP	1962	
53 1232	MANHATTAN BEACH BLVD UC	07-LA-405-17.86-LNDL	5. Bridge not eligible for NRHP	1963	
53 1233	INGLEWOOD AVENUE UC	07-LA-405-18.23-LNDL	5. Bridge not eligible for NRHP	1963	
53 1234	MARINE AVENUE UC	07-LA-405-18.63-RDOB	5. Bridge not eligible for NRHP	1963	
53 1235	LAWNDALE OH	07-LA-405-18.92-HAW	5. Bridge not eligible for NRHP	1963	
53 1236	ROSECRANS AVENUE UC	07-LA-405-19.21-HAW	5. Bridge not eligible for NRHP	1963	
53 1237	135TH STREET UC	07-LA-405-19.74-HAW	5. Bridge not eligible for NRHP	1963	1985
53 1238	129TH STREET OH	07-LA-405-20.18-HAW	5. Bridge not eligible for NRHP	1963	1989
53 1238G	N405-105 CONNECTOR OH	07-LA-405-20.19-HAW	5. Bridge not eligible for NRHP	1989	
53 1239	EL SEGUNDO BLVD UC	07-LA-405-20.22-HAW	5. Bridge not eligible for NRHP	1963	1989
53 1239H	E&W105-S405 CONNECTOR OC (EL SEGUNDO BLVD)	07-LA-105-R2.05-LA	5. Bridge not eligible for NRHP	1989	
53 1239J	S405-EL SEGUNDO BLVD OFF-RAMP	07-LA-405-20.24-HAW	5. Bridge not eligible for NRHP	1989	
53 1240	120TH STREET UC	07-LA-405-R20.73-ESEG	5. Bridge not eligible for NRHP	1963	1989
53 1240G	120TH STREET UC (N405-105)	07-LA-405-R20.72	5. Bridge not eligible for NRHP	1989	
53 1240H	E&W105-S405 CONNECTOR OC (120TH ST)	07-LA-105-R2.02	5. Bridge not eligible for NRHP	1989	
53 1241	IMPERIAL HIGHWAY UC	07-LA-405-R21.22-LA	5. Bridge not eligible for NRHP	1963	1994
53 1241J	IMPERIAL HIGHWAY UC (SOUTH OFF-RAMP)	07-LA-405-R21.22-LA	5. Bridge not eligible for NRHP	1994	
53 1241S	IMPERIAL HIGHWAY UC, NORTH COLLECTOR RAMP	07-LA-405-R21.22-LA	5. Bridge not eligible for NRHP	1963	1994
53 1241T	IMPERIAL HIGHWAY UC (NORTH ON-RAMP)	07-LA-405-R21.22-HAW	5. Bridge not eligible for NRHP	1994	
53 1242	LENNOX BLVD UC	07-LA-405-21.74-LA	5. Bridge not eligible for NRHP	1963	
53 1242K	LENNOX BLVD UC, S/B COLL	07-LA-405-21.74-LA	5. Bridge not eligible for NRHP	1989	
53 1242S	LENNOX BLVD UC, N/B COLL	07-LA-405-21.74-LA	5. Bridge not eligible for NRHP	1989	
53 1243	CENTURY BLVD UC	07-LA-405-22.22-ING	5. Bridge not eligible for NRHP	1963	
53 1244	ARBOR VITAE STREET OC	07-LA-405-22.74-ING	5. Bridge not eligible for NRHP	1963	
53 1245	HILLCREST BLVD OC	07-LA-405-23.00-ING	5. Bridge not eligible for NRHP	1963	
53 1246	MANCHESTER BLVD OC	07-LA-405-23.36-ING	5. Bridge not eligible for NRHP	1961	
53 1247	FLORENCE AVENUE UP	07-LA-405-23.51-ING	5. Bridge not eligible for NRHP	1961	
53 1248	FLORENCE AVENUE OC	07-LA-405-23.50-ING	5. Bridge not eligible for NRHP	1961	
53 1249	LA CIENEGA BLVD NB OC	07-LA-405-23.64-ING	5. Bridge not eligible for NRHP	1961	
53 1250	LA CIENEGA BLVD SB OC	07-LA-405-23.71-ING	5. Bridge not eligible for NRHP	1961	
53 1251	LA TIJERA BLVD OC	07-LA-405-24.27-LA	5. Bridge not eligible for NRHP	1963	
53 1252	CENTINELA CREEK	07-LA-405-25.54-CLC	5. Bridge not eligible for NRHP	1963	
53 1253	CENTINELA AVENUE UC	07-LA-405-25.27-ING	5. Bridge not eligible for NRHP	1963	1987
53 1254	SEPULVEDA BLVD UC	07-LA-405-25.46-CLC	5. Bridge not eligible for NRHP	1963	2014
53 1255	JEFFERSON BLVD UC	07-LA-405-25.93-LA	5. Bridge not eligible for NRHP	1963	
53 1256	BALLONA CREEK	07-LA-405-26.49-CLC	5. Bridge not eligible for NRHP	1960	2009
53 1257	EAST BELLFLOWER OH	07-LA-091-R16.54-BFL	5. Bridge not eligible for NRHP	1968	
53 1258	BRADDOCK DRIVE UC	07-LA-405-26.96-LA	5. Bridge not eligible for NRHP	1960	2009
53 1259	CULVER BLVD UC	07-LA-405-27.20-CLC	5. Bridge not eligible for NRHP	1960	2009
53 1260	WASHINGTON BLVD UC	07-LA-405-27.45-CLC	5. Bridge not eligible for NRHP	1960	2009

APPENDIX H – PROPERTY EXEMPTIONS TABLE

Please Note: The following table includes the 257 properties in the APE that were exempt from evaluation. The SHPO approved the methodology employed to exempt properties. Exempted properties are those lacking the critical essential physical features that convey significance. The following properties were surveyed and photographed and their alterations noted; they were not formally recorded or evaluated.



APE Sheet #: 1
Address: 430 East Commercial Street
 Los Angeles
APN: 5173-001-900
Year Built: Between 1936 & 1941
Alterations: Stucco cladding applied; original window openings enclosed; large portion of building or additional building removed from property.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 2
Address: 455 Seaton Street
 Los Angeles
APN: 5163-026-008
Year Built: 1928
Alterations: Concrete block parapet wall added; stucco cladding applied to originally exposed brick walls; original window and door openings enclosed.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 5
Address: 1020 Wilde Street
 Los Angeles
APN: 5147-033-021
Year Built: 1941
Alterations: 110' x 150' addition constructed on west elevation in 1969; original openings on primary elevation enclosed; original doors replaced throughout.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 5

Address: 1215 Industrial Street
Los Angeles

APN: 5147-033-011

Year Built: 1927

Alterations: Original openings on primary elevation enclosed; addition constructed on south elevation; primary elevation parapet altered (1953); original doors replaced throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 5

Address: 1225 East 7th Street
Los Angeles

APN: 5147-034-001

Year Built: 1921

Alterations: Portions of original building demolished; several window openings on primary elevation infilled; stucco applied to exterior walls.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 1000 East 7th Street
Los Angeles

APN: 5146-001-001

Year Built: 1925

Alterations: Smooth finished stucco cladding and tile applied to exterior walls; all original windows and doors replaced; non-original marquee, sign and light fixtures installed.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 908 East 7th Street
Los Angeles

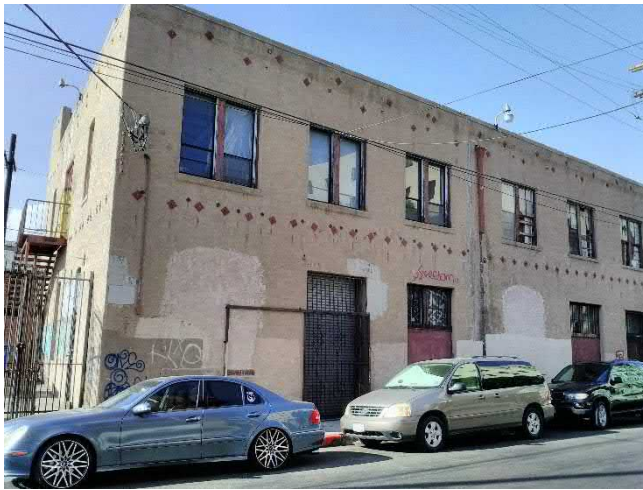
APN: 5146-030-059

Year Built: 1942

Alterations: Building significantly expanded to the south in the 1970s; concrete block veneer applied to primary elevation of original building; several openings enclosed.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 713 Gladys Avenue
Los Angeles

APN: 5146-300-047

Year Built: 1904

Alterations: Stucco applied to exterior walls; original windows replaced; many openings infilled.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 717 Stanford Avenue
Los Angeles

APN: 5146-031-044

Year Built: 1930

Alterations: non-original cladding (1953), metal awning, and security doors added to primary elevation.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 731 Stanford Avenue
Los Angeles

APN: 5146-031-039

Year Built: 1924

Alterations: Enclosure of large openings on primary elevation; modification (enlargement) of bay door opening on primary elevation; replacement of original doors.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 746 Crocker Street
Los Angeles

APN: 5146-032-038

Year Built: 1932

Alterations: Several additions constructed; original windows replaced; many original doors replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 750 Crocker Street
Los Angeles

APN: 5146-020-017

Year Built: 1916

Alterations: Original windows and doors replaced; openings on primary elevation modified; stucco cladding added.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 766 Crocker Street
Los Angeles

APN: 5146-027-019

Year Built: 1927

Alterations: Original bay door opening on primary elevation infilled.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 715 East 8th Street
Los Angeles

APN: 5146-026-090

Year Built: 1973

Alterations: Stucco cladding and decorative cornice added to multiple elevations.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 752 South San Pedro Street
Los Angeles

APN: 5146-026-011

Year Built: 1920

Alterations: Stucco cladding applied on ground story; original windows and doors replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 760 South San Pedro Street
Los Angeles

APN: 5146-026-013

Year Built: 1911

Alterations: Stucco cladding applied;
original windows and doors replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 517 East 8th Street
Los Angeles

APN: 5145-005-021

Year Built: between 1972 and 1980

Alterations: Significantly expanded to
both the north and south in the 1980s.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 770 Wall Street
Los Angeles

APN: 5145-005-011

Year Built: 1948

Alterations: Non-original stucco
cladding applied; original doors and
windows on ground story replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 766 Santee Street
Los Angeles

APN: 5145-003-007

Year Built: 1942

Alterations: non-original cladding added to primary elevation; original windows and doors replaced; added onto in 1948.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 211 East 8th Street
Los Angeles

APN: 5145-003-004

Year Built: 1922

Alterations: Original windows and doors replaced; stucco cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 4

Address: 722 South Los Angeles Street
Los Angeles

APN: 5145-003-001

Year Built: 1919

Alterations: Plyboard, stone and metal cladding applied; original ground-story doors and windows replaced.

Date of Evaluation: October 5, 2018

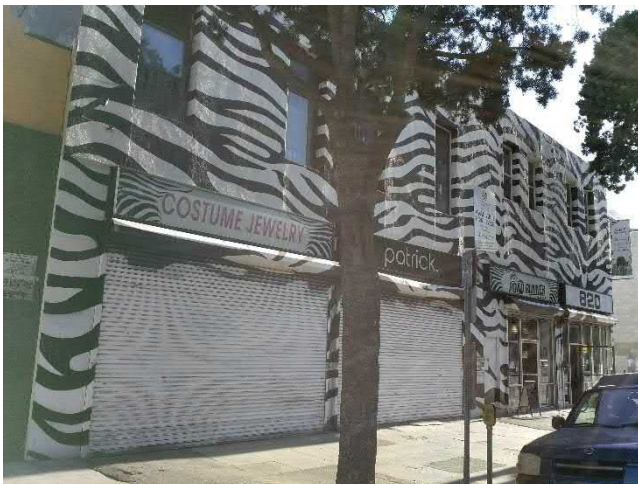
Additional Notes: N/A



APE Sheet #: 4
Address: 752 South Los Angeles Street
Los Angeles
APN: 5145-003-002
Year Built: 1912
Alterations: All windows on façade, ground-story commercial storefronts and metal railing surrounds on fire escapes have been replaced.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 4
Address: 755 South Los Angeles Street
Los Angeles
APN: 5145-001-013
Year Built: 1914
Alterations: Original windows and doors replaced; tile cladding applied on ground story. Brise soleil added on primary elevation.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 3
Address: 818 South Main Street
Los Angeles
APN: 5145-015-013
Year Built: 1906
Alterations: Significantly expanded to the rear; original doors and windows replaced; window openings on primary elevation modified.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 3

Address: 317 West 8th Street
Los Angeles

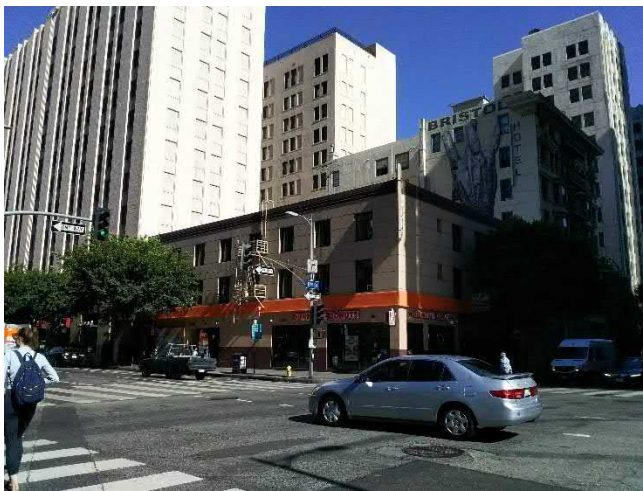
APN: 5144-014-025

Year Built: 1945

Alterations: Non-original stone cladding and upper-level windows.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 3

Address: 427 West 8th Street
Los Angeles

APN: 5144-013-027

Year Built: 1910

Alterations: Original windows and doors replaced; non-original stucco cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 3

Address: 809 Flower Street
Los Angeles

APN: 5144-021-030

Year Built: 1922

Alterations: Original windows and doors replaced; original ground-story storefronts modified.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 5

Address: 1525 Industrial Street
Los Angeles

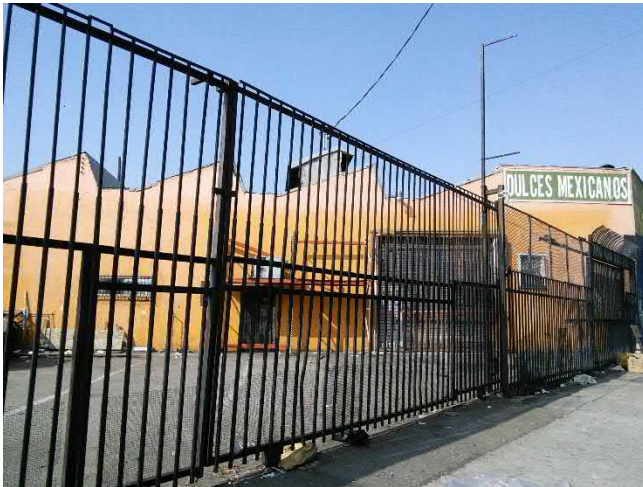
APN: 5164-010-007

Year Built: Initially constructed in 1907; added onto many times successively (1916, 1937, 1941)

Alterations: Several additions; original openings infilled; stucco-cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: Property includes sprawling-planned building constructed progressively.



APE Sheet #: 5

Address: 1700 East Olympic
Boulevard/918 & 922 Long Beach
Avenue
Los Angeles

APN: 5130-023-020 (1700 Olympic);
5130-023-019 (918 Long Beach Avenue.);
5130-023-018 (922 Long Beach Avenue.)

Year Built: 1918

Alterations: Several original openings infilled (over 10 windows and at least 1 bay door opening); original doors and windows replaced; 40' x 120' addition (1941).

Date of Evaluation: October 5, 2018

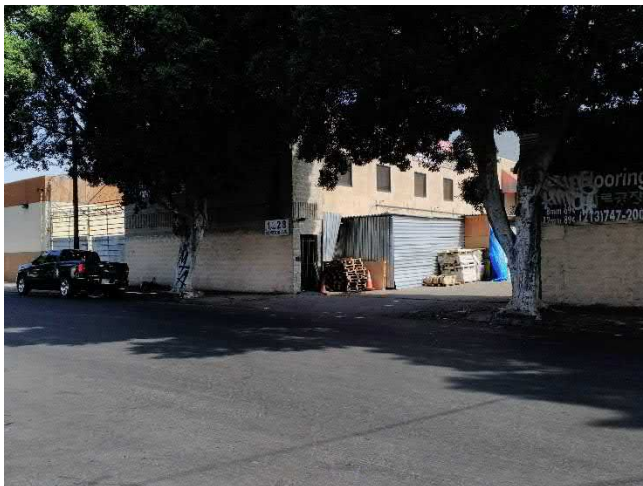
Additional Notes: Property (comprised of three Assessor's parcels) includes large building and associated ancillary structure.



APE Sheet #: 5
Address: 1740 East Olympic Boulevard
 Los Angeles
APN: 5130-023-043
Year Built: 1941
Alterations: Two buildings expanded and joined in 1993.
Date of Evaluation: October 5, 2018
Additional Notes: Initial construction consisted of two separate buildings.



APE Sheet #: 5
Address: 1206 Long Beach Avenue
 Los Angeles
APN: 5130-023-012
Year Built: 1924
Alterations: Non-original cladding applied; original doors replaced.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 5 & 6
Address: 1228 Compton Avenue
 Los Angeles
APN: 5130-024-002
Year Built: ca 1970
Alterations: building significantly expanded with a large addition following 1980.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 6

Address: 1450 Long Beach Avenue
Los Angeles

APN: 5130-018-015

Year Built: 1937

Alterations: large additions constructed to expand the building to the east in 1947 and to the south (in 1988); original doors and windows replaced; mural applied to original brick cladding.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 6

Address: 1480 Long Beach Avenue
Los Angeles

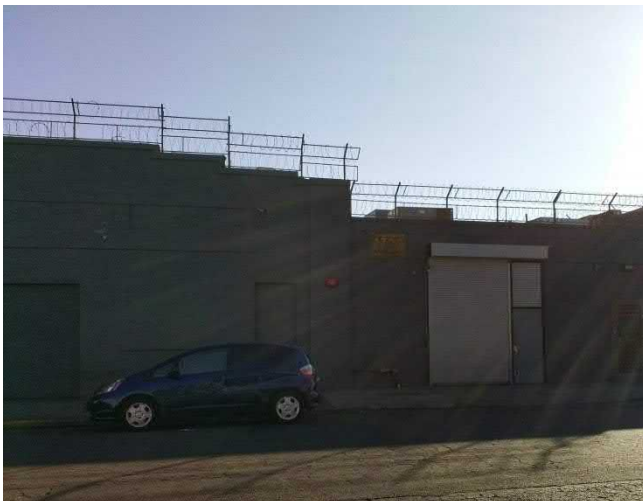
APN: 5130-018-018

Year Built: 1945

Alterations: Building expanded significantly to the west with incompatible addition.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 6

Address: 1722 East 16th Street
Los Angeles

APN: 5167-002-033

Year Built: 1921

Alterations: Many original window openings infilled; original doors replaced.

Date of Evaluation: November 12, 2018

Additional Notes: N/A



APE Sheet #: 6
Address: 1708 East 16th Street
Los Angeles
APN: 5167-002-034
Year Built: 1928
Alterations: Non-original stucco cladding applied on primary elevation.
Date of Evaluation: November 12, 2018
Additional Notes: N/A



APE Sheet #: 6
Address: 1626 Long Beach Avenue
Los Angeles
APN: 5167-002-038
Year Built: 1925
Alterations: Standing seam metal additions to south elevation and along original roofline, non-original stucco cladding applied on primary elevation.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 6
Address: 2131 Long Beach Avenue
Los Angeles
APN: 5118-024-015 & 5118-024-016
Year Built: 1961
Alterations: Addition constructed on primary elevation (between 1964 and 1973)
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 6

Address: 2211 Long Beach Avenue
Los Angeles

APN: 5118-023-022

Year Built: 1905

Alterations: Additions constructed on west and north elevations; original windows replaced with aluminum sliders throughout; non-original stucco cladding applied.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 6 & 7

Address: 1706 East 23rd Street
Los Angeles

APN: 5167-015-006

Year Built: 1934

Alterations: Non-original windows, doors, and cladding applied; many original openings infilled.

Date of Evaluation: October 12, 2018

Additional Notes: Building relocated to parcel in 1940.



APE Sheet #: 6 & 7

Address: 2312 Long Beach Avenue
Los Angeles

APN: 5167-015-057

Year Built: 1930

Alterations: Addition constructed on south elevation (ca. 2016); original tile coping replaced with wood; modern commercial entry installed.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 6 & 7
Address: 2309 Long Beach Avenue
 Los Angeles
APN: 5118-021-019
Year Built: 1926
Alterations: Non-original stucco cladding applied; original window openings infilled, non-original metal door at installed at primary entry.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7
Address: 2652 Long Beach Avenue
 Los Angeles
APN: 5117-017-017
Year Built: 1965
Alterations: Original 1965 building has been significantly expanded with large buildings and/or additions constructed between 1980 and 1960.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7
Address: 2521 and 2525 Long Beach Avenue
 Los Angeles
APN: 5117-002-010
Year Built: ca. 1954; 1968
Alterations: Ca. 1954 building (2521) extensively rebuilt at front (east) and rear (west) ends in 1990s; 1968 building (2525) features non-original doors.
Date of Evaluation: October 12, 2018
Additional Notes: Property includes two buildings, one that fronts Long Beach Avenue and another that fronts East Adams Boulevard.



APE Sheet #: 7
Address: 1655 East 27th Street
Los Angeles
APN: 5117-003-037
Year Built: 1963 & 1970
Alterations: Original windows replaced;
several original window openings
modified.
Date of Evaluation: October 12, 2018
Additional Notes: Primary building
constructed in 1963; secondary building
added in 1970.



APE Sheet #: 7
Address: 3201 Long Beach Avenue
Los Angeles
APN: 5117-005-001
Year Built: 1927
Alterations: Non-original stucco
cladding applied; original doors and
windows replaced throughout.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7
Address: 1679 East 33rd Street
Los Angeles
APN: 5117-005-020
Year Built: 1915 & 1920
Alterations: All buildings have been
highly modified and feature non-
original windows, doors and
cladding; corner building has been
added into and its roofline modifies.
Date of Evaluation: October 12, 2018
Additional Notes: Property includes
three buildings (constructed in 1915 and
1920) and one two-car garage.



APE Sheet #: 7
Address: 3301 Long Beach Avenue
 Los Angeles
APN: 5117-010-014
Year Built: 1939
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7
Address: 3305 Long Beach Avenue
 Los Angeles
APN: 5117-010-023
Year Built: 1940
Alterations: Large addition constructed on south elevation following 1972.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7
Address: 1692 Martin Luther King Jr. Boulevard
 Los Angeles
APN: 5117-011-012
Year Built: 1903
Alterations: Large ca.-1950 front (south) addition.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 7

Address: 4015 Long Beach Avenue
Los Angeles

APN: 5117-011-028

Year Built: 1923

Alterations: Non-original stucco cladding applied; original windows replaced with vinyl throughout.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 1680 East 40th Place
Los Angeles

APN: 5117-015-030

Year Built: 1916-1960

Alterations: Original roof structure modified; original arched windows infilled.

Date of Evaluation: October 12, 2018

Additional Notes: Built in three phases (1916, 1952, 1960) with common main (north) façade.



APE Sheet #: 7

Address: 1683 East 41st Street
Los Angeles

APN: 5117-015-017

Year Built: 1911

Alterations: Non-original stucco cladding applied; wood roof trusses reinforced with steel members; original storefront windows and door replaced.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 1686 East 41st Street
Los Angeles

APN: 5116-013-024

Year Built: 1923

Alterations: Non-original stucco cladding applied on east elevation; addition constructed on north elevation; original door openings infilled with concrete block.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 1702 East 41st Street
Los Angeles

APN: 5116-029-050

Year Built: 1928 & 1949

Alterations: 1928 and 1949 commercial buildings adjoined with an addition; original openings including primary entrance and storefront window, infilled.

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two buildings that were adjoined post-construction.



APE Sheet #: 7

Address: 1666 East 41st Place
Los Angeles

APN: 5116-014-013

Year Built: 1910

Alterations: Non-original stucco cladding applied; several large-scale additions constructed; original window sash replaced; exterior staircase added.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 1700 East 42nd Street
Los Angeles

APN: 5116-025-001

Year Built: 1912

Alterations: Non-original stucco cladding applied; original windows replaced with vinyl throughout; addition constructed on south elevation; original balustrades replaced.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 1665 East 43rd Street
Los Angeles

APN: 5116-017-018

Year Built: 1903

Alterations: Primary residence porch enclosed; non-original stucco cladding applied; original windows replaced with vinyl throughout. Addition to secondary dwelling doubled its size.

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two buildings, a primary residence fronting 1665 East 43rd Street and a secondary residence to its rear.



APE Sheet #: 7

Address: 4216 Long Beach Avenue
Los Angeles

APN: 5116-025-032

Year Built: 1912

Alterations: Large addition constructed on south elevation; original doors replaced with roll-up doors.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4300 Honduras Street (1666 and 1662 East 43rd Street)
Los Angeles

APN: 5116-021-011

Year Built: 1922 (both buildings)

Alterations: Non-original stucco cladding applied; original windows replaced throughout.

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two single-family residences adjacently located.



APE Sheet #: 7

Address: 4301 Long Beach Avenue
Los Angeles

APN: 5116-021-012

Year Built: 1958

Alterations: Original opening on primary elevation infilled. Stucco appears non-original.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4308 Honduras Street
Los Angeles

APN: 5116-021-010

Year Built: 1907

Alterations: Original windows replaced throughout; non-original stucco cladding applied.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4316 Honduras Street
Los Angeles

APN: 5116-021-008

Year Built: 1921

Alterations: Original windows replaced throughout; non-original stucco cladding applied.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4317 Long Beach Avenue
Los Angeles

APN: 5116-021-015

Year Built: 1910; 1949

Alterations: Residence fronting Honduras Street features non-original stucco cladding and replacement windows. Long Beach Avenue building includes non-original door and windows; addition constructed on south elevation.

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two buildings, one that fronts Honduras Street (1910) and another that fronts Long Beach Avenue (1949).



APE Sheet #: 7

Address: 1700 East 43rd Street & 4308
Long Beach Avenue
Los Angeles

APN: 5116-022-009

Year Built: 1907; pre-1949

Alterations: Both buildings feature non-original window and doors; corner building additionally features non-original stucco cladding and has been added onto;

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two buildings, one on the corner of Long Beach Avenue and East 43rd Street (1907) and one mid-block on Long Beach Avenue (pre-1949).



APE Sheet #: 7

Address: 4322 Honduras Street
Los Angeles

APN: 5116-021-017

Year Built: 1921 (residence); pre-1951
(commercial building)

Alterations: Residence relocated to
parcel in 1951; commercial building
partially demolished to accommodate
road widening; window opening
infilled; original primary entry door
replaced.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4326 Honduras Street
Los Angeles

APN: 5116-021-019

Year Built: 1918

Alterations: Non-original stucco cladding applied; concrete block porch wall added; original windows replaced with vinyl throughout.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4328 Honduras Street
Los Angeles

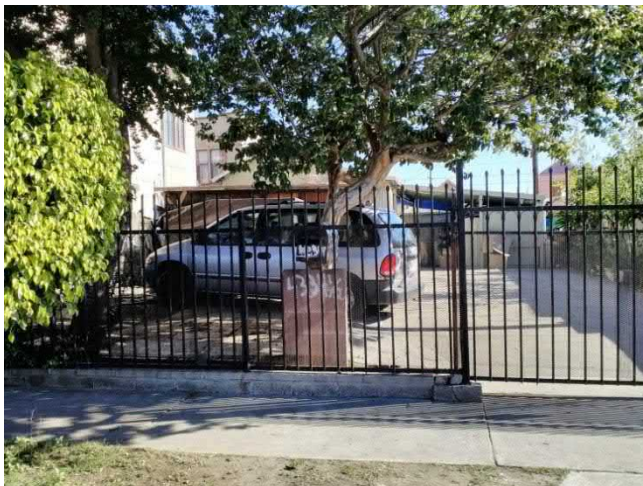
APN: 5116-021-018

Year Built: 1926

Alterations: Non-original stucco cladding applied; original sash replaced with and aluminum sliders.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 7

Address: 4334 Honduras Street
Los Angeles

APN: 5116-021-016

Year Built: pre-1948; post-1980

Alterations: Non-original stucco cladding applied; original windows replaced with aluminum sliders.

Date of Evaluation: October 12, 2018

Additional Notes: Property includes two buildings; building at rear (east) of parcel was constructed post-1980.



APE Sheet #: 7 & 8
Address: 4406 Long Beach Avenue
Los Angeles
APN: 5106-004-004
Year Built: 1945
Alterations: Stucco cladding appears non-original; lack of windows suggests further alteration.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 7 & 8
Address: 4407 Staunton Avenue
Los Angeles
APN: 5106-004-028 & 5106-004-001
Year Built: 1929 (front building); pre-1952 (rear building)
Alterations: Front building: brick and plaster cladding replaced with stucco; front doors replaced; window filled. Rear building: more than doubled in size with addition (1952-1963).
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 7 & 8
Address: 4417 Long Beach Avenue
Los Angeles
APN: 5106-004-018
Year Built: 1908
Alterations: Original windows and doors replaced; non-original stucco cladding applied.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8

Address: 4423 Long Beach Avenue
Los Angeles

APN: 5106-004-036

Year Built: 1912

Alterations: Original windows and doors replaced; non-original stucco cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4425 Long Beach Avenue
Los Angeles

APN: 5106-004-034

Year Built: 1948

Alterations: Original windows and doors replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4430 Honduras Street
Los Angeles

APN: 5106-004-022

Year Built: 1909

Alterations: Original windows and doors replaced; non-original stucco cladding applied.

Date of Evaluation: October 12, 2018

Additional Notes: N/A



APE Sheet #: 8
Address: 4432 Honduras Street
Los Angeles
APN: 5106-004-023
Year Built: 1944
Alterations: Original opening on primary elevation infilled; non-original stucco cladding applied.
Date of Evaluation: October 12, 2018
Additional Notes: N/A



APE Sheet #: 8
Address: 4436 Honduras Street
Los Angeles
APN: 5106-004-024
Year Built: 1920
Alterations: Original windows and doors replaced; non-original stucco cladding applied.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8
Address: 4502 Long Beach Avenue
Los Angeles
APN: 5106-007-003
Year Built: 1911
Alterations: Non-original stucco cladding applied; original windows replaced with vinyl throughout.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8

Address: 4507 Long Beach Avenue
Los Angeles

APN: 5106-010-003

Year Built: 1949

Alterations: Building significantly expanded with multiple additions; original windows replaced throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4508 Long Beach Avenue
Los Angeles

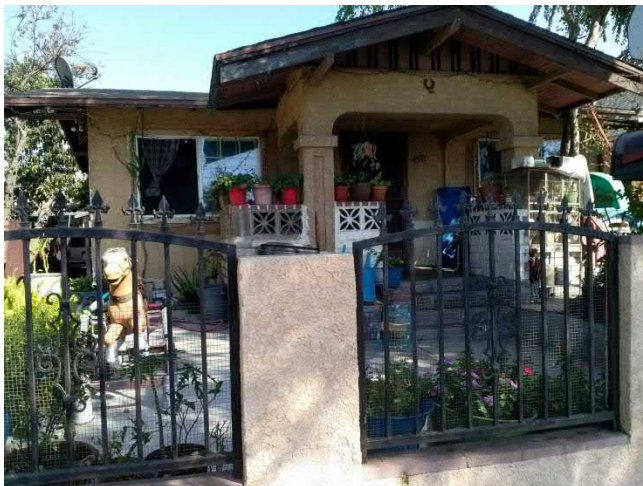
APN: 5106-007-005

Year Built: 1920

Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout; addition constructed at rear of building.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4512 Long Beach Avenue
Los Angeles

APN: 5106-007-007

Year Built: 1920

Alterations: Non-original stucco cladding applied; concrete block porch wall added; original windows replaced with vinyl sash throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4514 Long Beach Avenue
Los Angeles

APN: 5106-007-009

Year Built: 1911

Alterations: Non-original textured stucco cladding applied; original windows replaced with vinyl sash; non-original tile cladding applied to front steps and porch.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4518 Long Beach Avenue
Los Angeles

APN: 5106-007-011

Year Built: 1938

Alterations: Parapet added to north elevation; original windows replaced throughout.

Date of Evaluation: October 5, 2018

Additional Notes: Building relocated to the subject parcel in 1949.



APE Sheet #: 7

Address: 4518 Honduras Street
Los Angeles

APN: 5106-010-007

Year Built: 1912 & 1952

Alterations: Original windows and doors replaced throughout; non-original cladding applied; original porch posts and balustrades replaced on Honduras Street-facing building.

Date of Evaluation: October 5, 2018

Additional Notes: Two buildings on property; one fronts Honduras Street and the other fronts Long Beach Avenue.



APE Sheet #: 8

Address: 4848 Long Beach Avenue
Los Angeles

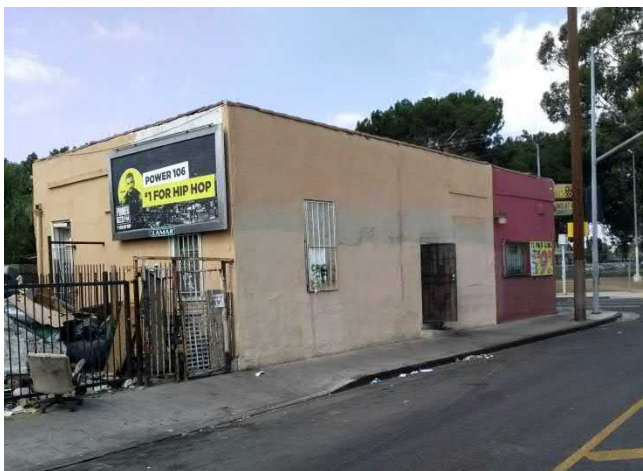
APN: 5106-027-001

Year Built: 1924

Alterations: Building significantly expanded with additions to north and south elevations; original openings on west elevation infilled.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4851 Long Beach Avenue
Los Angeles

APN: 5106-020-001

Year Built: 1908

Alterations: Building significantly expanded with additions on south and west elevations; original openings infilled.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4867 Long Beach Avenue
Los Angeles

APN: 5106-020-011

Year Built: 1900

Alterations: Non-original stucco cladding applied; original doors and windows replaced throughout; non-original detailing including balcony rails added; rear, second-story appear to be an addition.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 4922-50 Long Beach Avenue
Los Angeles

APN: 5106-027-004

Year Built: 1925

Alterations: Infill of loading bays on primary elevation; stucco cladding appears non-original.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 5000 Long Beach Avenue
Los Angeles

APN: 5106-027-007

Year Built: 1929

Alterations: Infill of all original bay openings on west and north elevations; doors replaced throughout; stucco appears non-original.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 5055 Long Beach Avenue
Los Angeles

APN: 510-6024-020

Year Built: 1900

Alterations: Original windows and doors replaced; non-original stucco cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 5057 Long Beach Avenue
Los Angeles

APN: 5106-024-021

Year Built: 1928

Alterations: Original windows and doors replaced throughout; non-original stucco and tile cladding applied.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 1656 East 51st Street
Los Angeles

APN: 5106-026-016

Year Built: 1950

Alterations: Addition constructed to expand primary (north) elevation; original windows replaced throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8
Address: 1652 East 51st Street
Los Angeles
APN: 5106-026-015
Year Built: 1928
Alterations: Original windows and doors replaced; non-original cladding applied.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8
Address: 1651 East 52nd Street
Los Angeles
APN: 5106-026-031
Year Built: 1930
Alterations: Building significantly expanded with addition at rear; original windows, doors, and cladding replaced.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8
Address: 5111 Long Beach Avenue
Los Angeles
APN: 5106-026-032
Year Built: 1923
Alterations: Primary entry opening infilled; new entry installed; roofline altered on and near the eastern elevation.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8

Address: 1650 East 52nd Street
Los Angeles

APN: 5105-001-015

Year Built: 1911

Alterations: Non-original cladding applied; original doors and windows replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8

Address: 5227 Long Beach Avenue
Los Angeles

APN: 5105-001-034

Year Built: 1940

Alterations: Original openings infilled on both buildings; original windows and doors replaced.

Date of Evaluation: October 5, 2018

Additional Notes: Property includes two buildings; a commercial building on the corner of Long Beach Ave and East 53rd Street and a residential building fronting Long Beach Avenue that was recently converted from commercial use.





APE Sheet #: 8 and 9

Address: 5528 and 5532 Long Beach Avenue Los Angeles

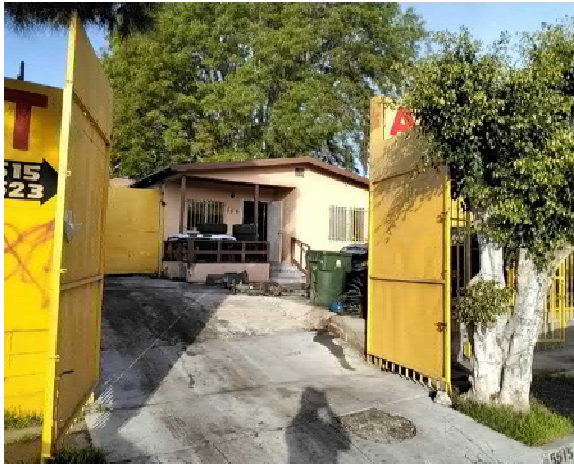
APN: 510-5013-020 and 510-5013-021

Year Built: 1941

Alterations: Original openings infilled; original windows and doors replaced; non-original stucco cladding applied.

Date of Evaluation: February 1, 2023

Additional Notes: N/A



APE Sheet #: 8

Address: 5515-23 Duarte Street Los Angeles

APN: 5105-013-003, 5105-013-004, 5105-013-005

Year Built: 1920

Alterations: Original windows and doors replaced; non-original stucco cladding applied; porch alterations.

Date of Evaluation: February 1, 2023

Additional Notes: N/A



APE Sheet #: 8 & 9

Address: 5527 Duarte Street Los Angeles

APN: 5105-013-006

Year Built: 1911

Alterations: Non-original cladding applied; original doors and windows replaced; porch alterations.

Date of Evaluation: February 1, 2023

Additional Notes: N/A



APE Sheet #: 8 & 9

Address: 5535 and 5539 Duarte Street
Los Angeles

APN: 5105-013-008 and 5105-013-009

Year Built: 1962

Alterations: Non-original cladding applied; original doors and windows replaced.

Date of Evaluation: February 1, 2023

Additional Notes: N/A



APE Sheet #: 8 & 9

Address: 5545 Duarte Street
Los Angeles

APN: 510-5013-011

Year Built: 1908

Alterations: Non-original cladding applied; original doors and windows replaced.

Date of Evaluation: February 1, 2023

Additional Notes: N/A



APE Sheet #: 9

Address: 5551 Duarte Street
Los Angeles

APN: 5105-013-012

Year Built: 1921

Alterations: Non-original cladding applied; original doors and windows replaced; front steps altered.

Date of Evaluation: February 1, 2023

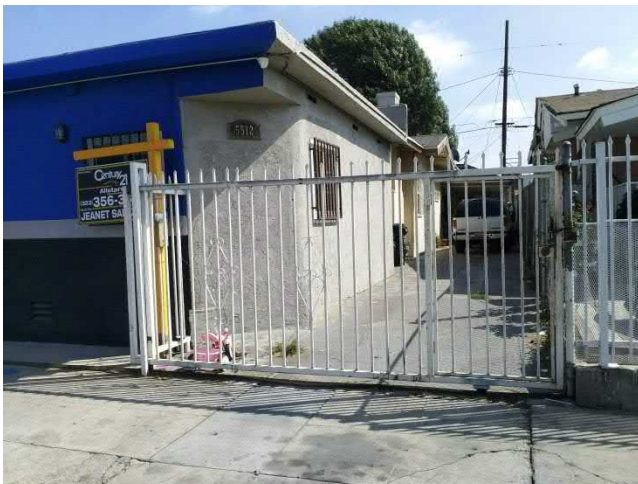
Additional Notes: N/A



APE Sheet #: 9
Address: 5555 Duarte Street
Los Angeles
APN: 5105-013-013
Year Built: 1905
Alterations: Original doors and windows replaces; non-original stucco cladding applied; porch alterations.
Date of Evaluation: February 1, 2023
Additional Notes: N/A



APE Sheet #: 8 & 9
Address: 5509 Long Beach Avenue
Los Angeles
APN: 5105-014-002
Year Built: 1924
Alterations: Addition constructed at rear of building; original doors and windows replaced throughout.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8 & 9
Address: 5512 Long Beach Avenue
Los Angeles
APN: 5105-013-025
Year Built: 1914
Alterations: Addition constructed at front of building; non-original stucco cladding applied; windows replaced throughout; additional buildings added at rear of parcel.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 8 & 9

Address: 5516 Long Beach Avenue
Los Angeles

APN: 5105-013-024

Year Built: 1914

Alterations: Building significantly expanded with addition at the rear; non-original stucco cladding applied; original windows replaced throughout; eaves boxed; carport added.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 8 & 9

Address: 5524 Long Beach Avenue
Los Angeles

APN: 5105-013-022

Year Built: 1922

Alterations: Non-original stucco cladding applied; original windows replaced throughout; addition on rear; carport added.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 5542 Long Beach Avenue
Los Angeles

APN: 5105-013-017

Year Built: 1909

Alterations: Non-original stucco cladding applied; original windows replaced throughout; porch steps and tilework on porch are non-original.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 5546 Long Beach Avenue
Los Angeles

APN: 5105-013-016

Year Built: 1922

Alterations: Original windows replaced with vinyl sash throughout; non-original stucco cladding applied; front steps appear non-original.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 5552 Long Beach Avenue
Los Angeles

APN: 5105-013-014

Year Built: 1919

Alterations: Non-original stucco cladding applied; original windows replaced with aluminum sliding units; original porch balustrade replaced.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 1647 57th Street
Los Angeles

APN: 5105-014-012

Year Built: 1923

Alterations: Non-original stucco cladding applied; original doors and windows replaced throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 1712 57th Street
Los Angeles

APN: 5105-021-003

Year Built: 1926

Alterations: Non-original stucco cladding applied; vinyl sash replacement windows installed throughout.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9

Address: 1710 57th Street
Los Angeles

APN: 5105-021-029

Year Built: 1929

Alterations: Non-original stucco cladding applied; multiple window openings infilled.

Date of Evaluation: October 5, 2018

Additional Notes: N/A



APE Sheet #: 9
Address: 5735 Long Beach Avenue
Los Angeles
APN: 5105-020-009
Year Built: 1961
Alterations: Building significant expanded to the east and west following 1980.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 9
Address: 5739 Long Beach Avenue
Los Angeles
APN: 5105-020-010
Year Built: 1962
Alterations: Building significantly expanded to the east and west after 1980.
Date of Evaluation: October 5, 2018
Additional Notes: N/A



APE Sheet #: 9
Address: 5734 Morgan Avenue
Los Angeles
APN: 5105-020-024
Year Built: 1921
Alterations: Stucco applied main elevation; prefabricated siding applied to north elevation; windows replaced; porch widened.
Date of Evaluation: January 20, 2020
Additional Notes: N/A



APE Sheet #: 9

Address: 1647 East Slauson Avenue
Los Angeles

APN: 5105-020-015

Year Built: ca. 1930s-1940s

Alterations: Non-original stucco siding; vinyl-sash replacement windows; likely modification of main façade; possible two-story rear addition.

Date of Evaluation: January 20, 2020

Additional Notes: N/A



APE Sheet #: 9

Address: 5915 Junction Street
Los Angeles

APN: 6009-006-023

Year Built: 1913

Alterations: Substantial additions built on the northeast side; application of apparently non-original stucco; some windows replaced.

Date of Evaluation: July 26, 2019

Additional Notes: N/A



APE Sheet #: 9

Address: 5919 Junction Street
Los Angeles

APN: 6009-006-022

Year Built: 1913

Alterations: Porch enclosed; non-original stucco applied; windows replaced.

Date of Evaluation: July 26, 2019

Additional Notes: N/A



APE Sheet #: 9

Address: 2122 Randolph Street
Huntington Park

APN: 6321-009-023

Year Built: 1922

Alterations: Application of non-original stucco; removal of original front porch.

Date of Evaluation: January 10, 2023

Additional Notes: N/A



APE Sheet #: 10

Address: 2319 Randolph Street
Huntington Park

APN: 6321-004-047

Year Built: 1932

Alterations: Non-original stucco applied; windows and doors replaced throughout.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 10

Address: 6023 Santa Fe Avenue
Huntington Park

APN: 6321-004-019

Year Built: 1954

Alterations: Metal cladding replaced throughout; front door relocated (2015).

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 10
Address: 2457 Randolph Street
 Huntington Park
APN: 6320-016-011
Year Built: 1920
Alterations: Non-original tile and stucco applied; metal porch roof supports added; windows replaced throughout; enlarged with rear addition.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 10
Address: 6033 Malabar Street
 Huntington Park
APN: 6320-016-014
Year Built: 1913
Alterations: Non-original stucco applied; metal porch roof supports added; windows replaced throughout both residences on the parcel.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 10
Address: 6039 Malabar Street
 Huntington Park
APN: 6320-016-015
Year Built: 1921
Alterations: Non-original stucco applied; original windows replaced throughout; some doors replaced; large bay filled.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 10

Address: 2509 Randolph Street
Huntington Park

APN: 6320-015-015

Year Built: 1923

Alterations: Windows replaced; tile-clad awnings removed; non-original window surrounds, brick veneer, and other decorative elements added after 2012.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 10

Address: 6034 Rugby Avenue
Huntington Park

APN: 6320-014-037

Year Built: ca. 1950

Alterations: Auto portal and soft-story parking constructed; windows replaced; clay tile cladding apparently added.

Date of Evaluation: July 25, 2019

Additional Notes: Sometime between 1980 and 1994, two buildings occupying the front of the parcel were demolished, altering the extant building's setting.



APE Sheet #: 10

Address: 6035 Pacific Boulevard
Huntington Park

APN: 6320-014-040

Year Built: 1922

Alterations: Windows and doors replaced throughout; stone and rusticated brick veneers applied ca. 1970-1980s.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 10
Address: 6054 Pacific Boulevard
 Huntington Park
APN: 6320-012-073
Year Built: 1939
Alterations: Contemporary façade applied; original windows and doors replaced throughout; original trussed roof replaced.
Date of Evaluation: November 12, 2018
Additional Notes: N/A



APE Sheet #: 10
Address: 6048 Seville Avenue
 Huntington Park
APN: 6320-011-009
Year Built: 1914
Alterations: Non-original stucco cladding applied; windows replaced throughout; re-roofed with clay tiles; quoins, window surrounds, and other architectural details added.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 10
Address: 2761 Randolph Street
 Huntington Park
APN: 6320-010-024
Year Built: 1915
Alterations: Non-original vertical plank and stucco wall cladding applied; original windows and doors replaced throughout; non-original partial porch enclosure added.
Date of Evaluation: November 12, 2018
Additional Notes: N/A



APE Sheet #: 10

Address: 2769 Randolph Street
Huntington Park

APN: 6320-010-026

Year Built: 1914

Alterations: Partial porch enclosure added; non-original stucco cladding applied; building expanded with an addition at rear.

Date of Evaluation: November 12, 2018

Additional Notes: N/A



APE Sheet #: 10

Address: 6101 Pacific Boulevard
Huntington Park

APN: 6320-020-017

Year Built: 1911

Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout; expanded with one-story rear addition.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 10

Address: 2551 Clarendon Avenue
Huntington Park

APN: 6320-020-002

Year Built: 1919

Alterations: Non-original stucco and brick cladding applied; original windows and doors replaced throughout.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 10
Address: 2561 Clarendon Avenue
 Huntington Park
APN: 6320-020-030
Year Built: 1922
Alterations: Non-original vinyl and masonry siding applied; original windows and doors replaced throughout; addition of decorative columns and cross.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6221 Pacific Boulevard
 Huntington Park
APN: 6320-020-027
Year Built: 1932
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2566 Clarendon Avenue
 Huntington Park
APN: 6320-031-008
Year Built: 1929
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout; expanded with west elevation addition.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 10

Address: 6300 Pacific Boulevard
Huntington Park

APN: 6320-030-001

Year Built: 1924

Alterations: Original windows and doors replaced throughout; expanded with pyramidal-roof tower featuring Palladian windows.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 10

Address: 2620 Clarendon Avenue
Huntington Park

APN: 6320-030-001

Year Built: 1922

Alterations: Non-original masonry and tile cladding applied to facade; Original windows and doors replaced throughout; original openings enclosed.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 10

Address: 2624 Clarendon Avenue
Huntington Park

APN: 6320-030-024

Year Built: 1947

Alterations: Non-original stucco cladding applied; Original windows and doors replaced throughout; original openings enclosed.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 10
Address: 6224 Pacific Boulevard
 Huntington Park
APN: 6320-021-001
Year Built: 1923
Alterations: Non-original stucco cladding applied; Original windows and doors replaced throughout; highly altered.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2472 Randolph Street
 Huntington Park
APN: 6320-018-035
Year Built: 1909
Alterations: Large-scale additions to front and rear elevations of building.
Date of Evaluation: January 10, 2023
Additional Notes: N/A



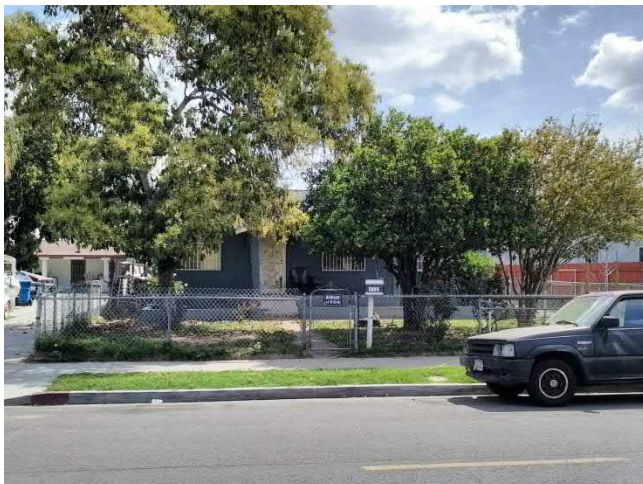
APE Sheet #: 10
Address: 2530 Randolph Street
 Huntington Park
APN: 6320-019-015
Year Built: 1946
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout.
Date of Evaluation: January 10, 2023
Additional Notes: N/A



APE Sheet #: 10 & 11
Address: 6120 Miles Avenue
Huntington Park
APN: 6319-001-017
Year Built: 1909
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout.
Date of Evaluation: November 12, 2018
Additional Notes: N/A



APE Sheet #: 11
Address: 6222 Cedar Street
Huntington Park
APN: 6319-008-036
Year Built: 1923
Alterations: Non-original stucco cladding applied; original windows replaced throughout; porch roof columns added; enlarged with front and rear additions.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 11
Address: 6228 Cedar Street
Huntington Park
APN: 6319-008-035
Year Built: 1921
Alterations: Non-original stucco cladding applied; original windows replaced throughout; porch roof columns added; enlarged with rear additions.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 11
Address: 6227 State Street
Huntington Park
APN: 6319-008-006
Year Built: 1922
Alterations: Non-original stucco cladding applied; original windows replaced throughout.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 13
Address: 3400 Randolph Street
Huntington Park
APN: 6318-007-010
Year Built: 1943
Alterations: Building significantly expanded with several large additions; original window openings infilled on east elevation.
Date of Evaluation: November 12, 2018
Additional Notes: N/A



APE Sheet #: 13
Address: 3502 Nevada Street
Bell
APN: 6324-012-009
Year Built: 1921
Alterations: Non-original stucco applied; windows replaced; false quoins and porch railing added.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 13
Address: 3360 East Gage Avenue
Bell
APN: 6324-015-023
Year Built: 1950
Alterations: Original openings enclosed; windows replaced throughout; two rear additions.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 13
Address: 3366 East Gage Avenue
Bell
APN: 6324-015-004
Year Built: 1922
Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout; alterations to porch.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 13
Address: 3411 Bell Avenue
Bell
APN: 6324-017-014
Year Built: 1936
Alterations: Non-original flagstone cladding applied; original windows and doors replaced throughout; alterations to porch; garage addition.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 13

Address: 3413 Bell Avenue
Bell

APN: 6324-017-013

Year Built: 1941

Alterations: Non-original flagstone wainscoting applied; original windows and doors replaced throughout; large carport addition on west elevation.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 13

Address: 3415 Bell Avenue
Bell

APN: 6324-017-011

Year Built: 1924

Alterations: Original windows and doors replaced throughout; addition at rear; garage highly altered.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 13

Address: 3416 Bell Avenue
Bell

APN: 6324-017-017

Year Built: 1948

Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 13

Address: 3419 Bell Avenue
Bell

APN: 6324-017-010

Year Built: 1925

Alterations: Non-original stucco cladding applied; original windows and doors replaced throughout; addition at rear; arcaded porch addition at facade.

Date of Evaluation: September 1, 2022

Additional Notes: N/A



APE Sheet #: 14

Address: 3620 Florence Avenue
Huntington Park

APN: 6225-001-017, 6225-001-009, 6225-001-018

Year Built: 1965

Alterations: Augmented with large, incompatible metal-clad addition (after 1972); some front-elevation display windows filled in.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 14/15

Address: 7835 Otis Avenue
Cudahy

APN: 6225-026-014

Year Built: 1930 and 1977

Alterations: Demolished after 2014; only foundations remaining.

Date of Evaluation: September 9, 2022

Additional Notes: N/A



APE Sheet #: 15

Address: 4426 Santa Ana Street
Cudahy

APN: 6224-020-007

Year Built: 1915

Alterations: Original windows and doors replaced throughout; non-original stucco cladding added; additional buildings added to the parcel.

Date of Evaluation: November 1, 2017

Additional Notes: Initial development of the property included a single-family residence. Additional buildings added following 1946.



APE Sheet #: 15

Address: 4436 Santa Ana Street
Cudahy

APN: 6224-020-006

Year Built: 1912

Alterations: Original windows and doors replaced throughout; non-original stucco cladding added; additional buildings added to the parcel.

Date of Evaluation: November 1, 2017

Additional Notes: Initial development of the property included a single-family residence. Additional buildings added following 1927.



APE Sheet #: 15

Address: 4442 Santa Ana Street
Cudahy

APN: 6224-020-005

Year Built: 1940

Alterations: Original windows and doors replaced throughout; non-original stucco cladding added; additional buildings added to the parcel.

Date of Evaluation: November 1, 2017

Additional Notes: Initial development of the property included a single-family residence. Additional buildings added following 1946.



APE Sheet #: 15

Address: 8226 Salt Lake Avenue
Cudahy

APN: 6224-021-010

Year Built: 1947

Alterations: Parapet wall added to the 1947 residence; non-original primary entry door; building significantly expanded with two additions (ca 1963 and 1970).

Date of Evaluation: November 1, 2017

Additional Notes: Initial development of the property included a single-family residence.



APE Sheet #: 15

Address: 8150 Otis Avenue
South Gate

APN: 6215-004-009

Year Built: 1928

Alterations: Non-original stucco applied to exterior; windows and doors replaced throughout; addition constructed at rear.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 15

Address: 8154 Otis Avenue
South Gate

APN: 6215-004-010

Year Built: 1937

Alterations: Non-original stucco applied to exterior; windows and doors replaced throughout.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 15

Address: 8168 Otis Avenue
South Gate

APN: 6215-004-013

Year Built: 1922

Alterations: Non-original stucco applied to exterior; windows replaced throughout.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 15

Address: 8176 Otis Avenue
South Gate

APN: 6215-004-015

Year Built: 1921

Alterations: Non-original stucco applied to exterior; windows replaced throughout; non-original window surrounds, quoins, and other details added; rear addition constructed sometime after 1927.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 15

Address: 8184 Otis Avenue
South Gate

APN: 6215-004-017

Year Built: ca. 1950s

Alterations: Non-original stucco applied to exterior; windows replaced throughout; non-original garage door added; addition constructed at rear.

Date of Evaluation: July 25, 2019

Additional Notes: N/A



APE Sheet #: 15
Address: 8188 Otis Avenue
South Gate
APN: 6215-004-018
Year Built: ca. 1950s
Alterations: Non-original stucco applied to exterior; windows replaced throughout; non-original garage door added; addition constructed at rear.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 15
Address: 7915 Salt Lake Avenue
South Gate
APN: 6214-030-001
Year Built: 1925
Alterations: Non-original stucco applied to exterior; original windows and doors replaced throughout.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 15
Address: 4305 Santa Ana Street
South Gate
APN: 6224-008-013
Year Built: 1952
Alterations: Non-original stucco applied to exterior; original windows and doors replaced throughout; front entrance highly altered; large additions connecting originally separate buildings into one footprint.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 16

Address: 4937 Mason Street
South Gate

APN: 6216-032-021

Year Built: 1946

Alterations: Metal security grates added to windows; large noncompatible building added to rear of property.

Date of Evaluation: January 16, 2017

Additional Notes: Originally developed in 1946 with a single building; additional large building added to rear of parcel between 1954 and 1963, it was expanded between 1972 and 1980.



APE Sheet #: 16

Address: 4951 Mason Street
South Gate

APN: 6216-032-020

Year Built: 1940, 1963

Alterations: Multiple additions constructed to extend the original primary elevation between 1954 and 1963.

Date of Evaluation: November 1, 2017

Additional Notes: N/A



APE Sheet #: 16

Address: 4927 Firestone Boulevard
South Gate

APN: 6216-032-009

Year Built: 1939

Alterations: Original doors and windows replaced; large addition constructed to expand building to the south.

Date of Evaluation: November 12, 2018

Additional Notes: Originally developed in 1939 with one single-family residence; rear of building expanded significantly to accommodate a storefront.



APE Sheet #: 16

Address: 4973 Firestone Boulevard
South Gate

APN: 6216-032-018

Year Built: 1945

Alterations: Original openings on primary elevation infilled; original doors and windows replaced; stucco cladding appears non-original.

Date of Evaluation: November 12, 2018

Additional Notes: N/A



APE Sheet #: 16

Address: 4981 Firestone Boulevard
South Gate

APN: 6216-032-019

Year Built: 1945

Alterations: Building significantly expanded to the east following initial construction.

Date of Evaluation: November 12, 2018

Additional Notes: N/A



APE Sheet #: 16

Address: 4998 Branyon Avenue
South Gate

APN: 6222-005-016

Year Built: 1967

Alterations: Building significantly expanded with large-scale additions to multiple sides of the building.

Date of Evaluation: January 12, 2018

Additional Notes: Initial development of the property included a small, rectangular-planned building.



APE Sheet #: 18
Address: 10615 Ruchti Road
 South Gate
APN: 6233-002-003
Year Built: 1931
Alterations: Modified window openings; large additions constructed in 2004 and 2005.
Date of Evaluation: November 1, 2017
Additional Notes: N/A



APE Sheet #: 18
Address: 10801 Sessler Street
 South Gate
APN: 6233-026-005
Year Built: 1952
Alterations: Ancillary building significantly expanded between 1963 and 1972; primary building modified with a two-story addition at rear and an addition to its primary façade (post-1972); vertical projections added to warehouse roof periodically and as late as the 1990s.
Date of Evaluation: November 15, 2018
Additional Notes: Initial development of the property consisted of one double warehouse and an ancillary building to its rear.



APE Sheet #: 19
Address: 5922 Gardendale Street
 South Gate
APN: 6243-023-005
Year Built: 1950
Alterations: Non-original stone veneer applied; all original fenestration replaced; roofline altered along façade.
Date of Evaluation: September 9, 2022
Additional Notes: N/A



APE Sheet #: 19

Address: 5794 Harding Avenue,
South Gate

APN: 6243-013-024

Year Built: 1942

Alterations: Original doors and windows replaced; non-original brick piers added to porch; addition at rear.

Date of Evaluation: February 2, 2023

Additional Notes: N/A



APE Sheet #: 19

Address: 5799 Lincoln Avenue,
South Gate

APN: 6243-013-041

Year Built: 1944

Alterations: Non-original cladding applied; original doors and windows replaced; large garage addition.

Date of Evaluation: February 2, 2023

Additional Notes: N/A



APE Sheet #: 21

Address: 5792 Main Street,
South Gate

APN: 6243-014-020

Year Built: 1943

Alterations: Large addition added; roof form alterations; original windows and doors replaced.

Date of Evaluation: February 2, 2023

Additional Notes: N/A



APE Sheet #: 21
Address: 5793 Harding Avenue
 South Gate
APN: 6243-014-037
Year Built: 1952
Alterations: Original openings on primary elevation enclosed; original doors replaced; roof form altered.
Date of Evaluation: February 2, 2023
Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 5731 Nevada Avenue
 South Gate
APN: 6243-011-021
Year Built: 1944
Alterations: Building significantly expanded with large two-story addition at rear; original doors and windows replaced throughout.
Date of Evaluation: November 15, 2018
Additional Notes: Original development of the property consisted of one single-story, single-family residence.



APE Sheet #: 21 & 22
Address: 6001 Nevada Avenue
 South Gate
APN: 6243-027-027
Year Built: 1947
Alterations: Non-original stucco applied; re-roofed with clay tiles; windows replaced throughout; window surrounds and other ornamental details added.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 21 & 22

Address: 13801 Arthur Avenue
Paramount

APN: 6242-022-013

Year Built: 1944

Alterations: Replacement of original windows and doors throughout; non-original wall and roof cladding applied; second-story addition constructed; two additional buildings added to the property (2009).

Date of Evaluation: January 12, 2018

Additional Notes: Initial development of the property consisted of one single-story, single-family residence.



APE Sheet #: 21 & 22

Address: 13821 Arthur Avenue
Paramount

APN: 6242-023-011

Year Built: 1949, 2002, 2004

Alterations: Replacement of original windows and doors throughout; non-original wall and roof cladding applied; additional buildings added to the property (2002 and 2004).

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 21 & 22

Address: 13829 Arthur Avenue
Paramount

APN: 6242-023-010

Year Built: 1953, 2005

Alterations: Replacement of original windows and doors throughout; non-original fieldstone veneer applied on primary elevation; additional building added to the property in 2005.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 13831 Arthur Avenue
Paramount
APN: 6242-023-009
Year Built: 1955
Alterations: Replacement of original windows and doors throughout; non-original stone veneer applied on primary elevation.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 13837 Arthur Avenue
Paramount
APN: 6242-023-008
Year Built: 1949 & 1963
Alterations: Original windows replaced throughout; incompatible features added (Doric columns and metal porch balustrade).
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 13861 Arthur Avenue
Paramount
APN: 6242-023-005
Year Built: 1964
Alterations: Original windows and doors replaced throughout; stone veneer added.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 21 & 22

Address: 13939 Arthur Avenue
Paramount

APN: 6242-023-001

Year Built: 1947

Alterations: Original windows and doors replaced throughout; original openings infilled on west and south elevations; roof vents added.

Date of Evaluation: November 18, 2018

Additional Notes: N/A



APE Sheet #: 21 & 22

Address: 14019-14021 Arthur Avenue
Paramount

APN: 6242-024-008

Year Built: 1895, 1956, 1963

Alterations: Primary building expanded towards the front of the parcel; non-original wall cladding applied; original doors and windows replaced throughout; additional buildings added to the property (1956 & 1963).

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 21 & 22

Address: 14029 Arthur Avenue
Paramount

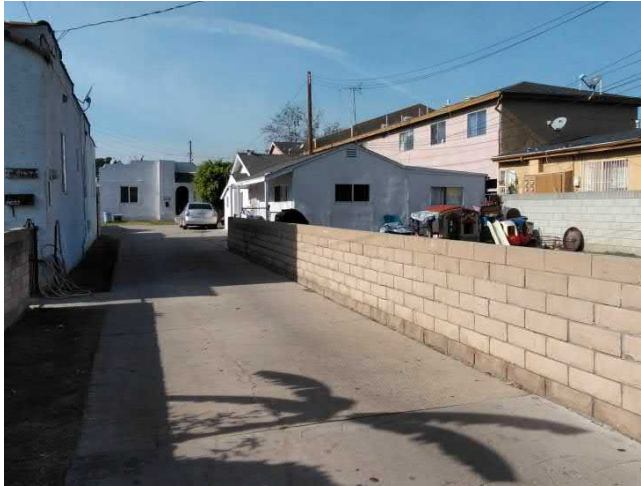
APN: 6242-024-007

Year Built: 1949

Alterations: Original doors and windows replaced throughout; 7,000 square foot building added to the property (1987).

Date of Evaluation: January 12, 2018

Additional Notes: Parcel originally developed in 1949 with one 1,046 square foot residence.



APE Sheet #: 21 & 22
Address: 14033 Arthur Avenue
 Paramount
APN: 6242-024-006
Year Built: 1925, 1932
Alterations: Substantial additions on all four buildings; original windows replaced throughout.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 14043 Arthur Avenue
 Paramount
APN: 6242-024-070
Year Built: 1952
Alterations: Building significantly expanded with addition to rear (east) elevation; non-original stucco and stone veneer applied; original windows replaced throughout.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 21 & 22
Address: 14061 Arthur Avenue
 Paramount
APN: 6242-024-016
Year Built: 1921
Alterations: Building significantly expanded with addition to rear (east) elevation; non-original stucco cladding applied.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 23

Address: 7801 Rosecrans Avenue
Paramount

APN: 6242-025-004

Year Built: 1953

Alterations: Primary building significant expanded (between 1954 and 1963); non-original stucco cladding applied; secondary building added to the property (ca. 1970).

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 22

Address: 7826 Rose Street
Paramount

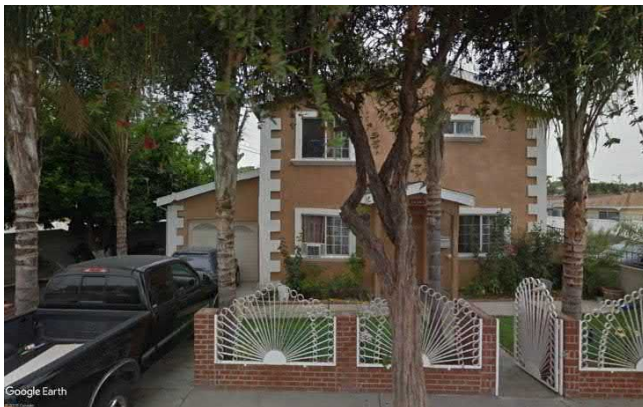
APN: 6242-026-007

Year Built: 1938

Alterations: Full-width porch enclosed on front (south) elevation; original windows replaced throughout.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 23

Address: 14141 Colorado Avenue
Paramount

APN: 6242-035-017

Year Built: 1950

Alterations: Building significantly expanded with addition to the rear; original doors and windows replaced throughout; non-original cladding applied.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 23
Address: 14151 Paramount Boulevard
 Paramount
APN: 6242-035-001
Year Built: 1926
Alterations: Original doors and windows replaced throughout; non-original stucco and stone veneer applied.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 25
Address: 8020 Rosecrans Avenue
 Paramount
APN: 6242-008-027
Year Built: 1962 & 1963
Alterations: Non-original cladding material applied; original doors and windows replaced.
Date of Evaluation: January 12, 2018
Additional Notes: Parcel contains two buildings (one 6,000 square foot building constructed in 1926 and one 480 square foot building added in 1963).



APE Sheet #: 23 & 25
Address: 14325 Orizaba Avenue
 Paramount
APN: 6241-003-027
Year Built: 1941
Alterations: Original windows, doors, and porch posts replaced; addition to rear of building.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 23

Address: Address Not Available (corner of Paramount Boulevard and All America City Way)
Paramount

APN: 6241-017-900

Year Built: post-1972

Alterations: Original building significantly expanded with two additions; primary building added to the property following 1983; several non-permanent buildings added to the property following 1994.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 25

Address: 14716 Wiemer Avenue
Paramount

APN: 6241-005-017

Year Built: 1955

Alterations: Building significantly expanded with addition at rear; original doors and windows replaced; original entry porch columns and balustrade replaced.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 25

Address: 8325 3rd Street
Paramount

APN: 6241-005-005

Year Built: 1955

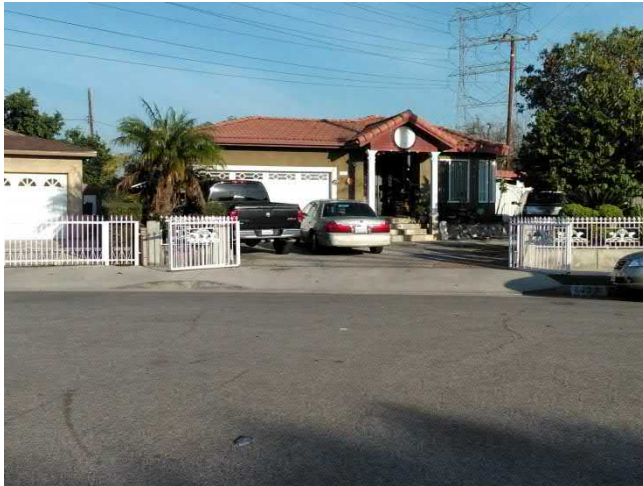
Alterations: Original windows replaced throughout; non-original stucco cladding applied; porch railing and garage door appear contemporary.

Date of Evaluation: January 12, 2018

Additional Notes: N/A



APE Sheet #: 25
Address: 8331 3rd Street
Paramount
APN: 6241-005-003
Year Built: 1955
Alterations: Building significantly expanded with second-story addition; original doors and windows replaced throughout.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 25
Address: 8335 3rd Street
Paramount
APN: 6241-005-001 & 6241-005-002
Year Built: 1955
Alterations: Building significantly expanded with several additions; original doors, windows and roofing material replaced throughout.
Date of Evaluation: January 12, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 15107 Bellota Avenue
Paramount
APN: 6268-028-001
Year Built: 1925
Alterations: Non-original stucco applied; windows replaced, and window surrounds removed throughout.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 26
Address: 15113 Bellota Avenue
Paramount
APN: 6268-028-002
Year Built: 1920
Alterations: Non-original stucco applied; windows replaced throughout; front door replaced.
Date of Evaluation: July 25, 2019
Additional Notes: N/A



APE Sheet #: 26
Address: 15105 Lakewood Boulevard
Paramount
APN: 6268-032-006
Year Built: 1970
Alterations: Non-original stucco applied; parapet wall and pilasters added; window wall replaced.
Date of Evaluation: July 26, 2019
Additional Notes: N/A



APE Sheet #: 26
Address: 15230 Lakewood Boulevard
Bellflower
APN: 6271-001-018
Year Built: 1946
Alterations: Non-original incised concrete façade on west elevation; substantial additions to building at rear (east) of the parcel.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 15324 Lakewood Boulevard
 Bellflower
APN: 6271-002-031
Year Built: 1947
Alterations: All three permanent buildings located on parcel are highly modified, including the replacement of original doors, windows and exterior cladding material.
Date of Evaluation: January 16, 2018
Additional Notes: Mobile homes were added to the parcel between 1952 and 1963.



APE Sheet #: 26
Address: 9146 Somerset Boulevard
 Bellflower
APN: 62710-010-02
Year Built: 1971
Alterations: Primary façade features non-original vinyl windows, window surrounds, and cladding material.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 15518 Lakewood Boulevard
 Bellflower
APN: 6271-002-032
Year Built: 1948
Alterations: Original windows and doors replaced throughout.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26

Address: 9017 Hegel Street
Bellflower

APN: 6271-002-008

Year Built: 1938

Alterations: Second story addition;
original windows replaced with vinyl
units; original window trim replaced.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9025 Hegel Street
Bellflower

APN: 6271-002-010

Year Built: 1938

Alterations: Large addition on rear of
building; original windows and doors
replaced; non-original stucco and stone
vener applied.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9033 Hegel Street
Bellflower

APN: 6271-002-012

Year Built: 1946

Alterations: Large, two-story addition at
rear of building.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26
Address: 9037 Hegel Street
Bellflower
APN: 6271-002-013
Year Built: 1947
Alterations: Original doors, windows, and trim replaced throughout; front entryway appears altered.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 9041 Hegel Street
Bellflower
APN: 6271-002-014
Year Built: 1947
Alterations: Non-original stone veneer applied on primary elevation; original doors and windows replaced throughout.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 9045 Hegel Street
Bellflower
APN: 6271-002-015
Year Built: 1947
Alterations: Original doors and windows replaced throughout; addition to rear of building.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26

Address: 9047 Hegel Street
Bellflower

APN: 6271-002-016

Year Built: 1953

Alterations: Original windows replaced throughout; non-original stone veneer applied in select locations.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9053 Hegel Street
Bellflower

APN: 6271-002-017

Year Built: 1947

Alterations: Original doors and windows replaced throughout; addition to rear of building.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9057 Hegel Street
Bellflower

APN: 6271-002-018

Year Built: 1947

Alterations: Original doors and windows replaced throughout; addition to rear of building.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9061 Hegel Street
Bellflower

APN: 6271-002-019

Year Built: 1947

Alterations: Two-story addition constructed at rear; original windows replaced throughout; carport added.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9107 Hegel Street
Bellflower

APN: 6271-002-021

Year Built: 1947

Alterations: Original doors and windows replaced throughout; addition to rear of building.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26

Address: 9111 Hegel Street
Bellflower

APN: 6271-002-022

Year Built: 1947

Alterations: Original windows and doors replaced throughout.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 26
Address: 9119 Hegel Street
Bellflower
APN: 6271-002-024
Year Built: 1947
Alterations: Original windows replaced throughout; alteration of porch roof support column.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 9135 Hegel Street
Bellflower
APN: 6271-002-028
Year Built: 1947
Alterations: Original doors and windows replaced throughout; addition to rear of building.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26
Address: 9143 Hegel Street
Bellflower
APN: 6271-002-030
Year Built: 1947
Alterations: Original windows replaced throughout; blade wall added to primary elevation; lean-to addition constructed on secondary elevation.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 26/27
Address: 9119 Somerset Boulevard
Bellflower
APN: 6278-009-041
Year Built: 1946
Alterations: Non-original stucco cladding applied; some original windows replaced; addition connecting two buildings originally separate.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 27
Address: 9446 Pacific Avenue
Bellflower
APN: 7106-012-003
Year Built: 1941
Alterations: Non-original stucco cladding applied; original windows replaced; alterations to garage opening.
Date of Evaluation: September 1, 2022
Additional Notes: N/A



APE Sheet #: 28
Address: 9944 Flora Vista Street
Bellflower
APN: 7109-009-905
Year Built: 1977
Alterations: Buildings have been expanded over time with several additions. Detailing appears non-original.
Date of Evaluation: January 16, 2018
Additional Notes: Original development of the property began in the 1950s; buildings added progressively through 2012.



APE Sheet #: 28
Address: 10055 Flower Street
Bellflower
APN: 7109-008-015
Year Built: 1950
Alterations: Original primary elevation door and windows replaced; parapet wall appears non-original.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 29
Address: 10149 Maple Street
Bellflower
APN: 7109-016-032
Year Built: pre-1956
Alterations: Substantial additions constructed on south and east elevations of building; original doors and windows replaced throughout.
Date of Evaluation: October 18, 2018
Additional Notes: N/A



APE Sheet #: 29
Address: 10219 Walnut Street
Bellflower
APN: 7017-021-003
Year Built: 1924
Alterations: Original doors and windows replaced throughout; non-original cladding applied.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 29
Address: 10245 Flora Vista Street
Bellflower
APN: 7017-020-035
Year Built: 1965
Alterations: Original doors and windows replaced throughout; non-original detailing including columns added.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 29
Address: 16827 California Avenue
Bellflower
APN: 7017-020-031
Year Built: 1947
Alterations: Original doors and windows replaced throughout; large two-story addition constructed to expand the building to the west.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 29 & 30
Address: 17218 Palo Verde Avenue
Bellflower
APN: 7163-001-055
Year Built: 1912
Alterations: Original doors and windows replaced throughout; non-original stucco cladding applied.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31

Address: 18112 Harvest Avenue

APN: 7034-014-032

Year Built: 1968

Alterations: Has undergone extensive remodel including three additions per building permit records.

Date of Evaluation: December 2018

Additional Notes: N/A



APE Sheet #: 31

Address: 18319 Summer Avenue
Artesia

APN: 7039-007-035

Year Built: 1960

Alterations: Attached carport added on primary elevation; original doors and windows replaced throughout; non-original cladding applied; garage expanded.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 31

Address: 11439 184th Street
Artesia

APN: 7039-026-012

Year Built: 1967

Alterations: Original doors and windows replaced throughout; non-original cladding applied.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 31
Address: 18341 Summer Avenue
 Artesia
APN: 7039-007-038
Year Built: 1961
Alterations: Original doors and windows replaced throughout; original roofing material replaced.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31
Address: 11503 Dena Street
 Artesia
APN: 7039-025-019
Year Built: 1962
Alterations: Partial replacement of original windows and doors; original roof cladding replaced; building significantly expanded with additions on north and south elevations.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31
Address: 11509 Dena Street
 Artesia
APN: 7039-025-009
Year Built: 1962
Alterations: Original windows and doors replaced throughout; building significantly expanded with the construction of a two-story addition at rear.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31
Address: 11513 Dena Street
Artesia
APN: 7039-025-008
Year Built: 1962
Alterations: Original windows and doors replaced throughout; non-original cladding applied.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31
Address: 11543 186th Street
Artesia
APN: 7039-025-001
Year Built: 1962
Alterations: Building significantly expanded with two-story addition at rear; non-original roof cladding applied.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31 & 32
Address: 18613 Jersey Avenue
Artesia
APN: 7039-009-007
Year Built: 1951
Alterations: Building significantly expanded with addition at rear; original windows and doors replaced.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 31 & 32
Address: 11605 186th Street
 Artesia
APN: 7039-006-028
Year Built: 1955
Alterations: Original windows and doors replaced throughout; non-original brick veneer applied to primary elevation; addition to rear.
Date of Evaluation: January 10, 2023
Additional Notes: N/A



APE Sheet #: 31 & 32
Address: 11620 186th Street
 Artesia
APN: 7039-010-029
Year Built: 1976
Alterations: Original windows and doors replaced throughout; non-original stone veneer applied to primary elevation.
Date of Evaluation: January 10, 2023
Additional Notes: N/A



APE Sheet #: 32
Address: 18715 Corby Avenue
 Artesia
APN: 7039-015-007
Year Built: 1953
Alterations: Building significantly expanded to the north between 1953 and 1963; original windows replaced.
Date of Evaluation: January 16, 2018
Additional Notes: N/A



APE Sheet #: 32

Address: 18712 Alburdis Avenue
Artesia

APN: 7039-015-014

Year Built: 1920

Alterations: Original doors replaced throughout; attached carport added.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 32

Address: 18718 Alburdis Avenue
Artesia

APN: 7039-015-013

Year Built: 1910

Alterations: Original doors and windows replaced throughout; front porch appears altered; non-original light fixtures added.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 32

Address: 18725 Corby Avenue
Artesia

APN: 7039-015-005

Year Built: 1967

Alterations: Addition constructed on primary elevation.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 32

Address: 11739 188th Street
Artesia

APN: 7039-012-004

Year Built: 1918

Alterations: Original doors and windows replaced throughout; non-original cladding applied; original porch posts replaced.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 32

Address: 11747 South Street
Artesia

APN: 7039-013-022

Year Built: 1952

Alterations: Original doors and windows replaced throughout; non-original cladding applied.

Date of Evaluation: January 16, 2018

Additional Notes: N/A



APE Sheet #: 33

Address: 1700 East 60th Street

APN: 6009-008-001; 6009-008-002

Year Built: 1921

Alterations: Non-original stucco applied; original windows replaced

Date of Evaluation: January 20, 2020

Additional Notes: N/A

**APPENDIX I – CALIFORNIA HISTORICAL RESOURCE
STATUS CODES**

California Historical Resource Status Codes

1 Properties listed in the National Register (NR) or the California Register (CR)

- 1D Contributor to a district or multiple resource property listed in NR by the Keeper. Listed in the CR.
- 1S Individual property listed in NR by the Keeper. Listed in the CR.

- 1CD Listed in the CR as a contributor to a district or multiple resource property by the SHRC
- 1CS Listed in the CR as individual property by the SHRC.
- 1CL Automatically listed in the California Register – Includes State Historical Landmarks 770 and above and Points of Historical Interest nominated after December 1997 and recommended for listing by the SHRC.

2 Properties determined eligible for listing in the National Register (NR) or the California Register (CR)

- 2B Determined eligible for NR as an individual property and as a contributor to an eligible district in a federal regulatory process. Listed in the CR.
- 2D Contributor to a district determined eligible for NR by the Keeper. Listed in the CR.
- 2D2 Contributor to a district determined eligible for NR by consensus through Section 106 process. Listed in the CR.
- 2D3 Contributor to a district determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2D4 Contributor to a district determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.
- 2S Individual property determined eligible for NR by the Keeper. Listed in the CR.
- 2S2 Individual property determined eligible for NR by a consensus through Section 106 process. Listed in the CR.
- 2S3 Individual property determined eligible for NR by Part I Tax Certification. Listed in the CR.
- 2S4 Individual property determined eligible for NR pursuant to Section 106 without review by SHPO. Listed in the CR.

- 2CB Determined eligible for CR as an individual property and as a contributor to an eligible district by the SHRC.
- 2CD Contributor to a district determined eligible for listing in the CR by the SHRC.
- 2CS Individual property determined eligible for listing in the CR by the SHRC.

3 Appears eligible for National Register (NR) or California Register (CR) through Survey Evaluation

- 3B Appears eligible for NR both individually and as a contributor to a NR eligible district through survey evaluation.
- 3D Appears eligible for NR as a contributor to a NR eligible district through survey evaluation.
- 3S Appears eligible for NR as an individual property through survey evaluation.

- 3CB Appears eligible for CR both individually and as a contributor to a CR eligible district through a survey evaluation.
- 3CD Appears eligible for CR as a contributor to a CR eligible district through a survey evaluation.
- 3CS Appears eligible for CR as an individual property through survey evaluation.

4 Appears eligible for National Register (NR) or California Register (CR) through other evaluation

- 4CM Master List - State Owned Properties – PRC §5024.

5 Properties Recognized as Historically Significant by Local Government

- 5D1 Contributor to a district that is listed or designated locally.
- 5D2 Contributor to a district that is eligible for local listing or designation.
- 5D3 Appears to be a contributor to a district that appears eligible for local listing or designation through survey evaluation.

- 5S1 Individual property that is listed or designated locally.
- 5S2 Individual property that is eligible for local listing or designation.
- 5S3 Appears to be individually eligible for local listing or designation through survey evaluation.

- 5B Locally significant both individually (listed, eligible, or appears eligible) and as a contributor to a district that is locally listed, designated, determined eligible or appears eligible through survey evaluation.

6 Not Eligible for Listing or Designation as specified

- 6C Determined ineligible for or removed from California Register by SHRC.
- 6J Landmarks or Points of Interest found ineligible for designation by SHRC.
- 6L Determined ineligible for local listing or designation through local government review process; may warrant special consideration in local planning.
- 6T Determined ineligible for NR through Part I Tax Certification process.
- 6U Determined ineligible for NR pursuant to Section 106 without review by SHPO.
- 6W Removed from NR by the Keeper.
- 6X Determined ineligible for the NR by SHRC or Keeper.
- 6Y Determined ineligible for NR by consensus through Section 106 process – Not evaluated for CR or Local Listing.
- 6Z Found ineligible for NR, CR or Local designation through survey evaluation.

7 Not Evaluated for National Register (NR) or California Register (CR) or Needs Reevaluation

- 7J Received by OHP for evaluation or action but not yet evaluated.
- 7K Resubmitted to OHP for action but not reevaluated.
- 7L State Historical Landmarks 1-769 and Points of Historical Interest designated prior to January 1998 – Needs to be reevaluated using current standards.
- 7M Submitted to OHP but not evaluated - referred to NPS.
- 7N Needs to be reevaluated (Formerly NR Status Code 4)
- 7N1 Needs to be reevaluated (Formerly NR SC4) – may become eligible for NR w/restoration or when meets other specific conditions.
- 7R Identified in Reconnaissance Level Survey: Not evaluated.
- 7W Submitted to OHP for action – withdrawn.

**APPENDIX J – STATE HISTORIC PRESERVATION OFFICER
CORRESPONDENCE**



U.S. Department
of Transportation
**Federal Transit
Administration**

REGION IX
Arizona, California,
Hawaii, Nevada, Guam
American Samoa,
Northern Mariana Islands

90 7th Street
Suite 15-300
San Francisco, CA 94103-6701
415-734-9490
415-734-9489 (fax)

Ms. Julianne Polanco
California State Historic Preservation Officer
Office of Historic Preservation
California Department of Parks and Recreation
1725 23rd Street, Suite 100
Sacramento, California 95816

DEC 21 2018

Subject: Section 106 Consultation for the West
Santa Ana Branch Transit Corridor Project

Dear Ms. Polanco:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is initiating the preparation of a Draft Environmental Impact Statement/Environmental Impact Report (EIS/EIR) for the West Santa Ana Branch Transit Corridor Project (Project) in Los Angeles County. The FTA serves as the Federal Lead Agency under the National Environmental Policy Act (NEPA) and for compliance with Section 106 of the National Historic Preservation Act. LACMTA is the local Lead Agency under the California Environmental Quality Act (CEQA). The Project will be a federal undertaking because the FTA will be providing financial assistance.

Pursuant to Section 106 of the National Historic Preservation Act (NHPA) and its implementing regulations (36 Code of Federal Regulations [CFR] Part 800) "Protection of Historic Properties," this letter is being transmitted to initiate the Section 106 consultation process for the Project and to seek SHPO concurrence on the Area of Potential Effects (APE) and methodologies. Cultural resources identification and analysis will be prepared in compliance with Section 106 of the NHPA, as amended, and its implementing regulations contained in 36 Code of Federal Regulations (CFR), Part 800, and applicable sections of the CEQA. The Historic Resources Screening Methodology section outlines the methods proposed to identify and evaluate historic properties.

Project Description

The West Santa Branch Transit Corridor (WSAB) Project (the Project) proposes a new light rail transit (LRT) line that would extend approximately 19 miles from downtown Los Angeles to southeast Los Angeles County (See Attachments A, B, and C), serving the cities and communities of Arts District, Little Tokyo, Los Angeles, unincorporated Florence-Firestone community of Los Angeles County, Vernon, Huntington Park, Bell, Cudahy, South Gate, Downey, Paramount, Bellflower, Cerritos and Artesia. The Project would provide reliable, fixed guideway transit service that would increase mobility and connectivity, reduce travel times on local and regional transportation networks; and accommodate substantial future employment and population growth.

The Project corridor is characterized by Northern and Southern Sections. The Northern Section would traverse the cities of Los Angeles, Vernon, Huntington Park, and the unincorporated Florence-Firestone community of Los Angeles County. The Southern Section traverses the cities of Huntington Park, South Gate, Downey, Artesia and Cerritos. The Southern Section alignment remains common for both Build Alternatives E and G.

Under NEPA, two Build Alternatives (Alternative E and Alternative G) are being evaluating and carried forward from the alternatives analysis phase, as well as a No Build Alternative. Alternative E would terminate at Union Station Forecourt. Alternative G would terminate in the Downtown Transit Core. The Build Alternatives share a common alignment south of Olympic Boulevard.

Alternative E, Alameda Underground – This alternative would extend approximately 19 miles between Los Angeles Union Station (LAUS) and the City of Artesia. Alternative E would follow Alameda Street south and be entirely below-grade from LAUS to Olympic Boulevard. South of Olympic Boulevard, Alternative E would cross the I-10 freeway in an aerial structure to the existing Metro Blue Line. Alternative E would then transition to a primarily at-grade configuration to follow the La Habra Branch ROW (from Randolph to Gage) east and then turn south to follow the San Pedro Subdivision ROW to the Alternative E terminus in Artesia. Alternative E includes two design options:

Design Option 1: LAUS at the Metropolitan Water District (MWD) – The LAUS station box would be located east of LAUS and the Metropolitan Water District building, below the baggage area parking facility.

Design Option 2: Remove the Little Tokyo Station – Under this design option, the Little Tokyo Station would not be constructed and there would be no direct connection to the Regional Connector Station in the Little Tokyo community.

Alternative E would consist of approximately 2.3 miles of underground, 12.8 miles of at-grade, and 4.1 miles of aerial alignment. Alternative E would include 12 new LRT stations, 3 of which would be underground, 6 would be at-grade, and 3 would be aerial. Five of the stations would include parking facilities, providing a total of approximately 1,600 new transit parking spaces. The alignment would include 31 at-grade crossings, 3 freeway undercrossings, 25 elevated road crossings, and 10 elevated rail crossings.

Alternative G, Downtown Transit Core – This alternative would extend approximately 19 miles between the 7th Street/Metro Center Station in downtown Los Angeles and the City of Artesia. Alternative G would follow 8th Street east and Alameda Street south and be entirely below-grade from 7th Street/Metro Center to Olympic Boulevard. South of Olympic Boulevard, Alternative G would cross the I-10 freeway in an aerial structure to the existing Metro Blue Line. Alternative G would then transition to a primarily at-grade configuration to follow the La Habra Branch ROW east and then turn south to follow the San Pedro Subdivision ROW to the Alternative G terminus in Artesia.

Alternative G would consist of approximately 2.3 miles of underground, 12.8 miles of at-grade and 4.1 miles of aerial alignment. Alternative G would include 12 new LRT stations, 3 of which would be underground, 6 would be at-grade, and 3 would be aerial. Five of the stations would include parking facilities, providing a total of approximately 1,600 new transit parking spaces. The alignment would include 31 at-grade crossings, 3 freeway undercrossings, 25 elevated road crossings, and 10 elevated rail crossings.

Stations

Each of the Build Alternatives proposes up to a total of 12 planned stations with design options along the alignment, including the option to relocate the LAUS termini station and the option to remove the Little Tokyo Station. The stations are discussed in Table 1 below.

Table 1 Station Locations

Station Name	General Location	City	Type of Proposed Station	Proposed Station Parking Spaces
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NORTHERN SECTION

Alternative E: Alameda Underground

LAUS	LAUS Forecourt Design Option 1 LAUS behind the existing MWD Building	City of Los Angeles	Underground	No new parking – Existing parking at LAUS
Little Tokyo (Optional)	Traction Avenue and 1 st St	City of Los Angeles	Underground	No parking proposed
Arts District South	Alameda Street between 6 th and 7 th St	City of Los Angeles	Underground	No parking proposed
Slauson	Slauson Ave/Long Beach Ave	City of Los Angeles/ Unincorporated LA County	Aerial	No parking proposed
Pacific/ Randolph	Pacific Ave/Randolph St	City of Huntington Park	At-grade	No parking proposed

Station Name	General Location	City	Type of Proposed Station	Proposed Station Parking Spaces
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Alternative G: Downtown Transit Core

7 th Street/ Metro Center	7 th St/Metro Center at 8 th St/Flower St with an underground pedestrian connection to 7 th St/Metro Center Station (between 8 th St and Olympic Blvd)	City of Los Angeles	Underground	No parking proposed
South Park/Fashion District	8 th Street between Los Angeles Street and Santee Street (between 8 th St and Olympic Blvd)	City of Los Angeles	Underground	No parking proposed
Arts District South	Alameda Street between 6 th St. and 7 th St. (between 8 th St and Olympic Blvd)	City of Los Angeles	Underground	No parking proposed
Slauson	Slauson Ave/Long Beach Ave (between Olympic Blvd and Slauson Ave)	City of Los Angeles/ Unincorporated LA County	Aerial	No parking proposed
Pacific/ Randolph	Pacific Ave/Randolph St	City of Huntington Park	At-grade	No parking proposed

Station Name	General Location	City	Type of Proposed Station	Proposed Station Parking Spaces
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SOUTHERN SECTION (SAME FOR ALTERNATIVE E AND G)

Florence/ Salt Lake	Florence Ave/Salt Lake Ave	City of Huntington Park/City of Cudahy	At-grade	No parking proposed
Firestone	Between Atlantic Ave and Firestone Blvd	City of South Gate	Aerial	171
Gardendale	Gardendale St/Dakota Ave	City of Downey	At-grade	No parking proposed
I-105 /Green Line	I-105 Freeway/Green Line Station	City of South Gate/City of Paramount	Aerial	228
Paramount/ Rosecrans	Paramount Blvd/Rosecrans Ave	City of Paramount	Aerial	490
Bellflower	Bellflower Blvd/Pacific Ave	City of Bellflower	At-grade	263
Pioneer	Pioneer Blvd/186th St	City of Artesia	At-grade	442
Total Number of Proposed New Parking Spaces				1,594

Grade Separations and Crossings

Within the Northern Section, Alternative E, Alameda Underground would be entirely underground from LAUS to south of Olympic Boulevard. South of Olympic Boulevard, the alignment would be at-grade except for the following grade-separated locations:

- Los Angeles Union Station to South of Olympic Boulevard (underground)

- Maximum depth is approximately 115 feet
- Olympic Boulevard to Slauson Avenue (aerial)
 - Approximately 40 feet high
- Randolph Street to Gage Avenue (aerial)
 - Approximately 40 feet high

Within the Northern Section, Alternative G, Downtown Transit Core would be entirely underground from 7th Street/Metro Center Station to south of Olympic Boulevard. South of Olympic Boulevard, the alignment would be at-grade except for the following grade-separated locations:

- Downtown Transit Core to South of Olympic Boulevard (underground)
 - Maximum depth is approximately 80 feet
- Olympic Boulevard to Slauson Avenue (aerial)
 - Approximately 40 feet high
- Randolph Street to Gage Avenue (aerial)
 - Approximately 40 feet high

The Southern Section would extend for approximately 11 miles primarily at-grade with the following grade-separations:

- South of Ardine Street (Atlantic Avenue and Firestone Boulevard) (aerial)
 - Approximately 40 feet high
- South of Southern Avenue (over the Los Angeles River) to north of I-710 (aerial)
 - Approximately 50 feet high
- South of I-710 (over the Rio Hondo Channel) to south of the Rio Hondo Channel (aerial)
 - Approximately 40 feet high
- Imperial Highway and Garfield Avenue (aerial)
 - Approximately 35 feet high
- I-105/Green Line crossing (aerial)
 - Approximately 40 feet high
- South of I-105 (over Paramount freight line and Paramount Boulevard/Rosecrans Avenue) to Paramount High School (aerial)

- Approximately 40 feet high
- Paramount High School (over Downey Avenue) to Somerset Boulevard (aerial)
 - Approximately 35 feet high
- Cornuta Avenue (over Woodruff Avenue/Flower Street) to Flora Vista Street (aerial)
 - Approximately 40 feet high
- SR-91 (underpass at-grade)
- South of SR-91 (over the San Gabriel River) to north of Artesia Boulevard (aerial)
 - Approximately 30 feet high
- I-605 (underpass at-grade)
- Cerritos/Artesia city line (over Gridley Road/183rd Street) to 186th Street (aerial)
 - Approximately 40 feet high

Ground Disturbance

Ground disturbing activities would occur throughout the Project. The Build Alternatives would be constructed primarily underground in the Northern Section while the Southern Section would primarily consist of at-grade and aerial construction. All ground disturbing activities would be located entirely within the public and/or rail ROW, or on sites that would be acquired for construction through temporary construction easements, parking facilities, maintenance and storage facility, or TPSS sites. Proposed construction staging and laydown areas are also proposed entirely within the Project area. Table 2 lists potential staging and laydown area options currently in review. The proposed construction staging and laydown areas would be primarily located within the rail ROW, at the proposed parking facility sites and the maintenance and storage facility site.

Utility relocations would not exceed 5 to 10 feet of disturbance from ground elevation. Construction of the underground segments would require the use of a Tunnel Boring Machine (TBM) and/or use of the cut-and-cover method. However, the cut-and-cover sections at underground stations would relocate utilities that could be up to 25 feet below ground elevation. Disturbed ground would be backfilled with the same material or clean fill. Concrete encasement of ductbanks would be provided where needed. Attachment D includes major utility relocations within the Project APE.

The following provides approximate ground disturbance depths:

- TBM: 115 feet
- Laydown Yards: 0 to 1 feet
- TPSS: 4 feet (foundations and spread footings may be deeper)
- MSF Yard Tracks and Parking/Roads: 2 to 4 feet

- MSF Buildings: 3-10 feet
- Utility Relocations: 5-25 feet

Table 2 Construction Staging and Laydown Areas

No.	Location	Location Description	Project Component	Surrounding Land Use
1	E of Bauchet St north of Cesar Chavez Ave	United States Postal Service Parking Lot	LAUS – Forecourt	Industrial
2	E of Alameda St South of N Los Angeles St	LAUS Parking Lot B	LAUS – Forecourt	Commercial
3	E of Alameda St North of N Los Angeles St. and South of Cesar Chavez Ave	La Petite Academy of Los Angeles Parking Lot	LAUS – Forecourt	Commercial/ Education
4	E of LAUS, N of US-101 freeway, W of Gold Line Platform	LAUS Parking Lot P and landscape	LAUS – Forecourt	Industrial
5	S of 101 at the corner of N. Alameda St and E 1st St	Regional Connector Staging Site	Little Tokyo Station	Residential/ Commercial
6	Corner of Alameda St and 2nd St	Office Depot Parking Lot	Little Tokyo Station	Commercial
7	W of Alameda St between 6th & 7th St	Bus Facility, partial sidewalk, and southbound lanes	Arts District South Station	Industrial/ Commercial
8	E side of Alameda St, Corner of 7th St and Alameda	Bus Facility, partial sidewalk, one northbound lane, commercial buildings	Arts District South Station	Industrial/ Commercial

No.	Location	Location Description	Project Component	Surrounding Land Use
9	N of 8th St between Francisco St and Figueroa St	Located on vacant parcel between Target parking structure and 777 S Figueroa St, Los Angeles, CA 90017. Partial lane and sidewalk	8th St/Flower St Station	Commercial/ Business Park
10	SE Corner of 8th St and S Figueroa St	Parking Lot	8th St/Flower St Station	Commercial/ Business Park
11	N of 8th St between Figueroa Flower St	Partial lane and sidewalk	8th St/Flower St Station	Commercial/ Business Park
12	N of 8th St between Flower St and Hope St	Partial lane and sidewalk	8th St/Flower St Station	Commercial/ Business Park
13	S side of 8th St between Main St and Los Angeles St	Partial westbound lane and sidewalk	South Park/Fashion District Station	Commercial/ Business Park
14	S side of 8th St between Los Angeles St and Santee St	Partial lane street and sidewalk	South Park/Fashion District Station	Commercial/ Business Park
15	N end of Santee St	End of local Street	South Park/Fashion District Station	Commercial/ Business Park
16	SW of 8th St and Santee St	Parking Lot	South Park/Fashion District Station	Commercial/ Business Park
17	E and W side of Long Beach Ave between Olympic Blvd and 14th St	Commercial/Industrial	TBM Launch Portal	Industrial

No.	Location	Location Description	Project Component	Surrounding Land Use
18	In-between 14th St and Olympic Blvd on Long Beach Ave	Metro Bus Facility Partial strip of street and sidewalk	TBM Launch Portal	Commercial/ Industrial
19	Properties and Street between Olympic and 14th St	Industrial/Commercial/street and sidewalk	TBM Launch Pit	Commercial/ Industrial
20	W side of Long Beach Ave between 14th and 15th St	Industrial/Commercial	TBM Launch Pit	Commercial/ Industrial
21	W side of Long Beach Ave, beneath I-10 Freeway	Freeway Underpass	TBM Staging Area	Industrial
22	NE Corner of Long Beach Ave. and Washington Blvd	Parking lot and industrial property 1700 Long Beach Ave, Los Angeles	Long Beach Blvd Viaduct	Industrial
23	NW Corner of Long Beach Ave. and Washington Blvd	Industrial building	Long Beach Blvd Viaduct	Industrial
24	20th St between Compton Ave and Long Beach Ave	Fueling Facility	Long Beach Blvd Viaduct	Industrial
25	NE corner of Long Beach Ave. and Vernon Ave	Light Industrial	Long Beach Blvd Viaduct	Industrial
26	NE corner of Long Beach Ave. and Slauson Ave	Industrial	Long Beach Blvd Viaduct	Industrial

No.	Location	Location Description	Project Component	Surrounding Land Use
27	SE corner of Long Beach Ave, north of Slauson Ave	Industrial	Long Beach Blvd Viaduct	Industrial
28	SE Corner of Slauson and Randolph St	Industrial	Long Beach Blvd Viaduct	Industrial
29	Existing RR ROW at Bissell St. and Randolph St E of Salt Lake Ave	Railroad ROW	Randolph Grade Separation	Industrial
30	NE of Firestone Blvd at Neville Ave and Mason St. along Railroad ROW	Warehousing/Logistics	Firestone Station and Grade Separation	Industrial
31	W of Salt Lake Ave at end of Wood Ave	Vacant	Los Angeles River Bridge	Industrial
32	E of Salt Lake Ave between Duncan Way and Wood Ave	Vacant	Los Angeles River Bridge	Industrial
33	SW Frontage Road, adjacent to I-710 Freeway	Industrial	LA River Bridge & I-710 Undercrossing	Industrial, Residential, Recreational
34	S. of Miller Way, adjacent to I-710 Freeway	Light Industrial Storage	I-710 Undercrossing & Rio Hondo Channel Bridge	Industrial
35	NE corner of Railroad ROW and Garfield Ave, S of Imperial Hwy	Vacant	LA River Bridge & I-710 Undercrossing	Industrial

No.	Location	Location Description	Project Component	Surrounding Land Use
36	E of Center St between Lincoln and Nevada	Parking Lot/ Commercial/Recycling	I-105 Station	Commercial/ Industrial
37	N of Rosecrans Ave S of San Pedro Sub Division Railroad ROW	Railroad ROW	Paramount Station and Grade Separation	Commercial/ Industrial
38	N of Rosecrans Ave S of San Pedro Sub Division Railroad ROW	Commercial & Industrial GCR Tires & Service 7801 E Rosecrans, Paramount, CA 90723	Paramount Station and Grade Separation	Commercial/ Industrial
39	NE corner of Downey Ave and RR ROW	Industrial Paramount Refinery	Downey Grade Separation	Commercial/ Industrial
40	NW corner of Bellflower Blvd and Railroad ROW	Commercial and Parking Lot	Bellflower Station	Commercial/ Industrial
41	SW Corner of San Gabriel River and SR-91	Vacant	San Gabriel River Bridge	Commercial/ Industrial
42	NW corner of 188 th and Pioneer Blvd	Commercial	Pioneer Parking lot	Commercial/ Industrial

Area of Potential Effects

A proposed APE has been established in accordance with 36 CFR Part 800.3. The APE is defined as:

“the geographic area or areas within which an undertaking may directly or indirectly cause alterations in the character or use of historic properties, if any such properties exist. The area of potential effects is influenced by the scale and nature of an undertaking and may be different for different kinds of effects caused by the undertaking.”

The proposed Project APE (See Attachment D) has been delineated to encompass areas that contain historic properties that may be directly or indirectly affected by any of the Project Build Alternatives or design options. This includes temporary construction impacts and permanent impacts. The proposed APE includes all areas that may be subject to direct or indirect effects, including potential visual, noise, vibration, and/or ground settlement effects that may result from construction or implementation of the Project.

The direct APE encompasses all areas where demolition, ground disturbance, permanent and temporary construction, staging, and acquisitions would occur. The direct APE encompasses areas with potential direct ground disturbance, accounting for project elements such as at-grade track work, and aerial and underground structures. The proposed direct APE also includes areas with permanent site improvements such as station locations, proposed parking areas, project elements such as train control, traction power substation sites, ventilation structures, maintenance and storage facilities, and construction staging areas. The proposed APE varies with the level of proposed disturbance (LOD). The APE extends from approximately the existing ground surface to 50 feet above the existing ground surface and approximately 15 feet below the existing ground surface.

The proposed indirect APE includes all areas that may be subject to potential visual, noise, vibration, and/or ground settlement effects that may result from construction or implementation of the proposed Project. In areas where the proposed alignment would be at-grade, within existing railroad ROW or LACTMA-owned ROW, the indirect APE encompasses the same area as the direct APE, as the introduction of a rail system in areas where rail historically functioned would not have an increased potential to cause indirect impacts to historic properties. In areas where the proposed alignment is underground, aerial or not within existing railroad ROW, the indirect APE is defined as the first row of adjacent parcels. If the design of the alternatives is modified, the APE will be revised accordingly, in consultation with LACMTA and SHPO. See APE Map, Attachment D.

Historic Resources Screening Methodology

In accordance with 36 CFR Part 800.4(a)(2) all existing and potential archaeological resources and built environment resources that are located within a project's APE will be identified. Within the APE, FTA and LACMTA will identify historic properties, which are those that are listed in or eligible for inclusion in the National Register and/or California Register of Historical Resources (California Register). Historic property identification efforts are being conducted in accordance with the Code of Federal Regulations (CFR) and will be conducted by qualified archaeologists and architectural historians who meet the National Park Service Professional Qualification Standards (PQS). The cultural resources field investigations will follow California OHP guidelines for documenting historic resources and the appropriate National Park Service National Register Bulletins for evaluating historic properties.

Background research will be conducted to provide context for the identification of potential historic properties and to verify field data. This will include the preparation of a cultural resources records search through the California Historic Resource Information System, located at the South Central Coastal Information Center (SCCIC), California State University, Fullerton. The SCCIC records search will identify previous cultural resources work and previously recorded cultural resources within a 0.5-mile radius of the Project APE. The California Historical Resources Information System (CHRIS) search included a review of the Archaeological Determinations of Eligibility list and available historical maps, which will assist in determining the potential to encounter archaeological resources in areas with no ground visibility. The SCCIC records search will be supplemented with local survey data including SurveyLA and archival research including but not limited to historic aerial photographs, building permit data, city directories and newspaper articles.

Upon completion of the SCCIC records search, an intensive-level survey of the APE will be completed. Field documentation will consist of digital photographs and notes using tablets. The archaeological field survey will include surveyors walking within areas with exposed ground surface. The architectural history fieldwork will include a survey of each property containing built environment resources.

An intensive-level survey will be conducted to determine precisely what historic properties exist the Project APE. The intensive survey will document:

- The kinds of properties that are extant;
- The boundaries of the area surveyed;
- The method of survey, including an estimate of the extent of survey coverage; and
- A record of the precise location of all properties identified.

The Project has a base year of 2018. The estimated opening date is currently 2028 under the P3 accelerated funding/implementation scenario described above. It is anticipated that under a P3 funding approach, the Project would be completed in a single phase by 2028. The proposed undertaking extends 19 miles from downtown Los Angeles to the City of Artesia, largely through heavily developed areas along existing railroad corridors that are surrounding by commercial and industrial properties. Much of the surrounding area along the alignment contains properties that were constructed more than 50 years ago. Further, since the construction date for the project is 2028, there are a significant number of properties that will become 50 before the project is completed.

- Properties constructed prior to 1978, or 40 years of age or older will be surveyed for historic significance.
- Properties constructed before 1978 that retain integrity will be recorded on California Department of Parks and Recreation forms (DPRs) and will be evaluated for NRHP and CRHR eligibility as part of the Project identification phase.
- Properties lacking integrity will be exempt from evaluation. Preparation of DPRs will be substituted with an appendix table depicting a photo of each property. The table will summarize basic information about the exempted property including construction date, parcel number, address and a description of the alterations which warrant the exemption. Only properties that are substantially altered and/or clearly would not be eligible for listing in the NRHP and CRHR would be exempted. An example of the proposed exemption table is included in Attachment E.
- Properties with survey eligibility findings that were completed within the past 5 years will not be updated, unless there are substantial changes to the property identified during the field survey. The previous documentation will be included as an appendix to the Cultural Resources Impacts Report.
- Properties previously determined ineligible for the NRHP and CRHR which have not been surveyed within the past 10 years will be updated with a DPR update form and reevaluated.
- Related properties (i.e., residential tracts, large industrial complexes) will be recorded on a DPR523D District Record and continuation sheets ad potential districts instead of recording each individual building on a DPR523A form.
- If the Project completion date is pushed beyond 2028, additional Section 106 studies that would encompass buildings that would be 50 years of age by the most distant build-out period and properties that did not meet Criterion Consideration G would be required at a future date.

Native American and Tribal Outreach

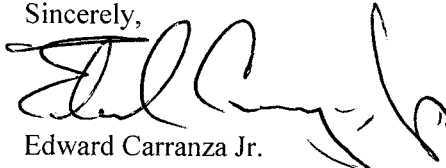
In accordance with 36 CFR Part 800.4(a)(3), local historic groups and other stakeholders that may have an interest in the project will be contacted to gather information on historic resources within the APE. The Native American Heritage Commission (NAHC) was contacted on June 23, 2018 for a sacred lands file search request of the project vicinity and for Native American consultation contacts. LACMTA is currently developing a consultation plan that will include information on the project, historic properties, and potential effects to the Native American tribes and consulting parties for review and comment. Letters detailing the project will be sent to each of the identified interested parties, and follow-up calls will be placed to ensure that stakeholders are given the opportunity to comment. Should any stakeholders have an interest in meeting in person, LACMTA will coordinate with FTA to accommodate their request.

Findings

In accordance with 36 CFR § 800.4, the FTA is requesting your concurrence with the APE and methodology.

Enclosed you will find the Project Vicinity, Project Location, Project Overview, and APE maps for the project. If you have questions or wish to discuss this project, please contact Candice Hughes, Environmental Protection Specialist, at (213) 629-8613, or transmit e-mail to candice.hughes@dot.gov, or contact Adam Stephenson, Transportation Program Specialist, by phone at (213) 202-3957 or by email at adam.stephenson@dot.gov.

Sincerely,



Edward Carranza Jr.
Acting Regional Administrator

Attachments:

- A: Project Location Map
- B: Project Vicinity Map
- C: Project Overview Map
- D: APE Map



**DEPARTMENT OF PARKS AND RECREATION
OFFICE OF HISTORIC PRESERVATION**

Lisa Ann L. Mangat, Director

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January 18, 2019

In reply refer to: FTA_2018_1224_001

Mr. Edward Carranza Jr.
Acting Regional Administrator
Federal Transit Administration
90 Seventh Street, Suite 15-300
San Francisco, CA 94103-6701

Re: West Santa Ana Branch Transit Corridor Project, Area of Potential Effect (APE) and Identification Methodology, City and County of Los Angeles, California

Dear Mr. Carranza:

The State Historic Preservation Officer (SHPO) received, on December 24, 2018, the Federal Transportation Administration's (FTA) letter initiating consultation in order to comply with Section 106 of the National Historic Preservation Act of 1966 (54 U.S.C. § 300101) and its implementing regulation at 36 CFR § 800. The Federal Transit Administration (FTA) included the project location, project vicinity, and Area of Potential Effect (APE) maps with the consultation letter.

The West Santa Ana Branch Transit Corridor Project (WSAB) proposes a new light rail transit line that would extend approximately 19 miles from downtown Los Angeles to southeast Los Angeles County, serving the following cities and communities: Arts District, Little Tokyo, Los Angeles, the unincorporated Florence-Firestone community, Vernon, Huntington Park, Bell, Cudahy, South Gate, Downey, Paramount, Bellflower, Cerritos, and Artesia. The route would begin at the Los Angeles Union Station, and terminate in Artesia, California. The undertaking includes a combination of below-grade, at-grade, and aerial alignment, 12 new stations, and 1,600 total new parking spaces at five stations.

As described in the consultation package, the APE encompasses all areas of demolition, ground disturbance, permanent and temporary construction, staging, and parcels proposed for acquisition. The vertical APE has been identified between 50 feet above-grade and 115 feet below-grade, depending on the activity.

FTA has requested comments on the delineation of the APE and the methodology to streamline the identification and evaluation of historic properties. After reviewing the documentation, the following comments are offered:

- Provide a narrative description of the APE and discussion of why it has been delineated as proposed.

- Explain why on Sheets 9-15, 24, 25, and 27, the APE narrows dramatically and leaves out adjacent parcels, eliminating analysis of potential indirect effects.
- Regarding the identification methodology:
 - It is recommended that FTA consult Sanborn maps, to determine the potential for encountering subsurface historic-era deposits;
 - FTA should keep in mind that contingent upon the results of their currently proposed identification efforts further identification efforts may be required, such as a geoarchaeological analysis that includes an overview of the age of buried soils and sediments in an effort to predict the locations of unidentified subsurface archaeological deposits;
 - FTA should also note that the proposed underground stations in the Northern Section of the APE, specifically at Union Station (Alternative E) is within a known culturally sensitive area and may be within the boundary of the historic property (archaeological) CA-LAN-1575/H.
 - Provide a copy of Attachment E, the proposed exemption table, referenced in the consultation package.
 - Describe further the process for exempting properties "lacking integrity." Typically there are parameters defined for such exemptions; explain the parameters. Has this been developed, and who will make the determination regarding whether a property lacks integrity?
 - Regarding update of properties with eligibility findings within the past five years; this should be limited to those properties with eligibility findings that have received SHPO concurrence.
- I cannot agree with the proposed methodology at this time. Please revise the consultation to include the information above and resubmit it for review.

If you have any questions, please contact Kathleen Forrest of my staff at (916) 445-7022 or Kathleen.Forrest@parks.ca.gov.

Sincerely,



Julianne Polanco
State Historic Preservation Officer



U.S. Department
of Transportation
**Federal Transit
Administration**

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Ms. Julianne Polanco
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Office of Historic Preservation
California Department of Parks and Recreation
1725 23rd Street, Suite 100
Sacramento, California 95816

APR 26 2019

Subject: Response to SHPO Comments
Regarding Section 106 Consultation for the
West Santa Ana Branch Transit Corridor Project
(FTA_2018_1224_001)

Dear Ms. Polanco:

The Federal Transit Administration (FTA), in cooperation with the Los Angeles County Metropolitan Transportation Authority (LACMTA), is initiating the preparation of a Draft Environmental Impact Statement/Environmental Impact Report (EIS/EIR) for the West Santa Ana Branch Transit Corridor Project (Project) in Los Angeles County. The FTA serves as the Federal Lead Agency under the National Environmental Policy Act (NEPA) and for compliance with Section 106 of the National Historic Preservation Act (NHPA). LACMTA is the local Lead Agency under the California Environmental Quality Act (CEQA). The Project will be a federal undertaking because the FTA will be providing financial assistance.

The State Historic Preservation Office (SHPO) received a letter from FTA on December 21, 2018 pursuant to Section 106 of the NHPA and its implementing regulations (36 Code of Federal Regulations [CFR] Part 800) "Protection of Historic Properties," to initiate the Section 106 consultation process for the Project and to seek SHPO concurrence on the Area of Potential Effects (APE) and methodologies. Cultural resources identification and analysis will be prepared in compliance with Section 106 of the NHPA, as amended, and its implementing regulations contained in 36 Code of Federal Regulations (CFR), Part 800, and applicable sections of the CEQA.

The SHPO responded with a letter dated January 18, 2019, which provided eight comments and questions regarding the project APE and survey methodology. The following is a summary of these comments and questions and FTA's responses. The purpose of this updated consultation letter is to provide responses to SHPO's questions and comments and seek concurrence on the project APE and methodology.

Comment 1: Provide a narrative description of the APE and discussion of why it has been delineated as proposed.

Response 1:

The proposed APE (Attachment D of original letter and reattached as Attachment A) has been delineated in accordance with 36 CFR Part 800.16 (d). The proposed APE encompasses all areas within the alignment which may be directly or indirectly affected by temporary effects and/or permanent features or operational effects related to the Project.

The 19-mile long alignment includes segments that are underground, at-grade, and aerial. The proposed APE has been delineated to consider the potential direct and indirect effects, including visual effects, that may occur within each of these varied segments. The direct APE includes the alignment right-of-way, as well as all associated elements where construction will occur, including stations, laydown yards, maintenance facilities, and parking lots. For the proposed 2.3 miles of underground segment (proposed tunnel) in the northern section of the Project corridor, the direct APE includes the street or parcels directly above the proposed tunnel areas, as well as any other areas with related ground disturbance. For the proposed 12.8 miles of at-grade segment, the direct APE encompasses the width of the existing railroad right-of-way (ROW). For the proposed 4.1 miles of aerial alignment, the direct APE includes the width of the proposed ROW. For the two proposed maintenance and storage facility (MSF) options (one each in the cities of Paramount and Bellflower), the direct APE includes the entire block of buildings that would be demolished to construct the MSF. The MSF option in Paramount would be located 1,300 feet south of the Project alignment along the Pacific Electric Right-of-Way (PEROW). The MSF option in Bellflower would be located on a parcel directly north and adjacent to the alignment. Additionally, construction of the Build Alternatives would require realignment of 0.5 mile of existing Green Line track within the existing, disturbed I-105 ROW. In this area, the direct APE encompasses the width of the existing I-105 ROW to encompass the Green Line alignment and to accommodate restriping of freeway lanes. The direct APE also encompasses areas with potential direct ground disturbance, accounting for temporary (construction) and permanent Project elements including but not limited to: whole or partial parcel acquisitions, at-grade track work, aerial and underground structures, station locations, proposed parking areas, train control, traction power substation (TPSS) sites, ventilation structures, and MSF options. The extent of the direct APE is defined by the direct temporary and permanent disturbance associated with construction and operation of typical Project elements (listed above). The proposed vertical APE varies with the level of proposed disturbance. The APE extends from the existing ground surface to approximately 90 feet above the existing ground surface and approximately 115 feet below the existing ground surface.

The architectural APE has been delineated to encompass all properties that may be indirectly affect by the proposed undertaking. The architectural APE is broadly defined as a one parcel buffer out from the direct APE in all areas where the alignment is underground or aerial, to identify potential noise, vibration or visual effects to historic properties. The architectural APE is also defined as the first row of adjacent parcels in areas where there is construction proposed outside the existing railroad or LACTMA-owned ROW, including proposed station parking, whole or partial parcel acquisitions, laydown areas, TPSS, and MSF options. Because some of these activities may occur on only one side of the alignment, this has resulted in the APE appearing uneven, or “jagged” in certain locations. In instances where the property expands beyond a single parcel from the direct APE (e.g., industrial or institutional complexes), the architectural APE buffer was expanded to encompass additional parcels to evaluate the property as a single resource. Within locations where the proposed alignment would be at-grade, within existing freeway, railroad, or LACTMA-owned ROW, the architectural APE was limited to the direct APE footprint, resulting in the appearance of a narrowed APE in these locations. The architectural APE delineation was reduced in these locations because the introduction of a new light rail system in areas

where rail has historically operated and currently operates would not increase the potential to cause indirect impacts to historic properties.

The following table provides a summary the APE delineation:

APE Delineation

Project Elements	Direct APE	Architectural APE
Within ROW, underground	Area of direct construction	One parcel out from Direct APE
Within existing ROW, at-grade	Area of direct construction, which is limited to existing ROW	Area of direct construction, which is limited to existing ROW
Within ROW, aerial	Area of direct construction	One parcel out from Direct APE
Segments at: - Stations - Park-and-Rides - Maintenance Facility - Construction laydown areas	Area of direct construction	One parcel out from Direct APE
Freeway Crossings	Extent of freeway activities	Extent of freeway activities

Comment 2: Explain why on sheets 9-15, 24, 25, and 27, the APE narrow dramatically and leaves out adjacent parcels, eliminating analysis of potential indirect effects.

Response 2: Throughout the 19-mile long alignment, the APE does expand and contract in specific locations. The project alignment contains a vertical APE that includes underground, at-grade, and aerial segments. The architectural APE was delineated to consider the indirect effects of each of these project components, as well as those outside the existing ROW, including stations, TPSS, parking lots, and maintenance facilities. The APE crosses industrial, commercial and residential areas of Los Angeles County and contains a wide range of property types and parcel sizes. Together, these elements result in an APE that appears to vary in specific locations and the map may not indicate what construction is specifically occurring within each of these locations.

For example, the architectural APE appears narrowed in select locations on sheets 9-15, 24, 25, and 27 in the locations where the proposed alignment is at-grade, within existing railroad or LACTMA-owned ROW. The architectural APE is limited to the project footprint within these areas as the introduction of a rail system in areas where rail currently or historically has operated is not anticipated to have an increased potential to cause indirect impacts to historic properties.

In some locations, the direct APE also expands to include adjacent properties which may be directly impacted by construction activities (See map pages 9 and 10). Also as previously noted, due to the range of property types and varied development history of the area, there are numerous odd-sized and angled properties with and adjacent to the direct and architectural APEs, resulting in the appearance of a varied APE that appears to expand and contract in specific locations (See map pages 11, 23, 25, and 27).

In grade crossing locations where the Project includes associated street improvements, the direct APE was expanded to include the area within the roadway that would require work; however, the improvements are largely signage and striping and therefore the architectural APE was limited to the project footprint in these locations (See map pages 14, 15, and 16).

Comment 3: It is recommended that FTA consult Sanborn maps to determine the potential for encountering subsurface historic-era deposits.

Response 3: Archival research, including Sanborn map review, will be conducted to provide context for the identification of potential historic properties and to verify field data for the entire 19-mile alignment. This analysis will be discussed further in the cultural resources impacts reports. Note that all areas where subsurface deposits may be encountered are included in the direct APE, which will be subject to investigations.

Comment 4: FTA should keep in mind that contingent upon the results of their currently proposed identification efforts further identification efforts may be required, such as a geoarchaeological analysis that includes an overview of the age of buried soils and sediments in an effort to predict the locations of unidentified subsurface archaeological deposits.

Response 4: If additional identification efforts are required, the findings of such analysis will be conducted and incorporated into the cultural resources technical report that will be prepared for the project. As part of the identification process, an intensive archaeological survey will be conducted of the direct APE. The SCCIC records search indicated that the mapped boundary of the historic property (archaeological), CA-LAN-1575/H, is within the Northern Section of the APE, specifically at Union Station (Alternative E). The effects of the undertaking on this historic property will be assessed as part of the cultural resource study. The project APE is heavily urbanized and the ground visibility within the direct APE is relatively poor (less than 10 percent) due to the developed nature of the Project area.

Comment 5: FTA should also note that the proposed underground stations in the Northern Section of the APE, specifically at Union Station (Alternative E) is within a known culturally sensitive area and may be within the boundary of the historic property (archaeological) CA-LAN-1575/H.

Response 5: Background research is being conducted to provide context for the identification of known historic properties within a 0.5-mile radius of the direct APE. As part of this effort, a cultural resources records search was conducted through the California Historic Resource Information System, located at the South Central Coastal Information Center (SCCIC), California State University, Fullerton. Results of the record search indicate that the mapped boundary of the historic property (archaeological), CA-LAN-1575/H, is within the Northern Section of the APE, specifically at Union Station (Alternative E). Cultural resources staff will work with project planners and engineers to avoid and minimize effects to historic properties wherever possible. Once any design refinements are made, the effects of the undertaking on this historic property will be assessed as part of the cultural resource study.

Comment 6: Provide a copy of Attachment E, the proposed exemption table, referenced in the consultation package.

Response 6: The proposed exemption table is provided as Attachment C to this letter and provides a sample selection of exempted properties and the justification for their exemption.

Comment 7: Describe further the process for exempting properties “lacking integrity.” Typically, there are parameters defined for such exemptions; explain the parameters. Has this been developed, and who will make the determination regarding whether a property lacks integrity?

Response 7: Properties that are lacking sufficient integrity to convey their potential historic significance will be exempt from evaluation. Preparation of DPR forms will be substituted with an appendix table depicting a photo of each property (a sample of the table is included as Attachment B. Properties lacking sufficient integrity are those lacking the critical essential physical features that convey a property's significance, e.g., the application of non-original siding, the wholesale replacement and/or infill of windows and doors, significant primary and secondary elevation additions, and the removal of primary character-defining features. Each property will be examined against the seven aspects of integrity to fully understand the property's physical features and how they relate to its significance.

All property exemptions will be made by a qualified senior-level Architectural Historian who meets the National Park Service PQS for Architectural History and History utilizing the archival research developed for the Project and any available historic contexts. Exemptions will be confirmed during field survey. No properties will be exempted that are listed in a local survey of historical properties, or if the extent of alterations or the age of a property is not readily discernible. Further, properties would not be exempted that are found to have potential significance utilizing applicable historic context statements, which contain evidence of associations with significant historic events or individuals (Criterion A or B), potential to yield information important to history (Criterion D), the presence of tribal or community concerns, and/or inclusion as a potential contributing element within a larger property requiring evaluation, such as a historic district.

Exempted properties will be documented in a table that provides a photograph of the property, its construction date, area parcel number and a summary of the noted alterations which support its exemption. Only properties that are substantially altered and/or clearly would not be eligible for listing in the NRHP and CRHR would be exempted. An attachment providing a sample selection of exempted properties and the justification for their exemption is attached to this matrix (Attachment B).

Comment 8: Regarding update of properties with eligibility findings within the past five years; this should be limited to those properties with eligibility findings that have received SHPO concurrence.

Response 8: Noted. Properties with survey eligibility findings that have been completed and received SHPO concurrence within the past 5 years will not be updated, unless there are substantial changes to the property identified during the field survey. The previous documentation will be included as an appendix to the cultural resources impacts report.


Update on Native American and Tribal Outreach

In accordance with 36 CFR Part 800.4(a)(3), Native Americans and Tribes that may have an interest in the project were contacted to gather information on historic resources within the APE. The Native American Heritage Commission (NAHC) was contacted on three separate occasions: June 9, 2017, July 27, 2017, and August 30, 2018 for a sacred lands file search request of the project vicinity and to request a list of Native American consultation contacts. Each time, the NAHC provided a list of tribes/individuals with traditional lands or cultural places within the APE. A total of eight tribes/individuals were identified within these three separate NAHC sacred lands searches. FTA sent letters to each individual on December 14, 2018 to seek their input on any resources within the APE. Follow-up calls were placed on January 29, 2019 to those contacts who did not provide a response to the letter from FTA. Should any stakeholders have an interest in meeting in person, FTA will coordinate with LACMTA to accommodate their request.

Findings

In accordance with 36 CFR § 800.4, the FTA is requesting your concurrence with the APE and methodology.

If you have questions or wish to discuss this project, please contact Candice Hughes, Environmental Protection Specialist, at (213) 629-8613, or transmit e-mail to candice.hughes@dot.gov, or contact Adam Stephenson, Transportation Program Specialist, by phone at (213) 202-3957 or by email at adam.stephenson@dot.gov.

Sincerely,

Ray Tellis
Regional Administrator

Attachments:

A: APE Map

B: Sample Exemption Table



**DEPARTMENT OF PARKS AND RECREATION
OFFICE OF HISTORIC PRESERVATION**

Lisa Ann L. Mangat, Director

Julianne Polanco, State Historic Preservation Officer
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Telephone: (916) 445-7000 FAX: (916) 445-7053
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May 29, 2019

In reply refer to: FTA_2018_1224_001

Mr. Ray Tellis
Regional Administrator
Federal Transit Administration
90 Seventh Street, Suite 15-300
San Francisco, CA 94103-6701

Re: West Santa Ana Branch Transit Corridor Project, Area of Potential Effect (APE) and Identification Methodology, City and County of Los Angeles, California

Dear Mr. Tellis:

The State Historic Preservation Officer (SHPO) received, on April 29, 2019, the Federal Transportation Administration's (FTA) letter continuing consultation in order to comply with Section 106 of the National Historic Preservation Act of 1966 (54 U.S.C. § 300101) and its implementing regulation at 36 CFR § 800. The Federal Transit Administration (FTA) included the Area of Potential Effect (APE) maps and example exemption table with the consultation letter. The current consultation was submitted in response to the SHPO's comments of January 18, 2019.

The West Santa Ana Branch Transit Corridor Project (WSAB) proposes a new light rail transit line that would extend approximately 19 miles from downtown Los Angeles to southeast Los Angeles County, serving the following cities and communities: Arts District, Little Tokyo, Los Angeles, the unincorporated Florence-Firestone community, Vernon, Huntington Park, Bell, Cudahy, South Gate, Downey, Paramount, Bellflower, Cerritos, and Artesia. The route would begin at the Los Angeles Union Station, and terminate in Artesia, California. The undertaking includes a combination of below-grade, at-grade, and aerial alignment, 12 new stations, and 1,600 total new parking spaces at five stations.

As described in the consultation package, the APE encompasses all areas of demolition, ground disturbance, permanent and temporary construction, staging, and parcels proposed for acquisition. The direct APE includes the alignment right-of-way, as well as stations, laydown areas, maintenance facilities, parking lots, and all areas of associated ground disturbance. The indirect APE has been defined the first row of adjacent parcels outside the direct APE. The APE is limited to the right-of-way when project activities are within existing railroad right-of-way. The vertical APE has been identified between 90 feet above-grade and 115 feet below-grade, depending on the activity.

FTA has proposed an alternative identification strategy for the undertaking. As described in FTA's December 21, 2018 consultation, all existing and potential historic properties within the APE will be identified by individuals meeting the Secretary of the Interior's Professional Qualifications Standards (PQS) in the appropriate discipline. Background research, including records search and archival research, will be conducted, and an intensive-level survey of the APE will be completed.

Due to the accelerated funding/implementation scenario, FTA has proposed a streamlined identification methodology for built environment properties. In brief, those built environment determined to lack integrity, as fully explained in both the December 21, 2018 and April 29, 2019, consultation packages, will be exempt from evaluation. Preparation of DPR 523 forms for these properties will be substituted with an appendix table depicting a photo of each property, construction date, parcel number, address, and description of alterations that warrant the exemption. FTA has provided a sample of this table in the current consultation. FTA has defined "properties lacking sufficient integrity" as "those lacking the critical essential physical features that convey a property's significance, e.g., the application of non-original siding, the wholesale replacement and/or infill of windows and doors, significant primary and secondary elevation additions, and the removal of primary character-defining features." All exemptions will be made by a senior-level architectural historian meeting the Secretary's PQS.

FTA has requested comments on the delineation of the APE and the methodology to streamline the identification and evaluation of historic properties. After reviewing the documentation, the following comments are offered:

- Pursuant to 36 CFR § 800.4(a)(1), I have no comments on the FTA's APE.
- Regarding the proposed alternative identification, I agree that this methodology is an appropriate way to proceed at this time. Depending on the results of the identification efforts and adequacy of documentation, additional identification may be necessary to satisfy the requirements of 36 CFR §§ 800.4(b) and 800.11.

I look forward to continuing consultation with FTA. If you have any questions, please contact Kathleen Forrest of my staff at (916) 445-7022 or Kathleen.Forrest@parks.ca.gov.

Sincerely,



Julianne Polanco
State Historic Preservation Officer

**APPENDIX K – PROPERTIES IN ALTERNATIVE 3
CONSTRUCTED BETWEEN 1979 AND 1989**



APE Sheet #: 9
Address: 5723 Duarte Street
Los Angeles
APN: 5105-021-008
Year Built: 1981
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 9/10
Address: 2116 Randolph Street
Huntington Park
APN: 6321-009-022
Year Built: 1987
Date of Survey: January 6, 2023
Additional Notes: N/A



APE Sheet #: 10
Address: 2418 Belgrave Avenue
Huntington Park
APN: 6321-004-055
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6013 Middleton Street
Huntington Park
APN: 6321-004-061
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6015 Middleton Street
Huntington Park
APN: 6321-004-062
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6017 Middleton Street
Huntington Park
APN: 6321-004-063
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6019 Middleton Street
Huntington Street
APN: 6321-004-064
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2411 Randolph Street and 6920
Santa Fe Avenue Huntington Park
APN: 6321-004-068 / 6321-004-069
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



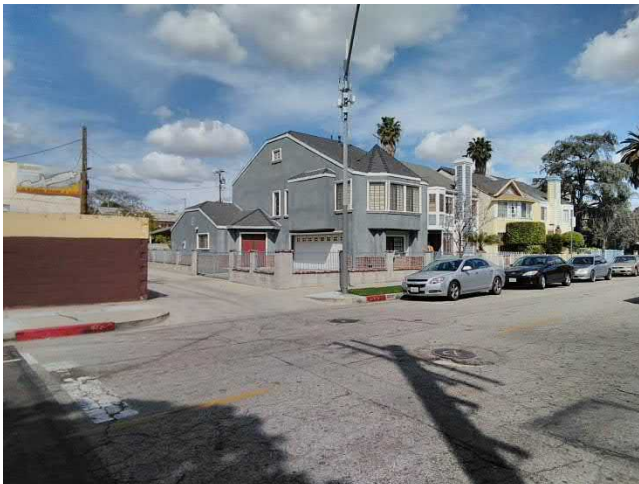
APE Sheet #: 10
Address: 6020 Middleton Street
Huntington Park
APN: 5146-031-044
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2463 Randolph Street
Huntington Park
APN: 6320-016-12
Year Built: 1979
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6027 Malabar Street
Huntington Park
APN: 6320-016-039
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6031 Rugby Avenue
Los Angeles
APN: 6320015024
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6040 Pacific Boulevard
Huntington Park
APN: 6320-012-070
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6010 Pacific Boulevard
Huntington Park
APN: 5320-012-067
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6014 Pacific Boulevard
Huntington Park
APN: 6320-012-068 and 6320-012-072
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6000 Pacific Boulevard
Huntington Park
APN: 6320-012-071
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6029 Seville Avenue
Huntington Park
APN: 6320-012-033
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6031 Seville Avenue
Huntington Park
APN: 6320-012-034
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6033 Seville Avenue
Huntington Park
APN: 6320-012-035
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6035 Seville Avenue
Huntington Park
APN: 6320-012-036
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6039 Seville Avenue
Huntington Park
APN: 6320-012-038
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6037 Seville Avenue
Huntington Park
APN: 6320-012-037
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2671 Randolph Street
Huntington Park
APN: 6320-012-069
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2701 Randolph Street
Huntington Park
APN: 6320-011-041
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 6046 Stafford Avenue
Huntington Park
APN: 6320-010-068
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: Access and view
obstructed by alley walls and gate.



APE Sheet #: 10
Address: 6041 Templeton Street
Huntington Park
APN: 6320-010-058
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 10
Address: 2668 Randolph Street
Huntington Park
APN: 6320-022-009
Year Built: 1983
Date of Survey: September 2, 2022
Additional Notes: N/A



APE Sheet #: 11
Address: 6113 Arbutus Avenue
Hunting Park
APN: 6310-021-086
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 11
Address: 2995 Randolph Street
Huntington Park
APN: 6310-021-088
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 11
Address: 6117 Arbutus Avenue
Huntington Park
APN: 6310-021-087
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 11
Address: 6100 Arbutus Avenue (Apt 37)
Huntington Park
APN: 6310-025-086
Year Built: 1984
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 11
Address: 6209 State Street
Huntington Park
APN: 6319-008-041
Year Built: 1985
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 11
Address:
APN: 6310-027-022
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 11/13
Address: 6200 Malburg Way
Vernon
APN: 6310-027-053
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A

Photograph Not Available

APE Sheet #: 15
Address: unaddressed
APN: 6215-003-016
Year Built: 1987
Additional Notes: Access to this property and visibility of the property is not available from the public right-of-way



APE Sheet #: 15
Address: 8013 Salt Lake Avenue
Huntington Park
APN: 6214-030-024
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 15
Address: 4241 Santa Ana Street
Huntington Park
APN: 6214-030-025
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 15
Address: 7905 Salt Lake Avenue
Huntington Park
APN: 6214-024-023
Year Built: 1981
Date of Survey: September 2, 2022
Additional Notes: N/A



APE Sheet #: 16
Address: 8660 Atlantic Avenue
South Gate
APN: 6216-032-038
Year Built: 1984
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 18
Address: 10520 Sessler Street
South Gate
APN: 6233-003-017
Year Built: 1986
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 18
Address: 10542 Sessler Street
South Gate
APN: 6233-003-013
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 18
Address: 5760 Imperial Highway
South Gate
APN: 6234-005-002
Year Built: 1984
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 18
Address: 5710 Imperial Highway
South Gate
APN: 6234-005-010
Year Built: 1988, 2006
Date of Survey:
Additional Notes: N/A



APE Sheet #: 21/22
Address: 12408 Center Street
South Gate
APN: 6243-025-026
Year Built: 1979
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 21/22
Address: 12428 Center Street
South Gate
APN: 6243-025-027
Year Built: 1981
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 21/22
Address: 13919 Arthur Avenue
Paramount
APN: 6242-023-014
Year Built: 1989
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 21/22
Address: 13965 Arthur Avenue, C
Paramount
APN: 6242-024-022
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 21/22
Address: 14005 Arthur Avenue, 7
Paramount
APN: 6241-024-036
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 23
Address: 7718 Rosecrans Avenue
Paramount
APN: 6241-018-001
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 23
Address: 7930 Rosecrans Avenue
Paramount
APN: 6241-017-030
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 23/25
Address: 14156 Paramount Boulevard
Paramount
APN: 6265-014-044
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 23/25
Address: 8160 Rosecrans Avenue
Paramount
APN: 6241-002-026
Year Built: 1985
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 25
Address: 14819 Downey Avenue
Paramount
APN: 6241-006-022
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 25/26
Address: 8635 Somerset Boulevard
Paramount
APN: 6268-006-239
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 26
Address: 15103 Hayter Avenue
Paramount
APN: 6268-027-034
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 26
Address: 8842 Somerset Boulevard
Paramount
APN: 6268-032-004
Year Built: 1984
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 26/27
Address: 15316 Lakewood Boulevard
Bellflower
APN: 6271-002-001
Year Built: 1986
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 27
Address: 9355 Alondra Boulevard
Bellflower
APN: 6271-020-018
Year Built: 1979
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 28
Address: 10030 Flora Vista Street
Bellflower
APN: 7109-009-011
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 29
Address: 10066 Flower Street
Bellflower
APN: 7109-016-043
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 29
Address: 17022 California Avenue
Bellflower
APN: 7017-023-021
Year Built: 1980
Date of Survey: July 21, 2022
Additional Notes: P



APE Sheet #: 31
Address: 11321 183rd Street
Cerritos
APN: 7034-015-032
Year Built: 1986
Date of Survey: July 21, 2022
Additional Notes:



APE Sheet #: 31
Address: 18303 Gridley Road
Cerritos
APN: 7038-015-011
Year Built: 1983
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 32
Address: 18300 Gridley Road
Artesia
APN: 7039-026-027
Year Built: 1986
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 32
Address: 18732 Corby Avenue
Artesia
APN: 7039-012-013
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 32
Address: 18816 Corby Avenue
Artesia
APN: 7039-013-13
Year Built: 1987
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 32
Address: 18822 Corby Avenue
Artesia
APN: 7039-013-012
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 11
Address: 6250 S. Boyle Avenue
Vernon
APN: 6310-027-022
Year Built: 1988
Date of Survey: July 21, 2022
Additional Notes: N/A



APE Sheet #: 24
Address: 7775 Somerset Boulevard
Paramount
APN: 6241-016-023
Year Built: 1980
Date of Survey: July 21, 2022
Additional Notes: N/A

